



CITY OF MERCER ISLAND

CITY COUNCIL MEETING AGENDA

Monday
May 2, 2016
5:30 PM

Mayor Bruce Bassett
Deputy Mayor Debbie Bertlin
Councilmembers Dan Grausz, Jeff Sanderson,
Wendy Weiker, David Wisenteiner
and Benson Wong
Contact: 206.275.7793, council@mercergov.org
www.mercergov.org/council

All meetings are held in the City Hall Council Chambers at
9611 SE 36th Street, Mercer Island, WA unless otherwise noticed

“Appearances” is the time set aside for members of the public to speak to the City Council about any issues of concern. If you wish to speak, please consider the following points:
(1) speak audibly into the podium microphone, (2) state your name and address for the record, and (3) limit your comments to three minutes.
Please note: the Council does not usually respond to comments during the meeting.

REGULAR MEETING

CALL TO ORDER & ROLL CALL, 5:30 PM

AGENDA APPROVAL

STUDY SESSION

- (1) AB 5178 Town Center Vision and Development Code Update Briefing from Joint Commission

APPEARANCES, 7:00 PM

CONSENT CALENDAR

- (2) Payables: \$653,128.44 (04/14/16) & \$209,034.11 (04/21/16)
Payroll: \$789,565.94 (04/15/16) & \$745,750.81 (04/29/16)
Minutes: April 4, 2016 Regular Meeting Minutes, April 7, 2016 Joint Meeting with MISD Board Minutes, & April 18, 2016 Regular Meeting Minutes
AB 5172 Interlocal Agreement with the State of Washington Department of Enterprise Services for Surplus Operations Services
AB 5176 Madrona Crest West Project Construction Bid Award
AB 5177 Planting and Landscape Easement Relinquishment and Termination - Pagliacci Pizza Project

REGULAR BUSINESS

- (3) AB 5174 Town Center Vision and Development Code Update
- (4) AB 5175 Periodic Comprehensive Plan Update

OTHER BUSINESS

Councilmember Absences
Planning Schedule
Board Appointments
Councilmember Reports

EXECUTIVE SESSION

Executive Session #1 to discuss potential or pending litigation pursuant to RCW 42.30.110(1)(i) for 30 minutes
Executive Session #2 to discuss potential or pending litigation pursuant to RCW 42.30.110(1)(i) for 30 minutes

ADJOURNMENT



**BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND, WA**

**AB 5178
May 2, 2016
Study Session**

**TOWN CENTER VISION AND DEVELOPMENT
CODE UPDATE BRIEFING FROM JOINT
COMMISSION**

Proposed Council Action:
No action necessary. Receive briefing.

DEPARTMENT OF	Development Services Group (Scott Greenberg & Alison Van Gorp)
COUNCIL LIAISON	n/a
EXHIBITS	see AB 5174 and AB 5175
APPROVED BY CITY MANAGER	

AMOUNT OF EXPENDITURE	\$	n/a
AMOUNT BUDGETED	\$	n/a
APPROPRIATION REQUIRED	\$	n/a

SUMMARY

The Town Center Joint Commission (Planning Commission and Design Commission) will be briefing the City Council on their recommendations for the Town Center Vision and Development Code Update. Following that briefing, the Town Center consultants will provide additional context on the findings of the consultants' analyses.

Please refer to Agenda Bills 5174 and 5175 for the recommendations and corresponding documents.

RECOMMENDATION

Development Services Director & Administrative Services Manager

No action necessary. Receive briefing.

CERTIFICATION OF CLAIMS

I, the undersigned, do hereby certify under penalty of perjury that the materials have been furnished, the services rendered, or the labor performed as described herein, that any advance payment is due and payable pursuant to a contract or is available as an option for full or partial fulfillment of a contractual obligation, and that the claim is a just, due and unpaid obligation against the City of Mercer Island, and that I am authorized to authenticate and certify to said claim.

Charles L. Corder

Finance Director

I, the undersigned, do hereby certify that the City Council has reviewed the documentation supporting claims paid and approved all checks or warrants issued in payment of claims.

Mayor

Date

<u>Report</u>	<u>Warrants</u>	<u>Date</u>	<u>Amount</u>
Check Register	180857-180966	04/14/16	\$ 653,128.44
			\$ 653,128.44

Accounts Payable Report by Check Number

Check No	Check Date	Vendor Name/Description	PO #	Invoice #	Invoice Date	Check Amount
00180857	04/14/2016	A.M. LEONARD INC INVENTORY PURCHASES	P90375	CI16044454/5952	03/29/2016	126.57
00180858	04/14/2016	AABCO BARRICADE COMPANY INC Rentals for Egg Hunt	P89958	101142	03/02/2016	6,365.41
00180859	04/14/2016	ADAMS, RONALD E LEOFF1 Retiree Medical Expense	P90452	OH006329	04/12/2016	128.77
00180860	04/14/2016	ALLEN, JOSEPH PERMIT REFUND		1603283	04/11/2016	100.36
00180861	04/14/2016	AMERICAN EXPRESS (LB) Supplies for Senior Social pro	P90303	93311MAR292016B	03/29/2016	43.54
00180862	04/14/2016	AMERICAN EXPRESS (YFS) High res photo for MI Living a	P90407	33311MAR292016A	03/29/2016	651.50
00180863	04/14/2016	BAKER, DENNIS L MILEAGE EXPENSE		OH006315	04/05/2016	81.00
00180864	04/14/2016	BECKWITH, THOMAS OVERPAYMENT REFUND		OH006316	04/08/2016	95.91
00180865	04/14/2016	BENTLEY, ANDY PERMIT REFUND		1602077	04/11/2016	95.20
00180866	04/14/2016	BRATWEAR Jumpsuit-Jira	P90354	18409	03/28/2016	537.65
00180867	04/14/2016	BREWTON MD, LUKE Clinical consultations	P90095	OH006355	04/05/2016	150.00
00180868	04/14/2016	BUILDERS HARDWARE & SUPPLY CO. HINGE	P90204	S3471033001	03/09/2016	3.99
00180869	04/14/2016	BUNNIES FOR BIRTHDAYS Performance services for Leap	P90448	OH006330	04/12/2016	500.00
00180870	04/14/2016	CAREY, ANGELA Entertainment services for Lea	P90270	OH006332	03/29/2016	500.00
00180871	04/14/2016	CDW GOVERNMENT INC 3 Laptops 2016 Equipment	P90233	CMZ8831	03/24/2016	8,026.83
00180872	04/14/2016	CENTURYLINK PHONE USE APRIL 2016		OH006317	04/01/2016	1,883.98
00180873	04/14/2016	CESSCO INVENTORY PURCHASES	P90320	4983	03/24/2016	258.20
00180874	04/14/2016	COOK, KEVIN FRLEOFF1 Retiree Medical Expen	P90453	OH006331	04/12/2016	30.00
00180875	04/14/2016	CRYSTAL AND SIERRA SPRINGS Monthly water service deliver	P89371	5277493040116	04/01/2016	16.03
00180876	04/14/2016	DAVIS, SUZANNA Instruction services for Belly	P90410	15874	04/07/2016	207.20
00180877	04/14/2016	DON SMALL & SONS OIL DIST CO OIL DELIVERY	P90428	OH006333	03/31/2016	1,483.73
00180878	04/14/2016	DROLL LANDSCAPE ARCH, ROBERT W South Mercer Playfields Bleach	P90456	1500302	02/25/2016	1,515.50
00180879	04/14/2016	ECONORTHWEST MERCER ISLAND TOWN CENTER JANU	P89685	16885	03/31/2016	11,701.25
00180880	04/14/2016	ELSOE, RONALD LEOFF1 Retiree Medical Expense	P90454	OH006334	04/12/2016	46.99
00180881	04/14/2016	EMC RESEARCH BIENNIAL CITIZEN SURVEY	P90414	10018	03/31/2016	15,200.00
00180882	04/14/2016	FASTSIGNS BELLEVUE/ISSAQUAH PUBLIC NOTICE SIGNS	P90321	B82294	03/23/2016	1,916.25

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00180883	04/14/2016	FEHR & PEERS SOUND TRANSIT REVIEW SVCS	P87284	105074	01/06/2016	9,076.61
00180884	04/14/2016	FINANCIAL CONSULTANTS INT'L EQUIPMENT FOR FL-0406	P89689	15113	03/31/2016	10,802.88
00180885	04/14/2016	FIRE PROTECTION INC Add alarm keypad at Caretaker'	P90011	31211	03/28/2016	637.29
00180886	04/14/2016	GORDON, DAVID GEORGE Entertainment services for 201	P90195	OH006335	04/12/2016	500.00
00180887	04/14/2016	GRAINGER INVENTORY PURCHASES	P90267	9062836367	03/23/2016	235.18
00180888	04/14/2016	HANSEN, JOHN OVERPAYMENT REFUND		OH006321	04/08/2016	401.39
00180889	04/14/2016	HAYWARD, ROBERT OVERPAYMENT REFUND		OH006322	04/08/2016	217.85
00180890	04/14/2016	HDR ENGINEERING INC BOOSTER CHLORINATION STATION	P89617	00481716H	04/06/2016	9,730.01
00180891	04/14/2016	HEALTHFORCE PARTNERS LLC Marine Patrol physical-Marcrof	P90399	27997/28076	03/24/2016	872.00
00180892	04/14/2016	HENNESSEY FLEET CONSULTING MAINTENANCE DEPT FLEET AUDIT	P89863	201628	04/01/2016	2,415.00
00180893	04/14/2016	HOLMES, EDWARD J PER DIEM REIMB SACOP CONF		OH006320	04/12/2016	185.70
00180894	04/14/2016	HOME DEPOT CREDIT SERVICE INVENTORY PURCHASES	P90446	0111837251901	04/11/2016	212.14
00180895	04/14/2016	HONEYWELL, MATTHEW V Professional Services -	P90485	910	04/13/2016	350.00
00180896	04/14/2016	HORIZON BACKPACK SPRAYER & CABLE	P90391	3M186830/827	03/29/2016	143.59
00180897	04/14/2016	HUGHES FIRE EQUIPMENT INC Parts for 8611	P90377	502664/502614	03/25/2016	401.16
00180898	04/14/2016	HUTCHINSON, LISA K Joint Commission-PROFESSIONAL	P90439	3387	04/08/2016	882.00
00180899	04/14/2016	IBS INC MISC. HARDWARE (VEHICLE MAINT.	P90298	6117132	03/25/2016	20.40
00180900	04/14/2016	IBSEN TOWING CO BELLEVUE LIC/ARN0186 David Kelley	P90401	B107153	03/10/2016	196.01
00180901	04/14/2016	IPMA-HR 2016 Membership K. Segle	P90455	INV14904H6R5K7	03/30/2016	109.00
00180902	04/14/2016	ISLAND SECURITY SYSTEMS PERMIT REFUND		1604096	04/11/2016	49.00
00180903	04/14/2016	ISLAND SQUARE APARTMENTS Rental ass't for EA client TT	P90403	OH006336	04/06/2016	1,000.00
00180904	04/14/2016	ISSAQUAH CITY JAIL Feb jail bill	P90351	0450008146	03/26/2016	2,813.00
00180905	04/14/2016	JB INSTANT LAWN INC 128 SQ FT OF SOD	P90417	535005	03/03/2016	49.06
00180906	04/14/2016	KC HOUSING AUTHORITY Rental assistance for EA clien	P90058	OH006337	03/09/2016	154.00
00180907	04/14/2016	KCFTOA Instructor I - Givens	P89572	6236/6239	03/28/2016	1,230.00
00180908	04/14/2016	KING COUNTY FINANCE MONTHLY SEWER JAN-DEC 2016	P89275	30013344	04/01/2016	369,737.91

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Check No	Check Date	Vendor Name/Description	PO #	Invoice #	Invoice Date	Check Amount
00180909	04/14/2016	KROESENS UNIFORM COMPANY Velcro	P90451	63912/63908	03/31/2016	148.96
00180910	04/14/2016	LAKESIDE INDUSTRIES CLASS B ASPHALT (2 TONS) & TAC	P90409	3260829MB	03/31/2016	233.24
00180911	04/14/2016	LAU & WENDY LU, PHILLIP OVERPAYMENT REFUND		OH006323	04/08/2016	75.03
00180912	04/14/2016	LLOYD ENTERPRISES INC PLAYFIELD SAND (31.77 TONS)	P90431	194250	03/30/2016	741.69
00180913	04/14/2016	LOISEAU, LERI M LEOFF1 Retiree Medical Expense	P90468	OH006338	04/12/2016	434.73
00180914	04/14/2016	LOUD EDGE Creative services for Art	P90411	COMI020916	02/09/2016	450.00
00180915	04/14/2016	METROPRESORT Printing and Mailing of Annual	P90438	481758	04/04/2016	3,078.97
00180916	04/14/2016	MI BASEBALL BOOSTER CLUB Share of cost for drawings and	P90458	100	03/29/2016	1,194.22
00180917	04/14/2016	MI CHAMBER OF COMMERCE Monthly membership luncheons	P90449	2901	04/08/2016	45.00
00180918	04/14/2016	MI HARDWARE - P&R Misc supplies	P90393	OH006341	03/31/2016	76.90
00180919	04/14/2016	MI HARDWARE - POLICE Batteries	P90397	OH006340	03/31/2016	14.37
00180920	04/14/2016	MI HARDWARE - YFS Operating supplies for YFS/LB	P89329	OH006339	03/31/2016	99.93
00180921	04/14/2016	MI ROTARY CLUB Returning over payment of rent	P90343	21070	04/04/2016	13.00
00180922	04/14/2016	MINNICK, MARGARET OVERPAYMENT REFUND		OH006324	04/08/2016	43.50
00180923	04/14/2016	MOBERLY AND ROBERTS Professional Services - Prosec	P90436	595	04/01/2016	6,000.00
00180924	04/14/2016	MORGAN SOUND Joint Commission Mtg Sound Ser	P90441	MSI85084	01/19/2016	845.34
00180925	04/14/2016	NOEL, BRIAN W USCG LIVE FIRE TRAINING EXPEN		OH006352	04/12/2016	36.60
00180926	04/14/2016	NORTH LAKE MARINA- OIL CAP	P90429	172/173/278	03/02/2016	362.18
00180927	04/14/2016	NW FIRE INVESTIGATORS FI Conference - Mair	P90465	OH006342	04/12/2016	425.00
00180928	04/14/2016	NW FIRE INVESTIGATORS FI Conference - Bastrom	P90464	OH006343	04/12/2016	425.00
00180929	04/14/2016	PACIFIC AIR CONTROL INC MAINT MECH SHOP HEATER REPAIR	P90307	185943	03/24/2016	809.20
00180930	04/14/2016	PACIFIC SCIENCE CENTER Performance services for Leap	P90395	OH006346	04/06/2016	518.00
00180931	04/14/2016	POLYLANG TRANSLATION SERV INC Translation services for clien	P90479	FAEM160301	03/29/2016	40.00
00180932	04/14/2016	PUGET SOUND ENERGY Utility Assistance for Emergen	P89289	OH006344	04/06/2016	618.21
00180933	04/14/2016	PUGET SOUND ENERGY Utility Assistance for Emergen	P89289	OH006354	04/13/2016	209.10
00180934	04/14/2016	PUGET SOUND ENERGY ENERGY USE APRIL 2016	P90426	OH006345	03/29/2016	5,269.90

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00180935	04/14/2016	R A BROWN BACKFLOW TESTING VALVE REPAIR KIT	P90408	16022402/2403	02/24/2016	1,387.38
00180936	04/14/2016	RETAIL POINT OF SALE INC Operating supplies for Thrift	P90406	14729	04/01/2016	1,956.23
00180937	04/14/2016	REUTIMANN, RUTH OVERPAYMENT REFUND		OH006326	04/08/2016	310.22
00180938	04/14/2016	RICH LANDSCAPING INC 2015-2016 Open Space Vegetatio	P87253	35447/34575	11/03/2015	28,509.69
00180939	04/14/2016	RKK CONSTRUCTION OVERPAYMENT REFUND		OH006327	04/08/2016	146.99
00180940	04/14/2016	S&B INC SCADA REPORT FOR CHLORINE REPO	P89531	SB241701/24170	02/29/2016	1,938.15
00180941	04/14/2016	SANDINE, ASEA FLEX SPENDING ACCT REIMB		OH006358	04/15/2016	192.31
00180942	04/14/2016	SANDSTROM, DONALD SUPPLIES FOR APRS PROJECT		OH006328	04/05/2016	96.71
00180943	04/14/2016	SCHUCK, CHRISTINA FLEX SPEND ACCT REIMB		OH006359	04/15/2016	268.44
00180944	04/14/2016	SCHUMACHER, FRED FLEX SPEND ACCT REIMB		OH006357	04/15/2016	165.35
00180945	04/14/2016	SEATTLE PUBLIC UTILITIES MARCH 2016 SPU NEW RETAIL SERV	P90413	OH006347	03/31/2016	9,296.00
00180946	04/14/2016	SEATTLE TILTH ASSOCIATION Performance services for Leap	P90212	OH006350	03/22/2016	350.00
00180947	04/14/2016	SEATTLE, CITY OF Mar 2016 Water Purchases	P90467	OH006348	03/29/2016	93,644.08
00180948	04/14/2016	SKAGIT SHOOTING SPORTS INC Firearms ammo	P90457	10698	04/07/2016	5,425.00
00180949	04/14/2016	SOUND PUBLISHING INC Advertising contract for Seatt	P89368	7674441	03/31/2016	417.00
00180950	04/14/2016	SOUND SAFETY PRODUCTS SAFETY BOOTS	P90359	89705	03/29/2016	143.77
00180951	04/14/2016	STANTEC CONSULTING SRVS INC MADRONA CREST WEST PROJECT	P86755	1029416	03/30/2016	16,645.13
00180952	04/14/2016	STEWART, NANCY Entertainment services for Lea	P90269	OH006349	03/29/2016	250.00
00180953	04/14/2016	SUNDSTROM, ROBERT Instruction services for Bird	P90416	15764	04/07/2016	610.55
00180954	04/14/2016	TANYA'S SEASONAL COLOR LLC TWIN FOXES-PERENNIAL PLANTING	P90392	103	03/09/2016	787.35
00180955	04/14/2016	TAWNEY, LAURA FLEX SPEND ACCT REIMB		OH006360	04/15/2016	564.84
00180956	04/14/2016	ULLMAN, BRAD PERMIT REFUND		1602102	04/11/2016	424.61
00180957	04/14/2016	UNITED SITE SERVICES 2015-16 Volunteer event portab	P85569	1143888251	03/30/2016	110.76
00180958	04/14/2016	UPS SHIPPING FEE		0000T6781T146	04/02/2016	10.47
00180959	04/14/2016	VERIZON WIRELESS Cell phone bill	P89331	9762618980	03/23/2016	1,116.68
00180960	04/14/2016	WALLACE, THOMAS REPLACE WARRANT 180851		OH006353	04/13/2016	104.90

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Check No	Check Date	Vendor Name/Description	PO #	Invoice #	Invoice Date	Check Amount
00180961	04/14/2016	WASHINGTON STATE PATROL CPL background checks	P90348	F1600205	03/24/2016	624.50
00180962	04/14/2016	WATERSHED COMPANY, THE Wetland delineation at Luther	P90475	20160374	04/07/2016	77.50
00180963	04/14/2016	WHISTLE WORKWEAR SAFETY BOOTS	P90433	TR292378	03/21/2016	157.24
00180964	04/14/2016	WMCA A. Spietz 2016 Dues	P90369	01554/01555	04/04/2016	150.00
00180965	04/14/2016	ZEE MEDICAL First aid supplies for MICEC	P90376	68307092	04/05/2016	926.48
00180966	04/14/2016	ZLICARIC, JOVANA Unable to attend class due to	P90342	OH006351	04/04/2016	25.00
					Total	<u>653,128.44</u>

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
<i>Org Key: 001000 - General Fund-Admin Key</i>				
P90342	00180966	ZLICARIC, JOVANA	Unable to attend class due to	21.50
P90343	00180921	MI ROTARY CLUB	Returning over payment of rent	13.00
P90342	00180966	ZLICARIC, JOVANA	Unable to attend class due to	3.50
<i>Org Key: 402000 - Water Fund-Admin Key</i>				
P90413	00180945	SEATTLE PUBLIC UTILITIES	MARCH 2016 SPU NEW RETAIL SERV	9,296.00
	00180888	HANSEN, JOHN	OVERPAYMENT REFUND	401.39
	00180937	REUTIMANN, RUTH	OVERPAYMENT REFUND	310.22
P90320	00180873	CESSCO	INVENTORY PURCHASES	258.20
	00180889	HAYWARD, ROBERT	OVERPAYMENT REFUND	217.85
	00180939	RKK CONSTRUCTION	OVERPAYMENT REFUND	146.99
	00180864	BECKWITH, THOMAS	OVERPAYMENT REFUND	95.91
P90375	00180857	A.M. LEONARD INC	INVENTORY PURCHASES	83.60
	00180911	LAU & WENDY LU, PHILLIP	OVERPAYMENT REFUND	75.03
P90267	00180887	GRAINGER	INVENTORY PURCHASES	64.30
P90361	00180887	GRAINGER	INVENTORY PURCHASES	62.82
	00180922	MINNICK, MARGARET	OVERPAYMENT REFUND	43.50
P90424	00180894	HOME DEPOT CREDIT SERVICE	INVENTORY PURCHASES	21.13
<i>Org Key: CA1200 - Prosecution & Criminal Mngmnt</i>				
P90436	00180923	MOBERLY AND ROBERTS	Professional Services - Prosec	6,000.00
P90485	00180895	HONEYWELL, MATTHEW V	Professional Services -	350.00
<i>Org Key: CM11SP - Special Projects-City Mgr</i>				
P87284	00180883	FEHR & PEERS	SOUND TRANSIT REVIEW SVCS	9,076.61
<i>Org Key: CM1200 - City Clerk</i>				
P90369	00180964	WMCA	A. Spietz 2016 Dues	75.00
P90369	00180964	WMCA	K. Roberts 2016 Dues	75.00
P90449	00180917	MI CHAMBER OF COMMERCE	K. Taylor April Luncheon	15.00
<i>Org Key: CM1300 - Sustainability</i>				
P90448	00180869	BUNNIES FOR BIRTHDAYS	Performance services for Leap	500.00
P90195	00180886	GORDON, DAVID GEORGE	Entertainment services for 201	500.00
P90212	00180946	SEATTLE TILTH ASSOCIATION	Performance services for Leap	350.00
<i>Org Key: CR1100 - CORe Admin and Human Resources</i>				
P90455	00180901	IPMA-HR	2016 Membership K. Segle	109.00
<i>Org Key: DS0000 - Development Services-Revenue</i>				
	00180956	ULLMAN, BRAD	PERMIT REFUND	424.61
	00180860	ALLEN, JOSEPH	PERMIT REFUND	100.36
	00180865	BENTLEY, ANDY	PERMIT REFUND	95.20
<i>Org Key: DS1300 - Land Use Planning Svc</i>				
P90321	00180882	FASTSIGNS BELLEVUE/ISSAQUAH	PUBLIC NOTICE SIGNS	1,916.25
<i>Org Key: DS4550 - Utility Inspection (Clearing)</i>				
P90359	00180950	SOUND SAFETY PRODUCTS	SAFETY BOOTS	143.77
<i>Org Key: DSBE01 - Economic Development</i>				
P89685	00180879	ECONORTHWEST	MERCER ISLAND TOWN CENTER JANU	11,701.25
P90439	00180898	HUTCHINSON, LISA K	Joint Commission-PROFESSIONAL	882.00

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
P90441	00180924	MORGAN SOUND	Joint Commission Mtg Sound Ser	845.34
<i>Org Key: FN4501 - Utility Billing (Water)</i>				
P89917	00180915	METROPRESORT	Printing and Mailing March 201	460.15
P89917	00180915	METROPRESORT	Printing and Mailing March 201	348.12
P90440	00180915	METROPRESORT	Printing and Mailing of Annual	234.35
P90440	00180915	METROPRESORT	Printing and Mailing of Annual	193.15
<i>Org Key: FN4502 - Utility Billing (Sewer)</i>				
P89917	00180915	METROPRESORT	Printing and Mailing March 201	460.15
P89917	00180915	METROPRESORT	Printing and Mailing March 201	348.14
<i>Org Key: FN4503 - Utility Billing (Storm)</i>				
P89917	00180915	METROPRESORT	Printing and Mailing March 201	460.15
P89917	00180915	METROPRESORT	Printing and Mailing March 201	348.14
<i>Org Key: FNBE01 - Financial Services</i>				
P90438	00180915	METROPRESORT	1ST Quarter Printing and Maili	164.10
P90438	00180915	METROPRESORT	1ST Quarter Printing and Maili	62.52
<i>Org Key: FR0000 - Fire-Revenue</i>				
	00180902	ISLAND SECURITY SYSTEMS	PERMIT REFUND	49.00
<i>Org Key: FR1100 - Administration (FR)</i>				
P90240	00180871	CDW GOVERNMENT INC	3 Laptops 2016 Equipment	993.46
	00180872	CENTURYLINK	PHONE USE APRIL 2016	156.94
<i>Org Key: FR2100 - Fire Operations</i>				
P90377	00180897	HUGHES FIRE EQUIPMENT INC	Parts for 8611	401.16
<i>Org Key: FR4100 - Training</i>				
P89572	00180907	KCFTOA	Pump Ops - Petersen	360.00
P89572	00180907	KCFTOA	Pump Ops - Stalker	360.00
P89409	00180907	KCFTOA	Instructor I - Givens	180.00
P89409	00180907	KCFTOA	Instructor 1 - Kissel	180.00
P89572	00180907	KCFTOA	Tech Rescue Response - Guttu	75.00
P89572	00180907	KCFTOA	Tech Rescue Response - Horschm	75.00
<i>Org Key: FR5100 - Community Risk Reduction</i>				
P90465	00180927	NW FIRE INVESTIGATORS	FI Conference - Mair	425.00
P90464	00180928	NW FIRE INVESTIGATORS	FI Conference - Bastrom	425.00
<i>Org Key: GGM001 - General Government-Misc</i>				
P90414	00180881	EMC RESEARCH	BIENNIAL CITIZEN SURVEY	15,200.00
P89863	00180892	HENNESSEY FLEET CONSULTING	MAINTENANCE DEPT FLEET AUDIT	2,415.00
P90394	00180965	ZEE MEDICAL	First aid supplies for MICEC	305.78
P90394	00180965	ZEE MEDICAL	First aid supplies for Luther	138.96
<i>Org Key: GGM005 - Genera Govt-L1 Retiree Costs</i>				
P90468	00180913	LOISEAU, LERI M	LEOFF1 Retiree Medical Expense	434.73
P90452	00180859	ADAMS, RONALD E	LEOFF1 Retiree Medical Expense	128.77
	00180960	WALLACE, THOMAS	REPLACE WARRANT 180851	104.90
P90454	00180880	ELSOE, RONALD	LEOFF1 Retiree Medical Expense	46.99
P90453	00180874	COOK, KEVIN	FRLEOFF1 Retiree Medical Expn	30.00

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
<i>Org Key: IS2100 - IGS Network Administration</i>				
	00180872	CENTURYLINK	PHONE USE MARCH 2016	711.31
	00180872	CENTURYLINK	PHONE USE APRIL 2016	493.63
<i>Org Key: MT2100 - Roadway Maintenance</i>				
	00180934	PUGET SOUND ENERGY	ENERGY USE APRIL 2016	3,363.42
P90426	00180934	PUGET SOUND ENERGY	4815 ICW STREET LIGHT INSTALL	1,906.48
P90376	00180965	ZEE MEDICAL	FIRST AID SUPPLIES	22.83
<i>Org Key: MT2200 - Vegetation Maintenance</i>				
P90376	00180965	ZEE MEDICAL	FIRST AID SUPPLIES	22.83
<i>Org Key: MT2300 - Planter Bed Maintenance</i>				
P90417	00180905	JB INSTANT LAWN INC	128 SQ FT OF SOD	49.06
P90376	00180965	ZEE MEDICAL	FIRST AID SUPPLIES	19.57
<i>Org Key: MT3100 - Water Distribution</i>				
P90376	00180965	ZEE MEDICAL	FIRST AID SUPPLIES	22.83
	00180958	UPS	SHIPPING FEE	10.47
<i>Org Key: MT3150 - Water Quality Event</i>				
P89531	00180940	S&B INC	SCADA REPORT FOR CHLORINE REPO	1,664.40
P89531	00180940	S&B INC	CL2 REPORT FOR DATAMONITOR	273.75
<i>Org Key: MT3200 - Water Pumps</i>				
	00180872	CENTURYLINK	PHONE USE APRIL 2016	237.64
P90376	00180965	ZEE MEDICAL	FIRST AID SUPPLIES	19.57
<i>Org Key: MT3400 - Sewer Collection</i>				
P90376	00180965	ZEE MEDICAL	FIRST AID SUPPLIES	22.83
<i>Org Key: MT3500 - Sewer Pumps</i>				
P90376	00180965	ZEE MEDICAL	FIRST AID SUPPLIES	22.83
<i>Org Key: MT3600 - Sewer Associated Costs</i>				
P90433	00180963	WHISTLE WORKWEAR	SAFETY BOOTS	157.24
	00180863	BAKER, DENNIS L	MILEAGE EXPENSE	81.00
<i>Org Key: MT3800 - Storm Drainage</i>				
P90409	00180910	LAKESIDE INDUSTRIES	CLASS B ASPHALT (2 TONS) & TAC	233.24
P90376	00180965	ZEE MEDICAL	FIRST AID SUPPLIES	22.83
<i>Org Key: MT4200 - Building Services</i>				
P90305	00180929	PACIFIC AIR CONTROL INC	MAINT MECH SHOP HEATER REPAIR	383.24
P90306	00180929	PACIFIC AIR CONTROL INC	FS91 FURNACE DOWNSTAIRS REPAIR	242.00
P90376	00180965	ZEE MEDICAL	FIRST AID SUPPLIES	19.57
P90204	00180868	BUILDERS HARDWARE & SUPPLY CO.	HINGE	3.99
<i>Org Key: MT4300 - Fleet Services</i>				
P90428	00180877	DON SMALL & SONS OIL DIST CO	OIL DELIVERY	1,483.73
P90429	00180926	NORTH LAKE MARINA-	PATROL 14 FUEL	188.20
P90429	00180926	NORTH LAKE MARINA-	PATROL 11 FUEL	168.40
P90404	00180894	HOME DEPOT CREDIT SERVICE	MISC. LUMBER	147.25
P90416	00180953	SUNDSTROM, ROBERT	Instruction services for Bird	38.18

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
P90298	00180899	IBS INC	MISC. HARDWARE (VEHICLE MAINT.	20.40
P90376	00180965	ZEE MEDICAL	FIRST AID SUPPLIES	19.57
P90361	00180887	GRAINGER	3 VOLT COIN CELL BATTERY	8.29
P90429	00180926	NORTH LAKE MARINA-	OIL CAP	5.58
<i>Org Key: MT4501 - Water Administration</i>				
P90467	00180947	SEATTLE, CITY OF	Mar 2016 Water Purchases	93,644.08
<i>Org Key: MT4502 - Sewer Administration</i>				
P89275	00180908	KING COUNTY FINANCE	MONTHLY SEWER JAN-DEC 2016	369,737.91
<i>Org Key: PO1100 - Administration (PO)</i>				
P90396	00180959	VERIZON WIRELESS	Cell phone bill	1,076.67
	00180893	HOLMES, EDWARD J	PER DIEM REIMB SACOP CONF	185.70
<i>Org Key: PO1350 - Police Emergency Management</i>				
	00180942	SANDSTROM, DONALD	SUPPLIES FOR APRS PROJECT	96.71
<i>Org Key: PO1700 - Records and Property</i>				
P90400	00180965	ZEE MEDICAL	First aid supplies	155.54
<i>Org Key: PO1800 - Contract Dispatch Police</i>				
P90450	00180961	WASHINGTON STATE PATROL	CPL background checks	88.50
<i>Org Key: PO1900 - Jail/Home Monitoring</i>				
P90351	00180904	ISSAQUAH CITY JAIL	Feb jail bill	2,813.00
<i>Org Key: PO2100 - Patrol Division</i>				
P90354	00180866	BRATWEAR	Jumpsuit-Jira	537.65
P90401	00180900	IBSEN TOWING CO BELLEVUE	LIC/ARN0186 David Kelley	196.01
P90451	00180909	KROESENS UNIFORM COMPANY	Uniform belt pouches	146.77
P90451	00180909	KROESENS UNIFORM COMPANY	Velcro	2.19
<i>Org Key: PO2200 - Marine Patrol</i>				
P90348	00180961	WASHINGTON STATE PATROL	Basic Marine-Schroeder	500.00
P90399	00180891	HEALTHFORCE PARTNERS LLC	Marine Patrol physical-Marcrof	150.00
	00180925	NOEL, BRIAN W	USCG LIVE FIRE TRAINING EXPEN	36.60
<i>Org Key: PO2201 - Dive Team</i>				
P90399	00180891	HEALTHFORCE PARTNERS LLC	Dive team physical-Noel	722.00
P90397	00180919	MI HARDWARE - POLICE	Batteries	14.37
<i>Org Key: PO4100 - Training</i>				
P90457	00180948	SKAGIT SHOOTING SPORTS INC	Firearms ammo	5,425.00
<i>Org Key: PR1100 - Administration (PR)</i>				
	00180872	CENTURYLINK	PHONE USE APRIL 2016	47.40
P90393	00180918	MI HARDWARE - P&R	Misc supplies	2.72
<i>Org Key: PR2100 - Recreation Programs</i>				
P90237	00180871	CDW GOVERNMENT INC	Ryan Daly Laptop with Dept	802.36
P90416	00180953	SUNDSTROM, ROBERT	Instruction services for Bird	572.37
<i>Org Key: PR2104 - Special Events</i>				
P90434	00180858	AABCO BARRICADE COMPANY INC	Rentals for Egg Hunt	525.88

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
P90395	00180930	PACIFIC SCIENCE CENTER	Performance services for Leap	518.00
P90270	00180870	CAREY, ANGELA	Entertainment services for Lea	500.00
P90269	00180952	STEWART, NANCY	Entertainment services for Lea	250.00
<i>Org Key: PR2108 - Health and Fitness</i>				
P90410	00180876	DAVIS, SUZANNA	Instruction services for Belly	207.20
<i>Org Key: PR3500 - Senior Services</i>				
P90303	00180861	AMERICAN EXPRESS (LB)	Supplies for Senior Social pro	43.54
<i>Org Key: PR4100 - Community Center</i>				
P90240	00180871	CDW GOVERNMENT INC	3 Laptops 2016 Equipment	1,986.92
P90393	00180918	MI HARDWARE - P&R	Misc custodial supplies for MI	22.63
<i>Org Key: PR5200 - Public Art</i>				
P90411	00180914	LOUD EDGE	Creative services for Art	450.00
<i>Org Key: PR6100 - Park Maintenance</i>				
P89958	00180858	AABCO BARRICADE COMPANY INC	Barricades for Rotary Run	5,839.53
P90375	00180857	A.M. LEONARD INC	SOIL TEST KITS	42.97
P90376	00180965	ZEE MEDICAL	FIRST AID SUPPLIES	22.83
<i>Org Key: PR6200 - Athletic Field Maintenance</i>				
P90431	00180912	LLOYD ENTERPRISES INC	PLAYFIELD SAND (31.77 TONS)	741.69
	00180872	CENTURYLINK	PHONE USE APRIL 2016	86.32
P90376	00180965	ZEE MEDICAL	FIRST AID SUPPLIES	22.83
<i>Org Key: PR6500 - Luther Burbank Park Maint.</i>				
P90362	00180887	GRAINGER	45 GAL. STORAGE TOTES	99.77
P90376	00180965	ZEE MEDICAL	FIRST AID SUPPLIES	22.83
P90393	00180918	MI HARDWARE - P&R	Misc supplies	14.16
<i>Org Key: PR6600 - Park Maint-School Related</i>				
P90376	00180965	ZEE MEDICAL	FIRST AID SUPPLIES	19.57
<i>Org Key: PR6700 - I90 Park Maintenance</i>				
P90408	00180935	R A BROWN BACKFLOW TESTING	BACKFLOW TESTING	1,360.00
P90391	00180896	HORIZON	BACKPACK SPRAYER & CABLE	143.59
P90408	00180935	R A BROWN BACKFLOW TESTING	VALVE REPAIR KIT	27.38
P90376	00180965	ZEE MEDICAL	FIRST AID SUPPLIES	22.88
<i>Org Key: PY4616 - Flex Admin 2016</i>				
	00180955	TAWNEY, LAURA	FLEX SPEND ACCT REIMB	564.84
	00180943	SCHUCK, CHRISTINA	FLEX SPEND ACCT REIMB	268.44
	00180941	SANDINE, ASEA	FLEX SPENDING ACCT REIMB	192.31
	00180944	SCHUMACHER, FRED	FLEX SPEND ACCT REIMB	165.35
<i>Org Key: WG101R - City Hall Building Repairs</i>				
P90392	00180954	TANYA'S SEASONAL COLOR LLC	TWIN FOXES-PERENNIAL PLANTING	787.35
<i>Org Key: WG105R - Community Center Bldg Repairs</i>				
P90307	00180929	PACIFIC AIR CONTROL INC	MERCER ROOM AIR HANDLER	183.96
<i>Org Key: WG110T - Computer Equip Replacements</i>				
P90240	00180871	CDW GOVERNMENT INC	3 Laptops 2016 Equipment	2,999.99

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
P90237	00180871	CDW GOVERNMENT INC	Ryan Daly Laptop with Dept	1,000.01
P90233	00180871	CDW GOVERNMENT INC	Deferred MDC Replacement Polic	244.09
<i>Org Key: WG130E - Equipment Rental Vehicle Repl</i>				
P89689	00180884	FINANCIAL CONSULTANTS INT'L	EQUIPMENT FOR FL-0487	5,455.89
P89688	00180884	FINANCIAL CONSULTANTS INT'L	EQUIPMENT FOR FL-0406	5,346.99
<i>Org Key: WP113R - South Mercer Playfields</i>				
P90456	00180878	DROLL LANDSCAPE ARCH, ROBERT W	South Mercer Playfields Bleach	1,515.50
<i>Org Key: WP122R - Vegetation Management</i>				
P87253	00180938	RICH LANDSCAPING INC	2015-2016 Open Space Vegetatio	28,509.69
P85569	00180957	UNITED SITE SERVICES	2015-16 Volunteer event portab	110.76
<i>Org Key: WP503R - Luther Burbank Pk Major Impvt</i>				
P90393	00180918	MI HARDWARE - P&R	Misc supplies for Caretaker's	37.39
<i>Org Key: WP720R - Recurring Park Projects</i>				
P90458	00180916	MI BASEBALL BOOSTER CLUB	Share of cost for drawings and	1,194.22
<i>Org Key: WW526R - Madrona Crest West Water Sys</i>				
P86755	00180951	STANTEC CONSULTING SRVS INC	MADRONA CREST WEST PROJECT	16,645.13
<i>Org Key: WW528R - 9700 Block SE 41st Watermain</i>				
P90446	00180894	HOME DEPOT CREDIT SERVICE	LIQUID LAWN KIT	43.76
<i>Org Key: XP710R - Luther Burbank Minor Improvemnt</i>				
P90011	00180885	FIRE PROTECTION INC	Add alarm keypad at Caretaker'	637.29
P90475	00180962	WATERSHED COMPANY, THE	Wetland delineation at Luther	77.50
<i>Org Key: XW540R - Water Contamination Response</i>				
P89617	00180890	HDR ENGINEERING INC	BOOSTER CHLORINATION STATION	9,730.01
<i>Org Key: YF1100 - YFS General Services</i>				
P90407	00180862	AMERICAN EXPRESS (YFS)	Supplies for Healthy Youth	140.24
P90407	00180862	AMERICAN EXPRESS (YFS)	High res photo for MI Living a	85.00
P89329	00180920	MI HARDWARE - YFS	Operating supplies for YFS/LB	52.21
P89331	00180959	VERIZON WIRELESS	Monthly expense for mobile	40.01
P90479	00180931	POLYLANG TRANSLATION SERV INC	Translation services for clien	40.00
P90460	00180961	WASHINGTON STATE PATROL	Background Check YFS Thrift Sh	36.00
P89590	00180917	MI CHAMBER OF COMMERCE	Monthly membership luncheons	30.00
P89371	00180875	CRYSTAL AND SIERRA SPRINGS	Monthly water service deliver	16.03
<i>Org Key: YF1200 - Thrift Shop</i>				
P90406	00180936	RETAIL POINT OF SALE INC	Operating supplies for Thrift	1,956.23
P90407	00180862	AMERICAN EXPRESS (YFS)	Tshop operating supplies	426.26
P89368	00180949	SOUND PUBLISHING INC	Advertising contract for Seatt	417.00
	00180872	CENTURYLINK	PHONE USE APRIL 2016	150.74
P89329	00180920	MI HARDWARE - YFS	Operating supplies for Thrift	47.72
<i>Org Key: YF2500 - Family Counseling</i>				
P90095	00180867	BREWTON MD, LUKE	Clinical consultations	150.00
<i>Org Key: YF2600 - Family Assistance</i>				
P90403	00180903	ISLAND SQUARE APARTMENTS	Rental ass't for EA client TT	1,000.00

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
P89289	00180932	PUGET SOUND ENERGY	Utility Assistance for Emergen	618.21
P89289	00180933	PUGET SOUND ENERGY	Utility Assistance for Emergen	209.10
P90058	00180906	KC HOUSING AUTHORITY	Rental assistance for EA clien	154.00
			Total	<u>653,128.44</u>

CERTIFICATION OF CLAIMS

I, the undersigned, do hereby certify under penalty of perjury that the materials have been furnished, the services rendered, or the labor performed as described herein, that any advance payment is due and payable pursuant to a contract or is available as an option for full or partial fulfillment of a contractual obligation, and that the claim is a just, due and unpaid obligation against the City of Mercer Island, and that I am authorized to authenticate and certify to said claim.

Charles L. Corder

Finance Director

I, the undersigned, do hereby certify that the City Council has reviewed the documentation supporting claims paid and approved all checks or warrants issued in payment of claims.

Mayor

Date

<u>Report</u>	<u>Warrants</u>	<u>Date</u>	<u>Amount</u>
Check Register	180967-181072	04/21/16	\$ 209,034.11
			\$ 209,034.11

Accounts Payable Report by Check Number

Check No	Check Date	Vendor Name/Description	PO #	Invoice #	Invoice Date	Check Amount
00180967	04/21/2016	ACCESS BLACK BOX, STORAGE, DEL/PICK U	P90530	1389560	03/31/2016	339.42
00180968	04/21/2016	AIRGAS USA LLC Oxygen/Fire	P90500	9935425422	03/31/2016	228.59
00180969	04/21/2016	ALPINE PRODUCTS INC POUR POT & PAIL	P90363	TM156482	03/31/2016	218.76
00180970	04/21/2016	APS INC SE 32ND AND 73RD AVE SE POTHOL	P90076	90764	03/31/2016	9,906.77
00180971	04/21/2016	BASTROM, KENT G CFI COURTROOM REIMB FEE		OH006364	04/13/2016	50.00
00180972	04/21/2016	BELLEVUE, CITY OF CDU Team Training w/ the City	P90493	OH006373	04/14/2016	990.00
00180973	04/21/2016	BEN'S CLEANER SALES INC PRESSURE WASHER & ACCESSORIES	P90445	270122/270132	04/05/2016	3,131.06
00180974	04/21/2016	BLUELINE GROUP SUB BASIN 27a.9 SEWER AND DRAI	P87382	11510	04/04/2016	5,723.50
00180975	04/21/2016	BLUMENTHAL UNIFORMS Lieutenant Badge/Austin	P90497	005153954	04/01/2016	144.54
00180976	04/21/2016	BUILDERS HARDWARE & SUPPLY CO. MAINT SERVER ROOM DOOR LOCK	P90526	S3475924001	03/31/2016	456.05
00180977	04/21/2016	CADCA Mid-Year Training Institute	P90481	OH006375	04/13/2016	595.00
00180978	04/21/2016	CDW GOVERNMENT INC 2016 Computer Replacements Pol	P90532	CPM5514	04/01/2016	3,427.77
00180979	04/21/2016	CEDAR GROVE COMPOSTING INC 3-WAY TOPSOIL (25 YDS)	P90371	0000272633	03/31/2016	692.60
00180980	04/21/2016	CHANNING BETE CO INC 1 BLS Instructor Manual	P90217	53129735	04/02/2016	447.59
00180981	04/21/2016	CHAPTER 13 TRUSTEE PAYROLL EARLY WARRANTS		OH006372	04/15/2016	1,331.00
00180982	04/21/2016	COMCAST Internet Charges/Fire	P90499	OH006377	04/04/2016	70.84
00180983	04/21/2016	COMPLETE OFFICE OFFICE SUPPLIES MARCH 2016		OH006296	03/31/2016	6,024.10
00180984	04/21/2016	CONFLUENCE ENGINEERING GRP LLC MICROBIAL OCCURENCE RESPONSE &	P84834	030316MIWQP	04/13/2016	7,390.00
00180985	04/21/2016	CONGREGATIONAL CHURCH OF MI 2016 Park and Ride lot lease Q	P89752	OH006378	01/01/2016	1,008.00
00180986	04/21/2016	CONSOLIDATED PRESS Looking Ahead printing and mai	P90412	16216	03/31/2016	1,455.23
00180987	04/21/2016	CULLIGAN Water Service/Fire	P90503	201604672721	03/31/2016	189.49
00180988	04/21/2016	DATAQUEST LLC Background checks for P&R	P89372	CMIYOUTH201603	03/31/2016	452.00
00180989	04/21/2016	DAVIDSON DISTRIBUTING Custodial supplies for MICEC	P90435	66651	03/18/2016	236.52
00180990	04/21/2016	DELL MARKETING L.P. Disaster Recovery Offsite Hard	P90531	XJX3FNR59/XJX2D5	03/31/2016	11,690.90
00180991	04/21/2016	DEPT OF ENTERPRISES SERVICES BUSINESS CARD PRINTING		73146974	04/04/2016	378.76
00180992	04/21/2016	EASTSIDE TRAVELING LEAGUE Contract 21226 completed, retu	P90486	21226	04/14/2016	502.00

Accounts Payable Report by Check Number

Check No	Check Date	Vendor Name/Description	PO #	Invoice #	Invoice Date	Check Amount
00180993	04/21/2016	EPSCA MONTHLY RADIO ACCESS FEES 44 R	P89334	8514	04/01/2016	2,903.75
00180994	04/21/2016	EXCEL SUPPLY COMPANY INVENTORY PURCHASES	P90421	78824	04/04/2016	327.97
00180995	04/21/2016	FEHR & PEERS Phase 2 Sound Transit Review	P90539	106942	04/11/2016	785.20
00180996	04/21/2016	FIRE PROTECTION INC FIRE SYSTEM WATER GAUGES	P90517	31510	04/01/2016	1,686.11
00180997	04/21/2016	FIRETREX Fire Training Tracker Fee	P90504	239	04/05/2016	2,100.00
00180998	04/21/2016	G&K SERVICES MAINT. DEPT. COVERALL/LAUNDRY	P90471	OH006379	03/31/2016	694.76
00180999	04/21/2016	GRAINGER INVENTORY PURCHASES	P90444	9071963871	04/04/2016	579.03
00181000	04/21/2016	GRAND & BENEDICTS INC Operating supplies for Thrift	P89367	0795739IN	04/05/2016	483.99
00181001	04/21/2016	H D FOWLER 1-1/2" BRASS CHECK VALVES & PV	P90507	I4161751/4177585	03/22/2016	240.69
00181002	04/21/2016	HAGSTROM, JAMES FRLEOFF1 Retiree Medical Expen	P90492	OH006380	04/14/2016	54.00
00181003	04/21/2016	HEDEEN & CADITZ PLLC Professional Services - FS 92	P90447	8119/20/21/22/23	04/05/2016	18,888.20
00181004	04/21/2016	HP INC 2016 Desktop Replacements	P90294	38569572001	04/05/2016	5,746.55
00181005	04/21/2016	INTERIOR FOLIAGE CO, THE CITY HALL INTERIOR PLANTS	P90515	35490	04/01/2016	271.34
00181006	04/21/2016	KAREN REED CONSULTING LLC Town Center Vision & Developme	P89011	0586	04/01/2016	1,757.50
00181007	04/21/2016	KCFTOA Strategy/Tactics for Givens	P90505	6238	03/28/2016	180.00
00181008	04/21/2016	KIA MOTORS FINANCE DSG 2016 KIA SOUL LEASE	P88915	OH006381	04/14/2016	263.96
00181009	04/21/2016	KING COUNTY FINANCE I-NET MONTHLY SERVICES FROM	P90215	3001388	03/17/2016	1,495.54
00181010	04/21/2016	KING COUNTY FINANCE SIGN FABRICATION	P90473	7371473714	02/29/2016	11.08
00181011	04/21/2016	KPG 2016 ICW RESURFACING PHASE 2 -	P89449	34716	04/05/2016	12,801.87
00181012	04/21/2016	KROESENS UNIFORM COMPANY Records uniforms-Solomon	P90542	23951/27248	09/23/2015	386.43
00181013	04/21/2016	LANGUAGE LINE SERVICES Translation services	P90463	3809221	03/31/2016	3.70
00181014	04/21/2016	LEYDE, CASEY MILEAGE EXPENSES		OH006362	04/18/2016	116.64
00181015	04/21/2016	LIFE ASSIST INC Aid Supplies	P90324	746719	04/01/2016	2,957.95
00181016	04/21/2016	MALIKA Contract 21949 completed, depo	P90488	21949	04/14/2016	330.00
00181017	04/21/2016	MARYMORE VELODROME ASSOC Contract 21885 completed, depo	P90489	21885	04/14/2016	684.00
00181018	04/21/2016	MERCER ISLAND CHEVRON FUEL	P90472	OH006382	03/04/2016	47.47

Accounts Payable Report by Check Number

Check No	Check Date	Vendor Name/Description	PO #	Invoice #	Invoice Date	Check Amount
00181019	04/21/2016	MI EMPLOYEES ASSOC PAYROLL EARLY WARRANTS		OH006369	04/15/2016	140.00
00181020	04/21/2016	MI SCHOOL DISTRICT #400 SCHOOL DISTRICT SITE FUEL	P90470	2016310	04/06/2016	1,082.77
00181021	04/21/2016	MICHAEL SKAGGS ASSOCIATES JANITORIAL SERVICES FOR MONTH	P90316	16152	04/01/2016	10,265.26
00181022	04/21/2016	MONTANA INSTITUTE INC, THE 2016 Montana Summer Institute	P90482	SI20160420160514	04/07/2016	649.00
00181023	04/21/2016	MUTUAL MATERIALS CO MANORSTONE PAVERS	P90071	1481594/1482534	03/01/2016	362.34
00181024	04/21/2016	OMEGA GROUP, THE Crime Mapping annual fee	P90352	0009909IN	03/31/2016	657.00
00181025	04/21/2016	OVERLAKE OIL 800 GAL UNLEADED DELIVERY INV	P90551	0177086/93/128/3	04/01/2016	6,476.81
00181026	04/21/2016	OVERLAKE OIL 650 GAL UNLEADED DELIVERY	P90554	176071PP/0176424	02/23/2016	899.05
00181027	04/21/2016	PACIFIC AIR CONTROL INC HVAC REPAIRS FAN COILS 5&6 & C	P90525	186029	03/31/2016	474.14
00181028	04/21/2016	PARENTMAP March ad for Recreation	P90330	316666	03/31/2016	350.00
00181029	04/21/2016	PEBBLE @ MIPC, THE Preschool scholarships (paid o	P89365	OH006383	04/13/2016	600.00
00181030	04/21/2016	PERFORMANCE RADIATOR INC PS # 11 GENERATOR REPAIR	P90430	5709488	04/08/2016	1,028.17
00181031	04/21/2016	PERTEET INC SAFE ROUTES TO NORTHWOOD ELEME	P89336	201502790003	04/07/2016	7,923.89
00181032	04/21/2016	POLICE ASSOCIATION PAYROLL EARLY WARRANTS		OH006370	04/15/2016	2,610.23
00181033	04/21/2016	PROJECT A INC Intranet Annual Support	P90336	16839	04/01/2016	3,000.00
00181034	04/21/2016	PUGET SOUND ACCESS MI-TV Council Broadcast 03/07	P90538	2377	04/06/2016	517.50
00181035	04/21/2016	PUMPTECH INC ANNUAL CHOPPER PUMP MAINTENANC	P90478	013025IN	02/26/2016	4,292.40
00181036	04/21/2016	PURIFIED WATER TO GO Nov-March billing	P90558	1102015/1002016/	03/31/2016	203.50
00181037	04/21/2016	R A BROWN BACKFLOW TESTING BACKFLOW TEST FS92	P90528	16041202	04/12/2016	201.00
00181038	04/21/2016	REGIONAL TOXICOLOGY SERVICES Lab fees for Harnish clients	P89330	OH006384	03/31/2016	125.60
00181039	04/21/2016	REPUBLIC SERVICES #172 25 YRD DISPOSAL/RECYCLING SERV	P90573	6711750/437/240	03/31/2016	7,055.30
00181040	04/21/2016	RETAIL POINT OF SALE INC REPLACE WARRANT #177359		OH006367	04/18/2016	966.00
00181041	04/21/2016	RICOH USA INC (FIRE) Copier Rental/Fire	P90502	96615151	04/05/2016	319.42
00181042	04/21/2016	ROKKA SKI SCHOOL Contract 18820 completed, depo	P90487	18820	04/14/2016	150.00
00181043	04/21/2016	ROSTOV, HERSHEL P FIRE MARSHAL MEETING EXPENSE		OH006365	04/07/2016	16.98
00181044	04/21/2016	SOUND PUBLISHING INC Ntc: ZTR16-001 1560977 3/16	P90484	7671867	03/31/2016	1,265.44

Accounts Payable Report by Check Number

Check No	Check Date	Vendor Name/Description	PO #	Invoice #	Invoice Date	Check Amount
00181045	04/21/2016	SPARROW, JEREMY SR GOLF PROGRAM EXPENSE		OH006361	04/13/2016	12.00
00181046	04/21/2016	SPIETZ, ALLISON WMCA CONFERENCE EXPENSE		OH006366	04/07/2016	186.20
00181047	04/21/2016	SUNGARD PUBLIC SECTOR INC ONESOLUTION MAINTENANCE	P90415	117695	03/31/2016	9,646.46
00181048	04/21/2016	TARGET SPECIALTY PRODUCTS EZ Ject Copperhead	P90474	PI0404123	03/31/2016	341.65
00181049	04/21/2016	THOMSON REUTERS - WEST CIS intel database	P90462	833761084	04/01/2016	182.95
00181050	04/21/2016	UNITED WAY OF KING CO PAYROLL EARLY WARRANTS		OH006371	04/15/2016	210.10
00181051	04/21/2016	UPS SHIPPING FEE		0000T6781T156	04/09/2016	10.24
00181052	04/21/2016	WALTER E NELSON CO INVENTORY PURCHASES	P90432	539054	04/05/2016	1,811.41
00181053	04/21/2016	WILLING, ROBERT MILEAGE EXPENSE		OH006363	04/13/2016	30.24
00181054	04/21/2016	WSCCCE AFSCME AFL-CIO PAYROLL EARLY WARRANTS		OH006368	04/15/2016	2,318.90
00181055	04/21/2016	XEROX CORPORATION MAIL ROOM COPY & DATA 2/21-2/2	P89392	084090534	04/01/2016	4,106.55
00181056	04/21/2016	XEROX CORPORATION PRINTER SUPPLIES		230030309	04/11/2016	1,004.83
00181072	04/21/2016	US BANK CORP PAYMENT SYS BONNEVILLE HOT SPRINGS HO		2444500609530024	04/06/2016	24,662.56
					Total	<u>209,034.11</u>

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
<i>Org Key: 001000 - General Fund-Admin Key</i>				
P90489	00181017	MARYMORE VELODROME ASSOC	Contract 21885 completed, depo	684.00
P90488	00181016	MALIKA	Contract 21949 completed, depo	330.00
P90486	00180992	EASTSIDE TRAVELING LEAGUE	Contract 21226 completed, retu	247.50
P90486	00180992	EASTSIDE TRAVELING LEAGUE	Contract 21226 completed, retu	154.50
P90487	00181042	ROKKA SKI SCHOOL	Contract 18820 completed, depo	150.00
P90486	00180992	EASTSIDE TRAVELING LEAGUE	Contract 21226 completed, retu	50.00
P90486	00180992	EASTSIDE TRAVELING LEAGUE	Contract 21226 completed, retu	50.00
<i>Org Key: 402000 - Water Fund-Admin Key</i>				
P90432	00181052	WALTER E NELSON CO	INVENTORY PURCHASES	1,811.41
P90444	00180999	GRAINGER	INVENTORY PURCHASES	579.03
P90421	00180994	EXCEL SUPPLY COMPANY	INVENTORY PURCHASES	327.97
<i>Org Key: 814072 - United Way</i>				
	00181050	UNITED WAY OF KING CO	PAYROLL EARLY WARRANTS	210.10
<i>Org Key: 814074 - Garnishments</i>				
	00180981	CHAPTER 13 TRUSTEE	PAYROLL EARLY WARRANTS	1,331.00
<i>Org Key: 814075 - Mercer Island Emp Association</i>				
	00181019	MI EMPLOYEES ASSOC	PAYROLL EARLY WARRANTS	140.00
<i>Org Key: 814076 - City & Counties Local 21M</i>				
	00181054	WSCCCE AFSCME AFL-CIO	PAYROLL EARLY WARRANTS	2,318.90
<i>Org Key: 814077 - Police Association</i>				
	00181032	POLICE ASSOCIATION	PAYROLL EARLY WARRANTS	2,610.23
<i>Org Key: CA1100 - Administration (CA)</i>				
	00181072	US BANK CORP PAYMENT SYS	BONNEVILLE HOT SPRINGS HO	304.96
	00181072	US BANK CORP PAYMENT SYS	ACT*WASHINGTON STATE A	190.00
	00180983	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2016	75.28
	00181056	XEROX CORPORATION	PRINTER SUPPLIES	56.03
<i>Org Key: CM1100 - Administration (CM)</i>				
	00181072	US BANK CORP PAYMENT SYS	STARBUCKS STORE 03330	50.00
<i>Org Key: CM11SP - Special Projects-City Mgr</i>				
P90539	00180995	FEHR & PEERS	Phase 2 Sound Transit Review	785.20
<i>Org Key: CM1200 - City Clerk</i>				
	00181046	SPIETZ, ALLISON	WMCA CONFERENCE EXPENSE	186.20
	00181072	US BANK CORP PAYMENT SYS	LOT B GATEWAY INVESTMENTS	71.46
	00181072	US BANK CORP PAYMENT SYS	PARK N JET 2	39.76
	00181072	US BANK CORP PAYMENT SYS	ALASKA AIR 0272110078346	25.00
	00181072	US BANK CORP PAYMENT SYS	ALASKA AIR 0272110422501	25.00
<i>Org Key: CM1400 - Communications</i>				
P90538	00181034	PUGET SOUND ACCESS	MI-TV Council Broadcast 03/21	270.00
P90538	00181034	PUGET SOUND ACCESS	MI-TV Council Broadcast 03/07	247.50
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	139.96
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	25.76
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	17.51

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
	00181072	US BANK CORP PAYMENT SYS	SEATTLE 684-PARK	11.26
	00181072	US BANK CORP PAYMENT SYS	BACKUPIFY	4.99
<i>Org Key: CO6100 - City Council</i>				
	00181072	US BANK CORP PAYMENT SYS	RESTAURANTS ON THE RUN	237.49
	00181072	US BANK CORP PAYMENT SYS	RESTAURANTS ON THE RUN	236.07
	00181072	US BANK CORP PAYMENT SYS	SAFEWAY STORE00034728	5.00
<i>Org Key: CR1100 - CORe Admin and Human Resources</i>				
	00180983	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2016	322.83
	00181072	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	135.00
	00181072	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	135.00
	00181072	US BANK CORP PAYMENT SYS	AMERICAN PLANNING ASSOCIA	100.00
	00181072	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	90.00
	00181072	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	90.00
	00181072	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	90.00
	00181072	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	90.00
	00181072	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	90.00
	00181072	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	90.00
	00181072	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	90.00
	00181072	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	90.00
	00181072	US BANK CORP PAYMENT SYS	AMAZON.COM AMZN.COM/BILL	75.00
	00181072	US BANK CORP PAYMENT SYS	SQ *SCHOOL ART MATE	32.83
	00181072	US BANK CORP PAYMENT SYS	TARGET 00009951	32.78
	00181072	US BANK CORP PAYMENT SYS	WALGREENS #3733	13.75
	00181056	XEROX CORPORATION	PRINTER SUPPLIES	12.32
	00181072	US BANK CORP PAYMENT SYS	WALGREENS #3733	9.98
<i>Org Key: DS1100 - Administration (DS)</i>				
P90484	00181044	SOUND PUBLISHING INC	Ntc: ZTR16-001 1560977 3/16	93.59
P90484	00181044	SOUND PUBLISHING INC	Ntc: SEP16-007 1560997 3/16	83.22
P90484	00181044	SOUND PUBLISHING INC	Ntc: SEP14-026 1560980 3/16	80.63
	00181056	XEROX CORPORATION	PRINTER SUPPLIES	75.70
	00180991	DEPT OF ENTERPRISES SERVICES	BUSINESS CARD PRINTING	71.04
P90484	00181044	SOUND PUBLISHING INC	Ntc: TC Open Record Pub Hrg 15	70.26
	00181072	US BANK CORP PAYMENT SYS	MBP.COM MERCHANT FEE	54.10
P90484	00181044	SOUND PUBLISHING INC	Ntc: TIP Pub Hrg 1565958 3/30	36.30
	00181072	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND ROTARY	20.00
	00181072	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND ROTARY	20.00
	00181072	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND ROTARY	15.00
<i>Org Key: DS1200 - Bldg Plan Review & Inspection</i>				
	00180991	DEPT OF ENTERPRISES SERVICES	BUSINESS CARD PRINTING	94.72
<i>Org Key: DS1300 - Land Use Planning Svc</i>				
	00180983	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2016	393.66
	00180991	DEPT OF ENTERPRISES SERVICES	BUSINESS CARD PRINTING	94.72
<i>Org Key: DS1400 - Development Engineering</i>				
	00181072	US BANK CORP PAYMENT SYS	PAYPAL *WASHINGTONS	20.00
<i>Org Key: DSBE01 - Economic Development</i>				
P89011	00181006	KAREN REED CONSULTING LLC	Town Center Vision & Developme	1,757.50
P90484	00181044	SOUND PUBLISHING INC	Ad: TC Vision 1565477 3/30	650.00

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
	00181072	US BANK CORP PAYMENT SYS	MOS PIZZA - WA	175.15
P90484	00181044	SOUND PUBLISHING INC	Ad: TC Vision Web Banner	36.00
<i>Org Key: FN1100 - Administration (FN)</i>				
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	182.09
	00181056	XEROX CORPORATION	PRINTER SUPPLIES	137.08
	00180983	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2016	20.15
<i>Org Key: FN2100 - Data Processing</i>				
P90415	00181047	SUNGARD PUBLIC SECTOR INC	ONESOLUTION MAINTENANCE	9,646.46
<i>Org Key: FR1100 - Administration (FR)</i>				
	00181072	US BANK CORP PAYMENT SYS	Stand Up Desk for Stephen Mair	455.00
P90502	00181041	RICOH USA INC (FIRE)	Copier Rental/Fire	319.42
	00181072	US BANK CORP PAYMENT SYS	ALASKA AIR 0272189695161	265.20
P90503	00180987	CULLIGAN	Water Service/Fire	189.49
	00181072	US BANK CORP PAYMENT SYS	PRO LIGHTING	177.00
	00181072	US BANK CORP PAYMENT SYS	PAYPAL *IFE USA	156.00
	00181072	US BANK CORP PAYMENT SYS	REPAIRCLINIC.COM	111.35
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	99.96
	00181072	US BANK CORP PAYMENT SYS	INGALLINA'S BOX LUNCH	97.91
	00181072	US BANK CORP PAYMENT SYS	EMTG	75.50
	00181072	US BANK CORP PAYMENT SYS	EMTG	75.01
	00181072	US BANK CORP PAYMENT SYS	EMTG	73.91
P90499	00180982	COMCAST	Internet Charges/Fire	70.84
	00181056	XEROX CORPORATION	PRINTER SUPPLIES	57.68
	00181072	US BANK CORP PAYMENT SYS	EMTG	54.37
	00181072	US BANK CORP PAYMENT SYS	EMTG	33.93
	00181072	US BANK CORP PAYMENT SYS	GOTPRINT.COM	25.76
	00181072	US BANK CORP PAYMENT SYS	FLEX PAC 2	25.74
	00181072	US BANK CORP PAYMENT SYS	SILERS DRY CLEANERS	24.84
	00181072	US BANK CORP PAYMENT SYS	QFC FUEL #9879 Q	23.95
	00181072	US BANK CORP PAYMENT SYS	KROESENS UNIFORM CO	22.85
	00181072	US BANK CORP PAYMENT SYS	EMTG	18.15
	00181072	US BANK CORP PAYMENT SYS	WSCC PFD PARKING	16.00
	00181072	US BANK CORP PAYMENT SYS	WSCC PFD PARKING	14.00
	00181072	US BANK CORP PAYMENT SYS	WSCC PFD PARKING	10.00
	00181072	US BANK CORP PAYMENT SYS	USPS 54530695525103128	7.05
	00181072	US BANK CORP PAYMENT SYS	UPS*2922I26NLBE	7.00
	00181072	US BANK CORP PAYMENT SYS	RITE AID STORE - 5197	6.89
	00181072	US BANK CORP PAYMENT SYS	shipping	-6.50
<i>Org Key: FR2100 - Fire Operations</i>				
P89334	00180993	EPSCA	MONTHLY RADIO ACCESS FEES 44 R	1,111.00
P90497	00180975	BLUMENTHAL UNIFORMS	Lieutenant Badge/Austin	144.54
	00181072	US BANK CORP PAYMENT SYS	AUTOZONE 3724	37.16
	00181072	US BANK CORP PAYMENT SYS	UPS*1ZD1GT60P190013219	15.02
<i>Org Key: FR2500 - Fire Emergency Medical Svcs</i>				
P90378	00181015	LIFE ASSIST INC	Rig/Station Aid Supplies	1,213.65
P90500	00180968	AIRGAS USA LLC	Oxygen/Fire	228.59
P90379	00181015	LIFE ASSIST INC	Aid Supplies	78.80

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
<i>Org Key: FR4100 - Training</i>				
P90504	00180997	FIRETREX	Fire Training Tracker Fee	2,100.00
P90505	00181007	KCFTOA	Strategy/Tactics for Givens	180.00
	00181072	US BANK CORP PAYMENT SYS	AMAZON.COM AMZN.COM/BILL	61.30
	00180971	BASTROM, KENT G	CFI COURTROOM REIMB FEE	50.00
<i>Org Key: FR5100 - Community Risk Reduction</i>				
	00181043	ROSTOV, HERSCHEL P	FIRE MARSHAL MEETING EXPENSE	16.98
	00181072	US BANK CORP PAYMENT SYS	ACT*MERCER IS PARKS	13.00
<i>Org Key: GGM001 - General Government-Misc</i>				
P90336	00181033	PROJECT A INC	Intranet Annual Support	3,000.00
<i>Org Key: GGM004 - Gen Govt-Office Support</i>				
	00180983	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2016	697.50
P90366	00181055	XEROX CORPORATION	CM COPY & DATA 2/21-3/21/16	688.04
P90405	00181055	XEROX CORPORATION	MAIL ROOM COPY & DATA 2/21-2/2	585.99
	00180983	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2016	221.29
P90341	00181055	XEROX CORPORATION	DSG COPIER & DATA 2/21-3/21/16	180.91
	00180983	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2016	150.16
	00180983	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2016	127.48
	00180983	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2016	102.42
	00181056	XEROX CORPORATION	PRINTER SUPPLIES	51.11
<i>Org Key: GGM005 - Genera Govt-LI Retiree Costs</i>				
P90492	00181002	HAGSTROM, JAMES	FRLEOFF1 Retiree Medical Expen	54.00
<i>Org Key: IS1100 - IGS Mapping</i>				
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	395.00
	00181072	US BANK CORP PAYMENT SYS	ACT*WAURISA	230.00
	00181072	US BANK CORP PAYMENT SYS	ACT*WAURISA	230.00
	00181072	US BANK CORP PAYMENT SYS	ACT*WAURISA	230.00
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	32.90
	00181072	US BANK CORP PAYMENT SYS	FRED-MEYER #0031	21.48
<i>Org Key: IS2100 - IGS Network Administration</i>				
P89754	00181009	KING COUNTY FINANCE	I-NET MONTHLY SERVICES FROM	1,122.00
	00181072	US BANK CORP PAYMENT SYS	OFFENSIVE SECURITY	1,000.00
P90530	00180967	ACCESS	BLACK BOX, STORAGE, DEL/PICK U	339.42
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	100.31
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	86.99
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	54.74
	00181072	US BANK CORP PAYMENT SYS	AMAZON.COM	48.67
	00181072	US BANK CORP PAYMENT SYS	AMAZON.COM	48.67
	00181072	US BANK CORP PAYMENT SYS	AMAZON.COM AMZN.COM/BILL	48.67
	00181072	US BANK CORP PAYMENT SYS	AMAZON.COM AMZN.COM/BILL	48.67
	00181072	US BANK CORP PAYMENT SYS	AMAZON.COM AMZN.COM/BILL	48.67
	00181072	US BANK CORP PAYMENT SYS	AMAZON.COM	48.67
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	39.95
	00181072	US BANK CORP PAYMENT SYS	AMAZON.COM AMZN.COM/BILL	38.82
	00181072	US BANK CORP PAYMENT SYS	LYNDA.COM, INC.	24.99
	00181072	US BANK CORP PAYMENT SYS	THE UPS STORE 1081	23.06

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
	00181072	US BANK CORP PAYMENT SYS	QDOBA MEXICAN GRILL-390	17.08
	00181072	US BANK CORP PAYMENT SYS	QFC #5839	15.98
	00181056	XEROX CORPORATION	PRINTER SUPPLIES	13.40
	00181072	US BANK CORP PAYMENT SYS	REPUBLIC PARKING 30 28	13.00
	00181072	US BANK CORP PAYMENT SYS	MERCER ISLAND TRUE VALUE	11.56
<i>Org Key: MT2100 - Roadway Maintenance</i>				
P90363	00180969	ALPINE PRODUCTS INC	POUR POT & PAIL	164.67
P90473	00181010	KING COUNTY FINANCE	SIGN FABRICATION	11.08
<i>Org Key: MT2300 - Planter Bed Maintenance</i>				
	00181072	US BANK CORP PAYMENT SYS	AMERICAN MEADOWS	609.35
<i>Org Key: MT2500 - ROW Administration</i>				
P90573	00181039	REPUBLIC SERVICES #172	25 YRD DISPOSAL/RECYCLING SERV	2,773.38
P90573	00181039	REPUBLIC SERVICES #172	12 YRD DISPOSAL/RECYCLING SERV	636.11
	00181072	US BANK CORP PAYMENT SYS	SAHARA PIZZA	78.63
<i>Org Key: MT3100 - Water Distribution</i>				
	00181051	UPS	SHIPPING FEE	10.24
<i>Org Key: MT3150 - Water Quality Event</i>				
P84834	00180984	CONFLUENCE ENGINEERING GRP LLC	MICROBIAL OCCURENCE RESPONSE &	7,390.00
<i>Org Key: MT3300 - Water Associated Costs</i>				
P90573	00181039	REPUBLIC SERVICES #172	25 YRD DISPOSAL/RECYCLING SERV	308.15
	00181072	US BANK CORP PAYMENT SYS	ACT*PNWS-AWWA	230.00
	00181072	US BANK CORP PAYMENT SYS	OWPSACSTATE	110.00
	00181072	US BANK CORP PAYMENT SYS	SHILO INN OCEAN SHOR	99.24
	00181072	US BANK CORP PAYMENT SYS	QDOBA MEXICAN GRILL-390	44.24
	00181014	LEYDE, CASEY	MILEAGE EXPENSES	38.88
<i>Org Key: MT3500 - Sewer Pumps</i>				
P90478	00181035	PUMPTech INC	ANNUAL CHOPPER PUMP	4,292.40
P90507	00181001	H D FOWLER	1-1/2" BRASS CHECK VALVES & PV	240.69
	00181072	US BANK CORP PAYMENT SYS	AMAZON.COM AMZN.COM/BILL	114.01
<i>Org Key: MT3600 - Sewer Associated Costs</i>				
P90573	00181039	REPUBLIC SERVICES #172	25 YRD DISPOSAL/RECYCLING SERV	308.15
	00181014	LEYDE, CASEY	MILEAGE EXPENSES	38.88
	00181014	LEYDE, CASEY	MILEAGE EXPENSES	38.88
	00181053	WILLING, ROBERT	MILEAGE EXPENSE	30.24
<i>Org Key: MT3800 - Storm Drainage</i>				
	00181072	US BANK CORP PAYMENT SYS	CHEMETRICS INC	179.51
<i>Org Key: MT4150 - Support Services - Clearing</i>				
P90471	00180998	G&K SERVICES	MAINT. DEPT. COVERALL/LAUNDRY	694.76
P90384	00181055	XEROX CORPORATION	MAINT METER AND BASE COPY CHAR	366.64
	00181056	XEROX CORPORATION	PRINTER SUPPLIES	160.64
	00181072	US BANK CORP PAYMENT SYS	WA DOL LIC & REG 09598	88.00
	00181072	US BANK CORP PAYMENT SYS	AMERICAN PUBLIC WORKS	36.00
P89334	00180993	EPSCA	MONTHLY RADIO ACCESS FEES 1 RA	25.25
	00181072	US BANK CORP PAYMENT SYS	WA DOL09598*SERVICEFEE	3.00

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
<i>Org Key: MT4200 - Building Services</i>				
P90316	00181021	MICHAEL SKAGGS ASSOCIATES	JANITORIAL SERVICES FOR MONTH	4,022.27
P90526	00180976	BUILDERS HARDWARE & SUPPLY CO.	MAINT SERVER ROOM DOOR LOCK	456.05
	00181072	US BANK CORP PAYMENT SYS	QUENCH USA INC	451.63
P90515	00181005	INTERIOR FOLIAGE CO, THE	CITY HALL INTERIOR PLANTS	271.34
	00181072	US BANK CORP PAYMENT SYS	THE HOME DEPOT 4711	248.40
P90528	00181037	R A BROWN BACKFLOW TESTING	BACKFLOW TEST FS92	201.00
P90520	00180996	FIRE PROTECTION INC	REPLACED BATTERIES IN THE FIRE	170.82
P90523	00180996	FIRE PROTECTION INC	FIRE SYSTEM WATER GAUGES	93.08
P90519	00180996	FIRE PROTECTION INC	FIRE ALARM MONITORING FS92 & C	84.75
P90516	00180996	FIRE PROTECTION INC	CITY HALL FIRE PANEL ALARM TRO	71.18
	00181072	US BANK CORP PAYMENT SYS	STEWART LUMBER	10.64
<i>Org Key: MT4210 - Building Landscaping</i>				
P90573	00181039	REPUBLIC SERVICES #172	25 YRD DISPOSAL/RECYCLING SERV	308.16
<i>Org Key: MT4300 - Fleet Services</i>				
P90551	00181025	OVERLAKE OIL	950 GAL UNLEADED DELIVERY INV	1,772.70
P90551	00181025	OVERLAKE OIL	800 GAL UNLEADED DELIVERY INV	1,599.52
P90551	00181025	OVERLAKE OIL	800 GAL UNLEADED DELIVERY INV	1,512.96
P90470	00181020	MI SCHOOL DISTRICT #400	SCHOOL DISTRICT SITE FUEL	1,082.77
P90430	00181030	PERFORMANCE RADIATOR INC	PS # 11 GENERATOR REPAIR	1,028.17
P90554	00181026	OVERLAKE OIL	650 GAL UNLEADED DELIVERY	1,067.24
P90551	00181025	OVERLAKE OIL	400 GAL DIESEL DELIVERY INV 17	699.17
P90551	00181025	OVERLAKE OIL	369 GAL DIESEL DELIVERY INV 17	644.99
P90554	00181026	OVERLAKE OIL	232 GAL DIESEL DELIVERY	372.83
P88915	00181008	KIA MOTORS FINANCE	DSG 2016 KIA SOUL LEASE	263.96
P90551	00181025	OVERLAKE OIL	150 GAL DIESEL DELIVERY INV 17	247.47
P90472	00181018	MERCER ISLAND CHEVRON	FUEL	47.47
	00181072	US BANK CORP PAYMENT SYS	CHEVRON 0092003	18.75
P90554	00181026	OVERLAKE OIL	OVERPAYMENT CREDIT FOR INV. 17	-541.02
<i>Org Key: MTBE01 - Maint of Medians & Planters</i>				
P90445	00180973	BEN'S CLEANER SALES INC	PRESSURE WASHER & ACCESSORIES	2,068.10
<i>Org Key: PO1100 - Administration (PO)</i>				
	00181072	US BANK CORP PAYMENT SYS	QFC #5839	205.95
	00181056	XEROX CORPORATION	PRINTER SUPPLIES	168.00
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	115.00
	00181072	US BANK CORP PAYMENT SYS	Photo board photos	75.25
	00181072	US BANK CORP PAYMENT SYS	Emp recognition	75.00
	00180991	DEPT OF ENTERPRISES SERVICES	BUSINESS CARD PRINTING	71.04
	00181072	US BANK CORP PAYMENT SYS	NORCOM emp recognition	50.00
	00181072	US BANK CORP PAYMENT SYS	Staff car cleaning	32.80
	00181072	US BANK CORP PAYMENT SYS	OFFICE DEPOT #819	28.45
	00181072	US BANK CORP PAYMENT SYS	File cabinet/locker keys	22.78
	00180983	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2016	22.65
	00181072	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND ROTARY	20.00
	00181072	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND ROTARY	20.00
	00181072	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND ROTARY	20.00
	00181072	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND ROTARY	20.00

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
	00181072	US BANK CORP PAYMENT SYS	File cabinet keys	5.69
	00181072	US BANK CORP PAYMENT SYS	Emp OTY photo	4.37
<i>Org Key: PO1200 - Administration (CJ-PO)</i>				
	00180983	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2016	404.06
<i>Org Key: PO1350 - Police Emergency Management</i>				
P89334	00180993	EPSCA	MONTHLY RADIO ACCESS FEES 13 R	328.25
	00181072	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND A	65.70
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	35.00
<i>Org Key: PO1600 - Regional Radio Operations (CJ)</i>				
P89334	00180993	EPSCA	MONTHLY RADIO ACCESS FEES 57 R	1,439.25
<i>Org Key: PO1700 - Records and Property</i>				
P90398	00181055	XEROX CORPORATION	Records copier	279.66
P90398	00181055	XEROX CORPORATION	Admin copier	208.16
P90558	00181036	PURIFIED WATER TO GO	Nov-March billing	203.50
P90542	00181012	KROESEENS UNIFORM COMPANY	Records uniforms-Solomon	179.47
	00181072	US BANK CORP PAYMENT SYS	Copy machine toner	82.11
	00181056	XEROX CORPORATION	PRINTER SUPPLIES	26.85
<i>Org Key: PO1800 - Contract Dispatch Police</i>				
P90347	00180983	COMPLETE OFFICE	Traffic collision inv office	2,929.13
P90352	00181024	OMEGA GROUP, THE	Crime Mapping annual fee	657.00
<i>Org Key: PO1900 - Jail/Home Monitoring</i>				
P90215	00181009	KING COUNTY FINANCE	Jail bill-1 day	373.54
<i>Org Key: PO2100 - Patrol Division</i>				
	00181072	US BANK CORP PAYMENT SYS	Citizen Academy supplies	411.81
	00181072	US BANK CORP PAYMENT SYS	PPE kits for officers	109.99
	00181072	US BANK CORP PAYMENT SYS	Supplies for Half Marathon	17.96
P90463	00181013	LANGUAGE LINE SERVICES	Translation services	3.70
<i>Org Key: PO2200 - Marine Patrol</i>				
	00181072	US BANK CORP PAYMENT SYS	Dock Box for Marine Patrol	195.94
<i>Org Key: PO2400 - Special Operations Team (CJ)</i>				
P90493	00180972	BELLEVUE, CITY OF	CDU Team Training w/ the City	990.00
<i>Org Key: PO3100 - Investigation Division</i>				
P90542	00181012	KROESEENS UNIFORM COMPANY	Tactical vest-Canter	206.96
P90462	00181049	THOMSON REUTERS - WEST	CIS intel database	182.95
<i>Org Key: PR1100 - Administration (PR)</i>				
	00181072	US BANK CORP PAYMENT SYS	GETTY IMAGES	996.00
P90294	00181004	HP INC	2016 Desktop Replacements	575.45
	00181072	US BANK CORP PAYMENT SYS	RYDIN DECAL- MOTO	363.00
	00180983	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2016	353.99
P89392	00181055	XEROX CORPORATION	Use charges for 2/21/16 to 3/2	349.67
P89392	00181055	XEROX CORPORATION	2016 Lease Charges for Color	160.26
P89333	00181055	XEROX CORPORATION	2016 Lease Charges for Upstair	143.64
	00181072	US BANK CORP PAYMENT SYS	REGISTER.COM*13000B0DJ	96.00

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
	00181072	US BANK CORP PAYMENT SYS	AMAZON.COM	84.36
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	48.97
	00181072	US BANK CORP PAYMENT SYS	REGISTER.COM*12FFE448J	28.00
	00181072	US BANK CORP PAYMENT SYS	B&H PHOTO, 800-606-6969	16.94
P89333	00181055	XEROX CORPORATION	Use charges for 2/21/16 to 3/2	16.22
	00181072	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND ROTARY	15.00
	00181072	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND ROTARY	15.00
	00181072	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND ROTARY	15.00
	00181072	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND ROTARY	15.00
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	13.99
Org Key: PR2100 - Recreation Programs				
P90330	00181028	PARENTMAP	March ad for Recreation	350.00
	00181072	US BANK CORP PAYMENT SYS	CHALLENGER SPORTS CORP	230.00
	00181072	US BANK CORP PAYMENT SYS	CTC*CONSTANTCONTACT.COM	46.07
	00181072	US BANK CORP PAYMENT SYS	FACEBOOK DLRXF9JDP2	35.00
	00181072	US BANK CORP PAYMENT SYS	QDOBA MEXICAN GRILL-390	26.94
	00181072	US BANK CORP PAYMENT SYS	LAKESHORE LEARNING #09	21.78
	00181056	XEROX CORPORATION	PRINTER SUPPLIES	11.94
Org Key: PR2101 - Youth and Teen Camps				
	00181072	US BANK CORP PAYMENT SYS	SAHARA PIZZA	58.57
P90328	00180988	DATAQUEST LLC	Background checks for P&R	43.00
	00181072	US BANK CORP PAYMENT SYS	QFC #5839	16.28
	00181072	US BANK CORP PAYMENT SYS	REDBOX *DVDRESERVATION	1.64
Org Key: PR2104 - Special Events				
	00181072	US BANK CORP PAYMENT SYS	PARTY CITY	150.83
	00181072	US BANK CORP PAYMENT SYS	SIGNSONTHECHEAP.COM	129.20
	00181072	US BANK CORP PAYMENT SYS	STU*STUMPS	118.75
	00181072	US BANK CORP PAYMENT SYS	PARTY CITY	86.31
	00181072	US BANK CORP PAYMENT SYS	EVERYTHING PARTY	55.81
	00181072	US BANK CORP PAYMENT SYS	UNCLES GAMES PUZZLES	48.04
	00181072	US BANK CORP PAYMENT SYS	TARGET 00022905	32.56
	00181072	US BANK CORP PAYMENT SYS	LOWES #02420*	32.39
	00181072	US BANK CORP PAYMENT SYS	JO-ANN ETC #2067	25.99
	00181072	US BANK CORP PAYMENT SYS	LOWES #02420*	15.88
	00181072	US BANK CORP PAYMENT SYS	RITE AID STORE - 5197	10.75
	00181072	US BANK CORP PAYMENT SYS	TRADER JOE'S #157 QPS	4.41
	00181072	US BANK CORP PAYMENT SYS	SAFEWAY STORE 00029322	2.86
Org Key: PR2108 - Health and Fitness				
	00181072	US BANK CORP PAYMENT SYS	FITNESS FACTORY OUTLET	840.00
	00181072	US BANK CORP PAYMENT SYS	FOSTER GOLF LINKS	18.00
	00181045	SPARROW, JEREMY	SR GOLF PROGRAM EXPENSE	12.00
Org Key: PR3500 - Senior Services				
P90412	00180986	CONSOLIDATED PRESS	Looking Ahead printing and mai	1,455.23
	00181072	US BANK CORP PAYMENT SYS	SQ *SHAWN'S CATERING, LLC	445.76
	00181072	US BANK CORP PAYMENT SYS	SQ *SHAWN'S CATERING, LLC	349.95
	00181072	US BANK CORP PAYMENT SYS	SQ *SHAWN'S CATERING, LLC	346.12
	00181072	US BANK CORP PAYMENT SYS	SQ *SHAWN'S CATERING, LLC	232.40

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
	00181072	US BANK CORP PAYMENT SYS	C&C SMART FOOD52105590	114.17
P90328	00180988	DATAQUEST LLC	Background checks for P&R	107.50
	00181072	US BANK CORP PAYMENT SYS	WALGREENS #3733	69.61
	00181072	US BANK CORP PAYMENT SYS	GREAT HARVEST BREAD CO	65.00
	00181072	US BANK CORP PAYMENT SYS	JO-ANN ETC #2067	63.00
	00181072	US BANK CORP PAYMENT SYS	UNCLES GAMES PUZZLES	45.00
	00181072	US BANK CORP PAYMENT SYS	FRED MEYER #0664	24.84
	00181072	US BANK CORP PAYMENT SYS	WALGREENS #3733	21.84
	00181072	US BANK CORP PAYMENT SYS	WALGREENS #3733	12.98
	00181072	US BANK CORP PAYMENT SYS	WALGREENS #3733	11.86
	00181072	US BANK CORP PAYMENT SYS	WALGREENS #3733	3.38
Org Key: PR4100 - Community Center				
P90314	00181021	MICHAEL SKAGGS ASSOCIATES	JANITORIAL SVCS FOR MONTH END	2,333.25
P90525	00181027	PACIFIC AIR CONTROL INC	HVAC REPAIRS FAN COILS 5&6 & C	474.14
	00181072	US BANK CORP PAYMENT SYS	R AND R RENTALS RENTON	465.33
P90521	00180996	FIRE PROTECTION INC	REPLACE FIRE ALARM SPEAKER STR	446.77
P90522	00180996	FIRE PROTECTION INC	REPLACED WATER GAUGES ON FIRE	384.35
	00181072	US BANK CORP PAYMENT SYS	YELPINC*BIZSERVICES	350.00
P89332	00181055	XEROX CORPORATION	2016 Lease Charges for MICEC C	311.12
P90524	00180996	FIRE PROTECTION INC	FIRE SYSTEM WATER GAUGES	279.23
	00181072	US BANK CORP PAYMENT SYS	SPORTS IMPORTS	274.52
P90435	00180989	DAVIDSON DISTRIBUTING	Custodial supplies for MICEC	236.52
	00181072	US BANK CORP PAYMENT SYS	THE PART WORKS INC	222.12
P89332	00181055	XEROX CORPORATION	Use charges for 2/21/16 to 3/2	181.10
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	109.49
	00181056	XEROX CORPORATION	PRINTER SUPPLIES	98.68
P90519	00180996	FIRE PROTECTION INC	FIRE ALARM MONITORING FS92 & C	84.75
	00181072	US BANK CORP PAYMENT SYS	AMAZON.COM	73.60
P90517	00180996	FIRE PROTECTION INC	FIRE ALARM DUCT SMOKE #67 CLEA	71.18
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	55.92
	00181072	US BANK CORP PAYMENT SYS	AMAZON.COM	54.05
	00180983	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2016	22.79
	00181072	US BANK CORP PAYMENT SYS	SECURITY SAFE LOCK	14.24
Org Key: PR5700 - Special Programs				
	00180991	DEPT OF ENTERPRISES SERVICES	BUSINESS CARD PRINTING	47.24
Org Key: PR6100 - Park Maintenance				
P90573	00181039	REPUBLIC SERVICES #172	25 YRD DISPOSAL/RECYCLING SERV	1,232.61
P90445	00180973	BEN'S CLEANER SALES INC	PRESSURE WASHER PARTS	336.38
P90573	00181039	REPUBLIC SERVICES #172	ISLAND CREST PARK DISPOSAL	256.13
P90371	00180979	CEDAR GROVE COMPOSTING INC	3-WAY TOPSOIL (25 YDS)	166.23
P90328	00180988	DATAQUEST LLC	Background checks for P&R	84.50
	00181056	XEROX CORPORATION	PRINTER SUPPLIES	18.79
Org Key: PR6200 - Athletic Field Maintenance				
P90371	00180979	CEDAR GROVE COMPOSTING INC	3-WAY TOPSOIL (25 YDS)	166.22
P90328	00180988	DATAQUEST LLC	Background checks for P&R	10.75
Org Key: PR6500 - Luther Burbank Park Maint.				
P90316	00181021	MICHAEL SKAGGS ASSOCIATES	JANITORIAL SERVICES FOR MONTH	1,969.09

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	74.79
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	74.79
	00181072	US BANK CORP PAYMENT SYS	COMPLIANCESIGNS.COM	57.00
	00181072	US BANK CORP PAYMENT SYS	CRATE & BARREL #914	46.98
P90328	00180988	DATAQUEST LLC	Background checks for P&R	41.50
	00181072	US BANK CORP PAYMENT SYS	AGR*GARDENER SUPPLY CO	32.94
	00181072	US BANK CORP PAYMENT SYS	AMAZON.COM	26.45
	00181072	US BANK CORP PAYMENT SYS	THE HOME DEPOT #8944	24.08
	00181072	US BANK CORP PAYMENT SYS	WALGREENS #3733	24.07
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	19.99
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	17.55
	00181072	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	15.49
	00181072	US BANK CORP PAYMENT SYS	MERCER ISLAND THRIFT S	15.33
Org Key: PR6600 - Park Maint-School Related				
P90445	00180973	BEN'S CLEANER SALES INC	REPAIR SURFACE CLEANER	390.19
P90445	00180973	BEN'S CLEANER SALES INC	PRESSURE WASHER PARTS	336.39
P90371	00180979	CEDAR GROVE COMPOSTING INC	3-WAY TOPSOIL (25 YDS)	166.22
P90328	00180988	DATAQUEST LLC	Background checks for P&R	10.75
Org Key: PR6700 - I90 Park Maintenance				
P90573	00181039	REPUBLIC SERVICES #172	25 YRD DISPOSAL/RECYCLING SERV	1,232.61
P90328	00180988	DATAQUEST LLC	Background checks for P&R	10.00
Org Key: PR6800 - Trails Maintenance				
	00181072	US BANK CORP PAYMENT SYS	FORESTRY SUPPLIERS	387.46
	00181072	US BANK CORP PAYMENT SYS	J & B PETROLEUM	16.38
Org Key: VCP105 - Transit Funding Placeholder				
P89752	00180985	CONGREGATIONAL CHURCH OF MI	2016 Park and Ride lot lease Q	504.00
P89752	00180985	CONGREGATIONAL CHURCH OF MI	2016 Park and Ride lot lease Q	504.00
Org Key: WD311C - Sub Basin 27 Watercourse				
	00181072	US BANK CORP PAYMENT SYS	WDFW HYDRAULIC PERMITS	150.00
Org Key: WD537E - Sub Basin 18c Drainage System				
P90076	00180970	APS INC	SE 32ND AND 73RD AVE SE POTHOL	9,906.77
Org Key: WD540R - Emer Repair - Freeman Landing				
	00181072	US BANK CORP PAYMENT SYS	IN *AMERICAN LEAK DETECTI	575.00
Org Key: WG110T - Computer Equip Replacements				
P90294	00181004	HP INC	2016 Desktop Replacements	5,171.10
P90313	00180978	CDW GOVERNMENT INC	2016 Computer Replacements Pol	1,993.45
P90233	00180978	CDW GOVERNMENT INC	Deferred MDC Replacement Polic	530.57
Org Key: WG131E - Fire Equipment				
P90324	00181015	LIFE ASSIST INC	Pocket Masks for Citizen Class	1,665.50
P90217	00180980	CHANNING BETE CO INC	20 BLS Manuals for Classroom	290.18
P90217	00180980	CHANNING BETE CO INC	1 BLS Instructor Manual	120.45
P90217	00180980	CHANNING BETE CO INC	Shipping/Handling	36.96
Org Key: WG516T - Disaster Recovery				
P90531	00180990	DELL MARKETING L.P.	Disaster Recovery Offsite Hard	9,600.02

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
P90531	00180990	DELL MARKETING L.P.	Disaster Recovery Offsite Memo	2,090.88
P90532	00180978	CDW GOVERNMENT INC	10GBase-T module for Disaster	903.75
<i>Org Key: WP122R - Vegetation Management</i>				
P90474	00181048	TARGET SPECIALTY PRODUCTS	EZ Ject Copperhead	341.65
	00181072	US BANK CORP PAYMENT SYS	UW BOTANIC GARDENS CTR FO	85.00
P90328	00180988	DATAQUEST LLC	Background checks for P&R	36.50
<i>Org Key: WP503R - Luther Burbank Pk Major Impvt</i>				
	00181072	US BANK CORP PAYMENT SYS	THE HOME DEPOT 4702	212.59
	00181072	US BANK CORP PAYMENT SYS	SECOND USE BUILDING MATER	128.92
<i>Org Key: WR111R - Pavement Markings</i>				
P90363	00180969	ALPINE PRODUCTS INC	PAVEMENT MARKERS	54.09
<i>Org Key: WR120S - ICW Phase 2</i>				
P89449	00181011	KPG	2016 ICW RESURFACING PHASE 2 -	12,801.87
<i>Org Key: WS512R - Sewer Repair at Sub-Basin 27</i>				
P90122	00180974	BLUELINE GROUP	SUB BASIN 27a.9 SEWER AND DRAI	5,184.00
<i>Org Key: WW526R - Madrona Crest West Water Sys</i>				
P90484	00181044	SOUND PUBLISHING INC	Ntc: Madrona Crest Bid Award	215.44
<i>Org Key: WW528R - 9700 Block SE 41st Watermain</i>				
P87382	00180974	BLUELINE GROUP	9700 BLOCK SE 41ST STREET WATE	539.50
<i>Org Key: XG150T - Small Tech/Equipment</i>				
	00181072	US BANK CORP PAYMENT SYS	FRY'S ELECTRONICS #30	60.21
<i>Org Key: XG300R - Fire Station 92 Replacement</i>				
P90447	00181003	HEDEEN & CADITZ PLLC	Professional Services - FS 92	18,615.20
P90447	00181003	HEDEEN & CADITZ PLLC	Professional Services - FS 92	112.00
P90447	00181003	HEDEEN & CADITZ PLLC	Professional Services - FS 92	91.00
P90447	00181003	HEDEEN & CADITZ PLLC	Professional Services - FS 92	35.00
P90447	00181003	HEDEEN & CADITZ PLLC	Professional Services - FS 92	35.00
<i>Org Key: XP520R - Recreational Trail Connections</i>				
P90071	00181023	MUTUAL MATERIALS CO	MANORSTONE PAVERS	362.34
P90371	00180979	CEDAR GROVE COMPOSTING INC	3-WAY TOPSOIL (25 YDS)	193.93
<i>Org Key: XR320R - Safe Routes to School</i>				
P89336	00181031	PERTEET INC	SAFE ROUTES TO NORTHWOOD	7,923.89
<i>Org Key: YF1100 - YFS General Services</i>				
P89392	00181055	XEROX CORPORATION	Use charges for 2/21/16 to 3/2	284.80
	00181072	US BANK CORP PAYMENT SYS	QFC #5839	255.95
P89369	00181055	XEROX CORPORATION	Lease charges for Xerox 255 (L	190.08
	00180983	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2016	180.71
P89392	00181055	XEROX CORPORATION	2016 Lease Charges for Color	160.26
	00181072	US BANK CORP PAYMENT SYS	SAHARA PIZZA	152.28
	00181072	US BANK CORP PAYMENT SYS	SAHARA PIZZA	123.82
P89372	00180988	DATAQUEST LLC	Background checks for voluntee	107.50
	00181072	US BANK CORP PAYMENT SYS	AMAZON.COM	51.77
	00181056	XEROX CORPORATION	PRINTER SUPPLIES	17.76



CITY OF MERCER ISLAND
CERTIFICATION OF PAYROLL

PAYROLL PERIOD ENDING

4/8/2016

PAYROLL DATED

4/15/2016

I, the undersigned, do hereby certify under penalty of perjury that the materials have been furnished, the services rendered, or the labor performed as described herein, that any advance payment is due and payable pursuant to a contract or is available as an option for full or partial fulfillment of a contractual obligation, and that the claim is a just, due and unpaid obligation against the city of Mercer Island, and that I am authorized to authenticate and certify to said claim.

Charles L. Corder

Finance Director

I, the undersigned, do hereby certify that the City Council has reviewed the documentation supporting claims paid and approved all checks or warrants issued in payment of claims.

Mayor

Date

Description			Amount
Payroll Checks	62922549-62922557		13,749.21
Direct Deposits			457,859.48
Void/Manual Adjustments			40,512.85
Tax & Benefit Obligations			277,444.40
Total Gross Payroll		4/15/16	789,565.94



CITY OF MERCER ISLAND

PAYROLL SUMMARY

PAYROLL PERIOD ENDING
PAYROLL DATED

4/8/2016
4/15/2016

Net Cash	471,608.69
Net Voids/Manuals	40,512.85
Federal Tax Deposit - Key Bank	94,686.99
Social Security and Medicare Taxes	46,788.53
Medicare Taxes Only (Fire Fighter Employees)	2,007.65
Public Employees Retirement System 1 (PERS 1)	153.89
Public Employees Retirement System 2 (PERS 2)	21,284.60
Public Employees Retirement System 3 (PERS 3)	4,727.39
Public Employees Retirement System (PERSJM)	603.36
Public Safety Employees Retirement System (PSERS)	162.06
Law Enforc. & Fire fighters System 2 (LEOFF 2)	25,195.61
Regence & LEOFF Trust - Medical Insurance	14,968.62
Domestic Partner/Overage Dependant - Insurance	1,429.08
Group Health Medical Insurance	1,459.99
Health Care - Flexible Spending Accounts	2,549.80
Dependent Care - Flexible Spending Accounts	1,528.31
United Way	210.10
ICMA Deferred Compensation	33,767.05
Fire 457 Nationwide	11,953.10
Roth - ICMA	50.00
Roth - Nationwide	620.00
401K Deferred Comp	750.00
Garnishments (Chapter 13)	1,331.00
Child Support	1,540.08
Mercer Island Employee Association	140.00
Cities & Towns/AFSCME Union Dues	2,318.90
Police Union Dues	2,610.23
Fire Union Dues	1,870.34
Fire Union - Supplemental Dues	143.00
Standard - Supplemental Life Insurance	276.70
Unum - Long Term Care Insurance	1,376.17
AFLAC - Supplemental Insurance Plans	780.85
Coffee Fund	38.00
Transportation	123.00
Miscellaneous	0.00

Total: 789,565.94



CITY OF MERCER ISLAND
CERTIFICATION OF PAYROLL

PAYROLL PERIOD ENDING 4/22/2016
PAYROLL DATED 4/29/2016

I, the undersigned, do hereby certify under penalty of perjury that the materials have been furnished, the services rendered, or the labor performed as described herein, that any advance payment is due and payable pursuant to a contract or is available as an option for full or partial fulfillment of a contractual obligation, and that the claim is a just, due and unpaid obligation against the city of Mercer Island, and that I am authorized to authenticate and certify to said claim.

Charles L. Corder

Finance Director

I, the undersigned, do hereby certify that the City Council has reviewed the documentation supporting claims paid and approved all checks or warrants issued in payment of claims.

Mayor

Date

Description		Amount
Payroll Checks	62926123-62926129	13,373.61
Direct Deposits		488,661.60
Void/Manual Adjustments		5,294.79
Tax & Benefit Obligations		238,420.81
Total Gross Payroll		745,750.81



CITY OF MERCER ISLAND

PAYROLL SUMMARY

PAYROLL PERIOD ENDING
PAYROLL DATED

4/22/2016
4/29/2016

Net Cash	\$	502,035.21
Net Voids/Manuals	\$	5,294.79
Federal Tax Deposit - Key Bank	\$	90,479.00
Social Security and Medicare Taxes	\$	44,719.73
Medicare Taxes Only (Fire Fighter Employees)	\$	1,969.34
Public Employees Retirement System 1 (PERS 1)	\$	153.89
Public Employees Retirement System 2 (PERS 2)	\$	20,720.25
Public Employees Retirement System 3 (PERS 3)	\$	4,816.31
Public Employees Retirement System (PERSJM)	\$	603.36
Public Safety Employees Retirement System (PSERS)	\$	162.06
Law Enforc. & Fire fighters System 2 (LEOFF 2)	\$	22,540.63
Regence & LEOFF Trust - Medical Insurance	\$	-
Domestic Partner/Overage Dependant - Insurance	\$	-
Group Health Medical Insurance	\$	-
Health Care - Flexible Spending Accounts	\$	2,526.72
Dependent Care - Flexible Spending Accounts	\$	1,528.31
United Way	\$	210.10
ICMA Deferred Compensation	\$	31,136.17
Fire 457 Nationwide	\$	11,953.10
Roth - ICMA	\$	50.00
Roth - Nationwide	\$	620.00
401K Deferred Comp	\$	750.00
Garnishments (Chapter 13)	\$	1,331.00
Child Support	\$-	
Mercer Island Employee Association	\$	137.50
Cities & Towns/AFSCME Union Dues	\$-	
Police Union Dues	\$-	
Fire Union Dues	\$	1,870.34
Fire Union - Supplemental Dues	\$	143.00
Standard - Supplemental Life Insurance	\$	-
Unum - Long Term Care Insurance	\$	-
AFLAC - Supplemental Insurance Plans	\$-	
Coffee Fund	\$-	
Transportation	\$-	
Miscellaneous	\$-	

TOTAL GROSS PAYROLL	\$	745,750.81
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CITY COUNCIL MINUTES REGULAR MEETING APRIL 4, 2016

CALL TO ORDER & ROLL CALL

Mayor Bruce Bassett called the meeting to order at 6:02 pm in the Council Chambers of City Hall, 9611 SE 36th Street, Mercer Island, Washington.

Mayor Bruce Bassett, Deputy Mayor Debbie Bertlin, and Councilmembers Dan Grausz, Wendy Weiker, David Wisenteiner, and Benson Wong were present. Councilmember Jeff Sanderson was absent.

EXECUTIVE SESSION

At 6:02 pm, Mayor Bassett convened an Executive Session pursuant to RCW 42.30.110(1)(g) to evaluate the qualifications of applicants for public employment for approximately two hours.

At 6:58 pm, the Mayor adjourned the Executive Session and the Regular Meeting reconvened at 7:05 pm.

AGENDA APPROVAL

It was moved by Bertlin; seconded by Wisenteiner to:

Approve the agenda as presented.

Passed 6-0

FOR: 6 (Bassett, Bertlin, Grausz, Weiker, Wisenteiner, Wong)

ABSENT: 1 (Sanderson)

Mayor Bassett noted that the revised agenda includes a second Executive Session at the end of the meeting to discuss potential or pending litigation.

SPECIAL BUSINESS

Talk With Your Kids About Not Using Marijuana Day Proclamation

Mayor Bassett read a proclamation declaring April 20, 2016 as Talk With Your Kids About Not Using Marijuana Day on Mercer Island and urged all parents and guardians to join in this important observance by having a frank family conversation about marijuana on 4.20 using straightforward, factual information.

Youth & Family Services Administrative & Professional Services Manager Derek Franklin spoke about the statewide initiative regarding Talking With Your Kids About Not Using Marijuana Day and noted that Mercer Island is the first City in the State of Washington to adopt this proclamation.

Fire Chief Steve Heitman Recognition

Mayor Bassett recognized Fire Chief Steve Heitman who recently received a Master's Degree in Security Studies through the Center for Homeland Defense and Security at the Naval Postgraduate School in Monterey, California.

Fire Chief Heitman spoke about his thesis for the program on suicide in Fire Departments. He thanked the City for allowing him to participate in the program and thanked his staff for their hard work during his absence and for their support.

APPEARANCES

Dick Winslow, 3761 77th Ave SE, spoke about the term vibrant as it relates to density in the Town Center Visioning and Development Code Update process.

Michelle Goldberg, 2212 78th Ave SE, stated that she wants the City to listen to what the community wants for the Town Center which is a small town feel with lower profile buildings.

CONSENT CALENDAR

Payables: \$549,178.92 (03/17/16), \$456,161.67 (03/24/16), & \$196,152.71 (03/31/16)

Recommendation: Certify that the materials or services hereinbefore specified have been received and that all warrant numbers listed are approved for payment.

Payroll: \$736,131.15 (03/18/16) & \$751,087.63 (04/01/16)

Recommendation: Certify that the materials or services specified have been received and that all fund warrants are approved for payment.

Minutes: 2016 Planning Session Minutes of January 23-24, 2016 and Regular Meeting Minutes of March 21, 2016

Recommendation: Adopt the January 23-24, 2016 Planning Session Minutes and the March 21, 2016 Regular Meeting Minutes as written.

It was moved by Wong; seconded by Bertlin to:

Adopt the Consent Calendar and the recommendations contained therein.

Passed 6-0

FOR: 6 (Bassett, Bertlin, Grausz, Weiker, Wisenteiner, Wong)

ABSENT: 1 (Sanderson)

REGULAR BUSINESS

AB 5159 Fireworks Sales Permit Requirements Code Update (1st Reading)

Fire Chief Steve Heitman presented an ordinance regarding changing the process for approving fireworks sales permits from a City Council decision to an administrative process.

Following questions and discussion, there was consensus from the Council that the Fire Chief should issue fireworks sales permits instead of the Council. However, before adopting the code amendments to do so, they directed staff to:

- Determine if criteria be added to the code regarding the approval order of fireworks sales permit applications based upon an organizations status (non-profit versus commercials); and
- Research if the code can be amended to authorize the Fire Chief to ban the discharge and/or sales of fireworks in a given year due to drought.

The Council also decided to wait for the results of the biennial citizen survey to have the larger discussion about whether the City should ban the sale or discharge of fireworks.

AB 5165 Island Crest Park Field Improvement and Groveland Beach Park Renovation Projects

Parks & Recreation Director Bruce Fletcher introduced Parks Superintendent Paul West who presented options to the Council regarding the field improvement projects at Island Crest Park and renovation projects at Groveland Beach Park. He noted that staff recommends moving forward with the Island Crest Park Ballfield Light Replacement and Synthetic Turf projects in 2017 and repairing the large dock, and removing the small dock at Groveland Beach Park, with work to commence immediately following the 2016 swim season.

The Council asked questions about the pros and cons of each of the projects, the timing of completing the projects, the impacts to the Capital Improvement Fund and the parameters for the grant funding for the ICP South

Field Improvements using the City funded Ballfield Lights Replacement project and private donations as the funding match.

It was moved by Wong; seconded by Bertlin to:

Direct staff to proceed with repair of the large Groveland dock and removal of the small dock in 2016.

Passed 5-1

FOR: 5 (Bassett, Bertlin, Weiker, Wisenteiner, Wong)

AGAINST: 1 (Grausz)

ABSENT: 1 (Sanderson)

AB 5166 4th Quarter 2015 Financial Status Report & Budget Adjustments

Finance Director Chip Corder presented the Fourth Quarter 2016 Financial Status Report, which provides a summary budget to actual comparison of revenues and expenditures for the General Fund and all other funds and a comprehensive progress update on the City's Capital Improvement Program (CIP). He also noted that a budget amending ordinance is before the Council for budget adjustments that were previously approved by the Council and new budget requests, and the 2015 annual report for the Transportation Benefit District.

It was moved by Bertlin; seconded by Wisenteiner to:

Suspend the City Council Rules of Procedure 5.2 requiring a second reading for an ordinance.

Passed 6-0

FOR: 6 (Bassett, Bertlin, Grausz, Weiker, Wisenteiner, Wong)

ABSENT: 1 (Sanderson)

It was moved by Bertlin; seconded by Wong to:

Adopt Ordinance No. 16-03, amending the 2015-2016 Budget.

Passed 6-0

FOR: 6 (Bassett, Bertlin, Grausz, Weiker, Wisenteiner, Wong)

ABSENT: 1 (Sanderson)

OTHER BUSINESS

Councilmember Absences

Councilmember Sanderson's absence was excused.

Council moved the July 18 meeting to Tuesday, July 19, due to three councilmembers absences.

Planning Schedule

Interim City Manager Lancaster noted that the joint meeting with the MISD Board is on Thursday, that the community survey results will be presented on April 18, and that the community solar project update may be pulled as there was no legislative action. He also spoke about the Town Center review process.

Councilmember Grausz expressed concern about the new Town Center code becoming effective before the moratorium expires.

Board Appointments

Mayor Bassett spoke briefly about the annual recruitment process.

Councilmember Reports

Councilmember Wisenteiner spoke about meeting with the PTA group and the AED donation to the Parks Department.

Deputy Mayor Bertlin spoke about the Growth Management and Planning Committee meeting.

Councilmember Weiker noted that the Eastside Race and Leadership Coalition event will be moved due to spring break and that the Schools Foundation breakfast is being held on April 26.

Councilmember Wong spoke about the Sustainability Committee meeting and that Leap for Green will be on April 16 at the MICEC. He also noted that there is a new business in the town center; the Suzanne Zahr art gallery and architectural firm.

Mayor Bassett spoke about the Go Green conference in Seattle and the PSRC annual meeting.

EXECUTIVE SESSION

At 10:27 pm, Mayor Bassett convened an Executive Session to discuss potential or pending litigation pursuant to RCW 42.30.110(1)(i) for approximately 30 minutes.

At 10:59 pm, Mayor Bassett extended the Executive Session for an additional 15 minutes.

At 11:10 pm, Mayor Bassett adjourned the Executive Session.

ADJOURNMENT

The Regular Meeting adjourned at 11:10 pm.

Bruce Bassett, Mayor

Attest:

Allison Spietz, City Clerk



CITY COUNCIL MINUTES

SPECIAL JOINT MEETING WITH MISD BOARD

APRIL 7, 2016

CALL TO ORDER & ROLL CALL

Mayor Bruce Bassett called the Joint Meeting with the Mercer Island School District Board to order at 5:05 pm in the Council Chambers of City Hall, 9611 SE 36th Street, Mercer Island, Washington.

Mayor Bruce Bassett, Deputy Mayor Debbie Bertlin, and Councilmembers Dan Grausz, Wendy Weiker, David Wisenteiner, and Benson Wong (arrived 5:09 pm) were present. Councilmember Sanderson was absent.

School Board President Ralph Jorgenson, Vice-President David D'Souza and Directors Adair Dingle, Tracy Drinkwater, and Dave Myerson were present.

Mayor Bassett and President Jorgenson welcomed the Council, Board and staff.

SPECIAL BUSINESS

2014 Bond Projects

MISD's construction consultant, Brandy Fox of CPM, presented an overview and update of the projects, as attached to the agenda, including photographs, and expressed appreciation for the City's support. The projects are on time and within budget. Progress continues with the rebuilding and expansion of Islander Middle School, and site work on the detention pond is expected in late summer. Construction of the new Northwood Elementary school should be complete in the next few months. Recent highlights include the installation of solar panels, a green roof, and the gym floor. Frontage work on SE 40th will start over spring break.

Discontinued Propane Bus/Vehicle Pilot Program

Superintendent Plano and CFO/COO Mack summarized the joint effort by MISD and the City to initiate a pilot program for propane-fueled buses and vehicles. After reviewing the permitting process for propane tanks and the increased setback requirements for the safety of students, staff, and community members, it appears that neither MISD, nor the City, would be able to receive the necessary permits to properly site a fueling facility of the necessary capacity on either of their properties.

Bus Stop-Arm Violations and Cameras

Superintendent Plano summarized this safety issue and outlined a potential solution used by other districts, as described in the agenda. MISD is witnessing an increased number, about one to two per day, of incidents where drivers pass a school bus which is loading or unloading students, despite having its red lights blinking and its stop-arm extended, creating an unsafe environment for students crossing the street. The District is considering using services provided by American Traffic Solutions (ATS). The Board is asking the City to adopt an ordinance allowing the processing such traffic violations, including using bus cameras to identify infractions. The City Council is aware of this safety issue, which was discussed by its Public Safety Committee last year, and has scheduled this matter for its August meeting.

Discussion followed about implementation of the system, including execution of an interlocal agreement between the City and MISD, time for public awareness and education, time for internal testing or a grace/warning period, pricing by ATS and King County, and whether the City would consider this matter in June rather than August. Individual Councilmembers indicated their opposition to a grace/warning period for enforcing traffic citations resulting from this system. To allow more time for internal testing and public awareness/education, Interim City Manager Lancaster will see if the City Council can consider this matter at its June meeting instead of waiting until August. All members of both bodies expressed support for this new program.

Diversity Initiative

Superintendent Plano, referencing changes in the demographics of the Mercer Island community, reflected on MISD's systems-level changes with regard to diversity, including the Board's adoption last August of a policy regarding diversity, inclusiveness, and equity. He reviewed the District's commitment to building and sustaining a diverse and inclusive school community by highlighting the Superintendent's Diversity Advisory Committee (DAC) and its Charter, the School Diversity Action Teams, the recent staff and community presentations by Dr. Pedro Noguera, and the fall welcome event for new families. Superintendent Plano commented about the difference between equity and equality, and used an example such as giving certain students a running start or more time to succeed in school endeavors. He also expressed appreciation for Police Chief Holmes's participation and support on the DAC.

Councilmember Weiker summarized the City's efforts in this regard, including the April 20 event, Ending Racism Ceremony: A Traveling Art Exhibit at City Hall promoting racial equity and social justice, and three upcoming talks through the King County Library System. Some discussion followed and individual Councilmembers commended the Board on its policy action.

Dedication of Northwood Elementary

Superintendent Plano announced that the ribbon cutting and dedication ceremony for the new Northwood Elementary school will be the morning of Saturday, June 18, 2016. He noted that students will have field trips to see the new school and there will be additional open houses for citizens to come and walk through.

MISD's 75th Anniversary

Superintendent Plano spoke about the District's upcoming 75th anniversary in September. Chair Jorgenson spoke about adding the anniversary emblem to District letterhead and that this could be an opportunity to recognize PTAs and supporters of school bonds. The Board asked Councilmembers to share, over the next couple of months, any other ideas about how to commemorate this milestone.

OTHER BUSINESS

Councilmember Wisenteiner asked the Board if there are any concerns with the forthcoming changes to the Town Center Visioning and Development Code, especially as it relates to changes in the number of people living in the Town Center. Interim City Manager Lancaster commented that the next Joint Commission meeting will be April 12, and the Joint Commission will present its proposal for the Town Center to the City Council in May.

ADJOURNMENT

Mayor Bruce Bassett adjourned the Joint Meeting at 6:20 pm.

Bruce Bassett, Mayor

Attest:

Allison Spietz, City Clerk



**CITY COUNCIL MINUTES
REGULAR MEETING
APRIL 18, 2016**

CALL TO ORDER & ROLL CALL

Deputy Mayor Debbie Bertlin called the meeting to order at 6:00 pm in the Council Chambers of City Hall, 9611 SE 36th Street, Mercer Island, Washington.

Deputy Mayor Debbie Bertlin and Councilmembers Dan Grausz, Jeff Sanderson, Wendy Weiker, David Wisenteiner, and Benson Wong were present. Mayor Bassett was absent.

EXECUTIVE SESSION

To discuss potential or pending litigation pursuant to RCW 42.30.110(1)(i) for one hour.

At 6:01 pm, Deputy Mayor Bertlin convened an Executive Session pursuant to RCW 42.30.110(1)(i) to discuss potential or pending litigation for approximately 60 minutes.

At 6:55 pm, the Mayor adjourned the Executive Session. The Regular Meeting reconvened at 7:02 pm.

AGENDA APPROVAL

It was moved by Wong; seconded by Wisenteiner to:

Approve the agenda as presented.

Passed 6-0

FOR: 6 (Bertlin, Grausz, Sanderson, Weiker, Wisenteiner, Wong)

ABSENT: 1 (Bassett)

APPEARANCES

Gary Robinson, 6026 East Mercer Way, spoke about the biennial citizen survey results.

Tom Acker, 2427 84th Ave SE, spoke about height and density in the Town Center and the biennial citizen survey results.

Saralee Kane, 4816 West Mercer Way, spoke about the Appearance of Fairness Doctrine in relation to the Town Center Development Code and Comprehensive Plan Update.

CONSENT CALENDAR

Payables: \$565,838.61 (4/7/16)

Recommendation: Certify that the materials or services hereinbefore specified have been received and that all warrant numbers listed are approved for payment.

AB 5171 Open Space Conservancy Trust Board Annual Report and Work Plan

Recommendation: Receive report.

AB 5170 Mercer Island Youth and Family Services Foundation Donation to Fund the Purchase of a Used Box Truck for the Thrift Shop

Recommendation: Accept a donation of \$14,000 in funds from the MIYFS Foundation for the purchase of a used box truck for the Thrift Shop.

It was moved by Wong; seconded by Sanderson to:

Adopt the Consent Calendar and the recommendations contained therein.

Passed 6-0

FOR: 6 (Bertlin, Grausz, Sanderson, Weiker, Wisenteiner, Wong)

ABSENT: 1 (Bassett)

REGULAR BUSINESS

AB 5169 2016 Biennial Citizen Survey Results

Assistant City Manager and Finance Director Chip Corder introduced Dominick Martin from EMC Research who presented the results from the 2016 biennial citizen survey. Mr. Martin noted the following:

- Overdevelopment and traffic related issues are the top mentions for most important problem.
- A strong majority of residents give positive ratings for the job Mercer Island City government does overall and for using tax dollars responsibly.
- Overall rating for using tax dollars responsibly continues to be positive, although down from 2014.
- A majority of residents support a potential levy lid lift measure; however, intensity of support is low.
- Providing police, fire, and medical aid services is the top priority with the greatest intensity, followed by maintaining streets, roadsides, and medians.
- The majority of residents have low levels of concern (1-3) around growth and development in neighborhoods on the Island. Of those who say they are concerned (5-7), the top mentions are around large homes and buildings too big for the lot, followed by high density/overcrowding.
- The majority of residents oppose a ban on fire works on Mercer Island.
- A majority support extending dog leash requirements to Mercerdale Park. There is division on extending dog leash requirements to the NW quadrant of Pioneer Park, though a plurality still support extension.

AB 5168 Madrona Crest West Project Construction Bid Award

Assistant City Engineer Anne Tonella-Howe presented information about the Madrona Crest West Project. She noted that the project combines the following four separate capital improvement projects into a single contract for construction in 2016 to provide an economy of scale and to minimize construction impacts in the neighborhood to a single season:

1. Madrona Crest West Water System Improvements
2. Sub-basin 6 Storm Drainage Extension
3. Safe Routes to School – Madrona Crest (86th Ave) Sidewalk
4. Residential Street Overlays (using a portion of the 2015-2016 budget for Residential Overlays)

Councilmembers asked staff about their process for and results of vetting the lowest responsible bidder as the contractor. Following the response from staff, Council expressed concern that more reference checking should be completed before awarding the bid.

Deputy Mayor Bertlin suggested moving to the next agenda item to give staff time to research whether or not there is enough time to push the bid award to the next meeting to allow staff to complete additional reference checks for the contractor. The Council concurred.

AB 5168 continued later in the evening after AB 5167.

AB 5167 2015 Construction Codes Update (1st Reading)

Building Official Don Cole presented an ordinance amending MICC Title 17, Construction Codes which adopts and enforces updated Construction Code editions as adopted and amended by the State of Washington. He noted that the ordinance also includes changes to the Administrative Provisions to remain consistent with Regional Model Code and the geographic limits referred to in certain sections of the 2012 International Fire Code to remain

consistent with the intent of the International Model Code.

Fire Marshall Herschel Rostov spoke about the definition of high-rise building for clarification, to address new design approaches, and to remain consistent with Regional Model Code.

It was moved by Grausz; seconded by Weiker to:

Suspend the City Council Rules of Procedure 5.2 requiring second reading of all ordinances.

Passed 6-0

FOR: 6 (Bertlin, Grausz, Sanderson, Weiker, Wisenteiner, Wong)

ABSENT: 1 (Bassett)

It was moved by Grausz; seconded by Wisenteiner to:

Adopt Ordinance No. 16C-04, updating Title 17, Construction Codes, as required by the State of Washington with an effective date of July 1, 2016.

Passed 6-0

FOR: 6 (Bertlin, Grausz, Sanderson, Weiker, Wisenteiner, Wong)

ABSENT: 1 (Bassett)

City Manager Lancaster noted that staff will be bringing information to the Council in the near future regarding possible code changes to fire sprinklers regulations.

AB 5168 Madrona Crest West Project Construction Bid Award (continued)

Staff reported that there is enough time allowed in the bid documents to move this bid award to the May 2 meeting for final decision by the Council. Staff stated that they would conduct additional reference checks for the lowest responsible bidder in the next two weeks and include the data gathered in the agenda bill.

Councilmember Wisenteiner suggested creating a standard for checking references of contractors for projects. Staff concurred that this suggestion merits further consideration.

OTHER BUSINESS

Councilmember Absences

Mayor Bassett's absence was excused.

Planning Schedule

City Manager Lancaster noted the following: (1) the May 2 Study Session regarding the Town Center code update will start at 5:30 pm; (2) a Special Meeting will be added on May 9 for public comment on the Town Center code update; (3) the Maintenance and Fleet Audit Report will be moved to June 20 or the June 11 Mini-Planning Session; (4) the school bus cameras ordinance will be moved from August to June; and (5) a discussion about fire sprinklers will be added to a Study Session or the June 11 Mini-Planning Session.

Board Appointments

There were no appointments.

Councilmember Reports

Councilmember Wong noted the following (1) Sound Cities Association Public Issues Committee is looking for feedback from cities regarding ST3; (2) Mercer Island Library will be closed on May 8 for renovations and service at the temporary location will begin May 11; and (3) the Alaskan Way Viaduct will be closed for two weeks starting April 29.

Councilmember Weiker commended staff for a great job on the Leap for Green event and noted the following events: (1) Eastside Race & Leadership Coalition's event, Reject the Rags of Racism and live into the Riches of Diversity, at City Hall at noon on April 20; (2) King County Library System's Eastside Cluster Manager meeting on April 21; (3) Mercer Island Schools Foundation breakfast on April 26; and (4) Island Books fundraiser for the Sister City Association on April 21.

Councilmember Sanderson noted that the Mercer Island Library Board will be proposing to the Council to extend their charter past the sunset date of December 31, 2016.

Councilmember Grausz spoke about a recent King County Regional Policy Committee meeting. Deputy Mayor Bertlin noted that the 50th anniversary of Circus put on by the Mercer Island Preschool Association will be held on Saturday, April 23.

ADJOURNMENT

The Regular Meeting adjourned at 8:41 pm.

Bruce Bassett, Mayor

Attest:

Allison Spietz, City Clerk



**BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND, WA**

**AB 5172
May 2, 2016
Consent Calendar**

**INTERLOCAL AGREEMENT WITH THE STATE
OF WASHINGTON DEPARTMENT OF
ENTERPRISE SERVICES FOR SURPLUS
OPERATIONS SERVICES**

Proposed Council Action:

Authorize the Interim City Manager to execute the Interlocal Agreement between the City and State of Washington Department of Enterprise Services for surplus operations services.

DEPARTMENT OF

Parks and Recreation (Zach Houvener)

COUNCIL LIAISON

n/a

EXHIBITS

1. City's Fixed Asset Policy
2. Interagency Agreement Between State of Washington Department of Enterprise Services and the City for surplus operations

APPROVED BY CITY MANAGER

AMOUNT OF EXPENDITURE	\$	n/a
AMOUNT BUDGETED	\$	n/a
APPROPRIATION REQUIRED	\$	n/a

SUMMARY

The City's Fixed Asset Policy (Exhibit 1) establishes the procedures for disposition of capital assets, other than real estate, that are surplus to the needs of the City. Surplus is defined as any tangible personal property owned by the City, which is not needed at present, or for the foreseeable future, or that is no longer of value or use to the City. The City Manager, or his/her designee, authorizes the disposition of surplus City assets. At the discretion of the City Manager, City Council authorization may be required for the disposition of surplus assets with an estimated fair market value in excess of \$10,000.

The required steps for the disposition of assets, other than real estate property, are:

1. Verify asset is surplus to the needs of all City departments;
2. Determine value;
3. Determine method of disposition; and
4. Document and report asset disposal

The City currently utilizes effective surplus policies and procedures for vehicle replacement, electronics replacement, and disposition of office furnishings. The City utilizes the Thrift Shop to sell certain items when no other City department can use a surplus item, such as a file cabinet in good repair, shelving or desk chairs. However, the Mercer Island Community and Event Center has specific needs to surplus large quantities of the same item that cannot be handled with existing surplus and storage procedures (i.e. 100 tables that are well past their useful life). The disposal of large quantities of surplus items can be a burden to staff and can take up valuable storage space. This proposed interlocal agreement provides the means to

effectively move, store, and sell large quantity items when needed, while saving significant staff time in administering the sale and other costs associated with storage and transportation of surplus property.

With the approval of the proposed interlocal agreement with the State of Washington Department of Enterprise Services (DES), Surplus Operations, City staff would have the option of utilizing the DES, under its authority in RCW 43.19.1919, acting on behalf of Mercer Island, to sell vehicles, equipment and other personal property, except for hazardous materials, that are declared surplus by the City of Mercer Island.

Furthermore, DES agrees to provide the following services to the City, as outlined in Exhibit 2:

1. Properly store and assume responsibility for the safekeeping of all vehicles, equipment and other personal property.
2. Endeavor to obtain resale prices equal to the industry standard trade-in or quick sale equipment values.
3. Sell surplus property turned over to DES in a timely manner, collect payment from buyer, and reimburse the City with proceeds of sales, less DES's authorized fees per fee schedule as shown on Exhibit 3. DES shall submit surplus property proceeds to the City within thirty (30) days of the sale of surplus property.
4. Take all necessary administrative actions to ensure surplus property turned over to DES ownership is legally and fully transferred from the City to the buyer.
5. Take responsibility for resolving any ownership issues that may arise after surplus property is purchased.
6. Set up Login and Password to the Surplus Request Management System (SRMS) for City staff authorized to submit surplus property.
7. Review SRMS disposal documents submitted within 24 hours and assign a DES Authority Number for approved property.

As outlined in Exhibit 1, any proceeds from the disposition of an asset will be credited to the owner fund or department as appropriate.

RECOMMENDATION

Interim MICEC Manager

MOVE TO: Authorize the Interim City Manager to execute the interlocal agreement between the State of Washington Department of Enterprise Services and the City of Mercer Island, allowing the City to utilize Surplus Operations in order to sell surplus assets.

FIXED ASSET POLICY

PURPOSE

The intent of this policy is to define what constitutes a Capital Asset and establish guidelines for the capitalization, control, depreciation, and disposal of the City's capital assets.

SCOPE

All elected officials, employees, and volunteers acting on behalf of the City of Mercer Island, including members of City Boards and Commissions. As used throughout this policy document, "employee" means all persons included in this "scope".

POLICY

Capital Assets

Definition

Capital assets consist of expenditures for tangible or intangible items used in operations that benefit more than a single fiscal period. Capital Assets are typically classified as one of the following:

- Land or Land Easements;
- Buildings and Building Improvements;
- Improvements other than buildings;
- Machinery and Equipment;
- Infrastructure; or
- Intangible software assets.

It is the City's priority to maintain a system of accountability for capital assets providing adequate stewardship over resources and enabling the preparation of financial statements in accordance with Generally Accepted Accounting Principles.

Capitalization Threshold (Other than Infrastructure)

General government purchases of land, buildings, improvements, intangibles, machinery, or equipment with a unit cost of \$10,000 or greater shall be capitalized and classified as a Capital Asset. The capitalization threshold will be applied to individual items rather than to groups of similar items.

Utility Fund purchases of property, plant and equipment with a unit cost of \$10,000 or greater shall be capitalized and classified as a Capital Asset. The capitalization threshold will be applied to individual items rather than to groups of similar items.

Updated 6/2009

Technology items purchased and maintained by the City of Mercer Island's Computer Replacement Fund with a unit cost of \$1,000 or greater shall be capitalized and classified as a Capital asset of the internal service fund. This includes, but is not limited to, desktop computers, laptop computers, projections systems, servers, and production printers. Small technology items that are not capitalized will be inventoried and controlled as "attractive items".

Machinery and Equipment purchased and maintained by the City of Mercer Island's Fleet Fund shall be capitalized in accordance with Fleet policies.

Costs incurred subsequent to the purchase of a capital asset that results in extending the life or increasing the productivity of the asset will be capitalized. Costs incurred subsequent to the purchase of a capital asset for repairs and maintenance which either restore the asset to, or maintain it at, its normal or expected service life or production capacity will be treated as expenditures of the current period and not capitalized.

The monetary threshold for capitalization should periodically be reviewed for consistency with the Government Finance Officers Association's "Recommended Practice" guidelines. As a recipient of federal awards the City should be aware of federal requirements that may require a higher than ordinary level of accountability over certain classes of assets acquired with grant funds.

Capitalization Threshold for Infrastructure Assets

In accordance with the Governmental Accounting Standards Board Statement Number 34, acquisition of capital assets defined as infrastructure, section "I.A," are to be capitalized. By nature, infrastructure assets normally are expected to exceed any capitalization threshold established for assets other than infrastructure. Infrastructure assets may be grouped into networks or subsystems rather than reported as individual items for purposes of capitalization and depreciation.

Infrastructure assets may reasonably be expected to continue to function indefinitely if they are adequately preserved and maintained. Accordingly, GAAP allows a modified approach to infrastructure reporting in which an entity elects to forego reporting depreciation in connection with networks or subsystems of infrastructure assets, provided that it has made a commitment to maintain those networks or subsystems at a predetermined condition level and has established an adequate asset management system. The City of Mercer Island has chosen to not implement the modified approach for infrastructure reporting. As such, all infrastructure assets will be depreciated over their useful lives.

Valuation

Capital assets should be reported at their historical cost. In the absence of historical cost information, the asset's estimated historical cost may be used. Asset's donated by outside parties should be reported at their fair value on the date the donation is made. The historical cost of a capital asset should include all of the following:

- Ancillary charges necessary to place the asset in its intended location (freight charges); and
- Ancillary charges necessary to place the asset in its intended condition for use (installation and site preparation charges).

The historical cost of a capital asset should **include** the cost of any subsequent additions or improvements but **exclude** the cost of repairs. An addition or improvement either enhances a capital asset's functionality (effectiveness or efficiency), or it extends a capital asset's expected useful life.

Depreciation

Depreciation is intended to match the cost of an asset to the time period the asset serves. Depreciation calculations will begin when an asset is placed into service. Depreciation will be calculated using the straight-line method and will be reported in government-wide financial statements, fund financial statements for proprietary funds, and financial statements for fiduciary funds as appropriate. Assets classified as Land, Art collections, and Construction in progress are non-depreciable.

The useful life for assets acquired in new condition should be determined in a manner consistent with standards outlined in the GFOA publication "Recommended Practices for State and Local Governments." A shorter or longer estimated life may be used depending on factual circumstances, replacement policies, or industry practices.

Asset Control

All tangible capital assets that can be labeled shall have a pre-numbered City of Mercer Island tag attached in a prominent location. City vehicles and heavy equipment will be numbered in accordance with the policies of the Fleet Fund.

Assets that do not meet the capitalization threshold requirements as outlined above, but are considered small and attractive will be tagged, or otherwise safeguarded, where there is a need for property control and accountability.

The identification tags will be supplied by the Finance Department or IGS Division and shall be attached to the asset by an employee of the department receiving the asset.

Asset Verification

All assets that meet the City's capitalization policy are to be maintained within a capital asset inventory system that includes records for all inventoriable assets. It will be a goal of the City to verify the inventory of all capital assets on a biennial basis.

Disposal of Capital Assets

This section of the Fixed Asset Policy establishes the procedures for disposition of capital assets, other than real estate, that are surplus to the needs of the City. Surplus is defined as

any tangible personal property owned by the City, which is not needed at present, or for the foreseeable future, or that is no longer of value or use to the City. The City Manager, or his designee, will authorize the disposition of surplus City assets. At the discretion of the City Manager, City Council authorization may be required for the disposition of surplus assets with an estimated fair market value in excess of \$10,000.

The required steps for disposition of assets, other than real property, are:

1. Verify asset is surplus to needs of all City departments;
2. Determine value;
3. Determine method of disposition; and
4. Document and report asset disposal.

Any proceeds from the disposition of an asset will be credited to the owner fund or department as appropriate.

Verify Surplus Status

The department intending to dispose of a surplus asset is responsible for ensuring that no other City department has a use for the asset. It is imperative that the intent to dispose of an asset is effectively communicated to all departments. If another department has a use for the property, ownership will be transferred, with the Finance department ensuring that the fund disposing of the property is reimbursed for the reasonable market value as appropriate. If no other City department has use for the asset, it will be deemed surplus, and disposition may move forward.

Determine Value

A department wishing to dispose of a single item of surplus property, or a group of items, shall make an estimate of the reasonable market value in “as is” condition. Suggested methods for determining market value include, but are not limited to, seeking advice from sellers of like items and reviewing asking price for like items on web-based auction sites. Method used for determining market value should be documented in writing.

Method of Disposition

Items that are determined to be of zero value may be disposed of directly, or recycled as appropriate.

If the estimated market value of the surplus asset is \$1,000 or less, the department may dispose of the property by selecting one of the following methods, as deemed to be in the City’s best interests and authorized by the Department Director:

- Donate to MIYFS Thrift Shop for resale;
- Sale at public auction. (web-based auction or classified sites will qualify as “public”).

If the estimated market value of the surplus asset is greater than \$1,000, the department may dispose of the property by selecting one of the following methods, as deemed to be in the City’s best interest and authorized by the Department Director and City Manager:

- Donate to MIYFS Thrift Shop for resale;
- Sale at public auction (web-based auction or classified sites will qualify as “public”);
- As Trade-In offsetting the purchase price of a new or replacement asset;

- Transfer to another agency of government at or below estimated fair market value;
- Solicitation of written bids.

City employees shall not directly or indirectly use, take, or dispose of City property other than in their official duties. This includes, but is not limited to, articles of clothing, supplies, tools, and vehicles. Items owned by the City found to be unfit for further service shall be declared surplus and disposed pursuant to the procedures above. Employees are prohibited from requesting, or receiving, preferential treatment in the disposal or sale of City surplus assets and material.

City officials are restricted from purchasing surplus assets due to conflict of interest concerns. Those employees who are involved in the decision to dispose of property and those in charge of administering the disposition may not purchase the property. Generally, City employees may bid on surplus property under the same rules as the general public.

Found Items

RCW 63-21-070 specifically disallows employees from personally keeping any property found in the course of employment. Items found by City employees in the course of their duties and not falling into one of the following areas will be turned in to the department director as a “lost and found” item and disposed of as surplus property. Items found and falling into one of the following areas may be disposed of as is reasonable under the given circumstances:

- Those that are perishable;
- Those that would create a health, sanitary, or safety problem if stored;
- Items that would reasonably be considered garbage.

Exceptions

Items found or obtained by a Police Department employee in the course of his/her official duties are to be disposed of in accordance with the Washington State Law regarding found or abandoned items by Police Departments.

Certain provisions of the Revised Code of Washington impose special conditions for the disposition of municipal property. Where necessary, City officials shall comply with those laws, treating them as limited exceptions to this policy.

Required Documentation

The surplus property disposition process will be documented. Adequate documentation will include the following elements:

- Description of surplus property. Where possible identify property by inventory tag number, license, model or serial number, original purchase price, and physical location of property;
- Reason property has been declared surplus;
- Department Director signature authorizing disposition of asset;
- Record of communications to all City departments of intent to dispose of asset (Email, iMercer classifieds, memo, etc.);

- Estimated fair market value, with description or record of how value was determined;
- Method of disposition; and
- City Manager signature authorizing disposition of asset with estimated fair market value which exceeds \$1,000. (Auctions or trade-ins of Fleet vehicles and equipment are exempted from this requirement.)

A copy of required documentation will be forwarded to the Accounting Manager, City Clerk, and Fleet Manager, as appropriate, to ensure asset is removed from all relevant asset records and tracking systems.

POLICY ADMINISTRATION

The Finance Director develops and implements procedures for administering this policy, ensuring compliance with the policy and State Law. The Finance Director is required to authorize any exceptions to the above policy.

**INTERAGENCY AGREEMENT
BETWEEN
STATE OF WASHINGTON
DEPARTMENT OF ENTERPRISE SERVICES
AND
CITY OF MERCER ISLAND**

THIS AGREEMENT is made and entered into by and between the Department of Enterprise Services, Business Resources Division, Surplus Operations, hereinafter referred to as "DES", and the City of Mercer Island, hereinafter referred to as "Mercer Island" pursuant to the authority granted by chapter 39.34 RCW.

IT IS THE PURPOSE OF THIS AGREEMENT to provide Surplus Operations services for Mercer Island.

NOW, THEREFORE, in consideration of the terms and conditions contained herein, or attached and incorporated by reference and made a part hereof, the above named parties mutually agree as follows:

1. STATEMENT OF WORK

DES, under its authority in RCW 43.19.1919, acting on behalf of Mercer Island shall furnish the necessary personnel and services and otherwise do all things necessary for or incidental to the performance of the work set forth in this Agreement.

DES agrees to sell vehicles, equipment and other personal property, except for hazardous materials, that are declared surplus and turned over to DES for disposal ("Property"). DES further agrees to include the following clause in its Terms and Conditions of sale with any purchase of Mercer Island Property in substantially the same form: "All available information about the item has been reported in this listing. The item may have defects of which the Washington State Surplus Operations Program is unaware. You are bidding on these item(s) 'as is, where is.' All sales are final. Personal inspection is strongly advised. Failure to inspect the item shall not be grounds for any claim or property abandonment." All surplus property turned over to DES is publicly advertised via the DES website (www.ga.wa.gov/surplus). Methods for selling surplus property will include, but are not limited to:

1. Priority Sales (See WAC 200-360-025)
2. Public Sales
3. Internet Sales

A. DES agrees to provide the following services:

1. Properly store and assume responsibility for the safekeeping of all vehicles, equipment and other personal property.
2. Endeavor to obtain resale prices equal to the industry standard trade-in or quick sale equipment values.
3. Sell surplus property turned over to DES in a timely manner, collect payment from buyer, and reimburse Mercer Island the proceeds of sales, less DES's authorized fees per fee schedule as shown on Exhibit "A" – Surplus Operations Fee Schedule.
4. Take all necessary administrative actions to ensure surplus property turned over to DES ownership is legally and fully transferred from the Mercer Island to the buyer.
5. Take responsibility for resolving any ownership issues that may arise after surplus property is purchased.
6. Set up Login ID and Password to the Surplus Request Management System (SRMS) for Mercer Island staff authorized to submit surplus property.
7. Review SRMS disposal documents submitted within 24 hours and assign a DES Authority Number for approved property.

Mercer Island agrees that it will:

1. Submit SRMS disposal documents for all surplus property using DES's online SRMS, along with signed vehicle and equipment titles.
2. Contact DES at (360) 407-1917, to schedule delivery of surplus property.
 - a. Transportation/Hauling Services are available through DES's Transportation Services. Please contact transportservices@des.wa.gov, for a quote to haul your surplus property.
3. Dispose of the following hazardous materials themselves:
 - a. Asbestos – Any product containing more than 1 percent asbestos, including wrapped pining, fireproofing materials, fireproof safes, fire retardant clothing, floor tiles, ceiling tiles, etc.
 - b. Polychlorinated biphenyls (PCB's) – Including transformers, capacitors, electrical equipment containing capacitors or transformers, fluorescent fixtures, liquid filled electrical devices, etc.
 - c. Liquids, Flammable or toxic liquids and powders, including paints, solvents, cleaners, copier fluids, etc.
 - d. Radioactive Materials – Including smoke detectors, x-ray equipment, etc.
 - e. Pesticides/Herbicides – Including insecticides, fungicides, herbicides, wood preservative, disinfectants, and any other substances intended to control pests.

2. PERIOD OF PERFORMANCE

Subject to its other provisions, the period of performance of this Agreement shall commence when this Agreement is properly signed, and continue until terminated by either party, as provided herein.

This Agreement cancels and supersedes all previous agreements between DES and Mercer Island for surplus property services.

3. CONSIDERATION

After deducting its fee, DES shall reimburse Mercer Island for the sale of surplus property. Compensation shall be based on Exhibit "A" - Surplus Operations Fee Schedule. DES reserves the right to amend their Fee Schedule when DES receives authorization to do so. DES will notify Mercer Island, in writing within thirty (30) days prior to Office of Financial Management approved rate changes.

4. PAYMENT PROCEDURE

DES shall submit surplus property proceeds to Mercer Island within thirty (30) days of sale of surplus property.

The surplus property proceeds shall be forwarded to the following:

City of Mercer Island
Attn: LaJuan Tuttle
9611 SE 36th St
Mercer Island, WA 98040

5. AGREEMENT CHANGES, MODIFICATIONS AND AMENDMENTS

This Agreement may be changed, modified or amended by written agreement executed by both parties.

6. CONTRACT MANAGEMENT

The representative for each of the parties shall be responsible for and shall be the contact person for all communications and billings regarding the performance of this Agreement.

- A. The DES representative on this Agreement shall be: Program Manager, Surplus Operations, 7511 New Market Street, Olympia, WA 98504-1030, (360) 407-1900, SurplusMail@des.wa.gov
- B. The Mercer Island representative on this Agreement shall be: Andrea Larson, Administrative Assistant, Mercer Island Community & Event Center, City of Mercer Island, 8236 SE 24 Street, Mercer Island, WA 98040, (206) 275-7838, andrea.larson@mercergov.org

7. INDEMNIFICATION

To the fullest extent permitted by law, Mercer Island shall indemnify, defend, and hold harmless State, agencies of State and all officials, agents and employees of State, from and against all claims arising from the sale or transaction before, during, or after the sale. "Claim," as used in this Agreement, means any financial loss, claim, suit, action, damage, or expense, including but not limited to attorney's fees, attributable for bodily injury, sickness, disease, or death, or injury to or destruction of tangible property including loss of use resulting therefrom.

Mercer Island expressly agrees to indemnify, defend, and hold harmless State for any claim arising out of or incidental to Mercer Island performance or failure to perform its rights, duties and obligations under this Agreement. Mercer Island shall be required to indemnify, defend, and hold harmless State only to the extent claim is caused in whole or in part by negligent acts or omissions of Mercer Island.

8. TERMINATION

Either party may terminate this Agreement upon 30-days' prior written notification to the other party. If this Agreement is so terminated, the parties shall be liable only for performance rendered or costs incurred in accordance with the terms of this Agreement prior to the effective date of termination.

9. TERMINATION FOR NON-USE

If services in Statement of Work have not been used in 5 years, this agreement is automatically terminated without further notice. To commence services, Mercer Island must sign a new service agreement.

Execution

We, the undersigned, agree to the terms of the foregoing Agreement.

Department of Enterprise Services

City of Mercer Island

SIGNATURE

SIGNATURE

PHIL GRIGG

NAME

STEVE LANCASTER

NAME

ASSISTANT DIRECTOR

TITLE

INTERIM CITY MANAGER

TITLE

DATE

DATE

Surplus Operations Fee Schedule

Gross Proceeds	Surplus Rate	Political Subdivision Rate
Items sold at warehouse under \$200		No Reimbursement
Items sold at warehouse \$200 or more	9%	91%
Items sold at Political Subdivision location under \$200		No Reimbursement
Items sold at Political Subdivision location \$200 or more*	9%	91%
Vehicles and heavy equipment under \$200		No Reimbursement
Vehicles and heavy equipment over \$200*	9%	91%

*Minimum fee \$200, Maximum fee \$900

Other Fees for Vehicle and Heavy Equipment Sales

Service	Rate
Cleaning and vacuuming	\$25.00 per unit
Decal removal	Actual Costs \$25.00 minimum, call for quote



**BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND, WA**

**AB 5176
May 2, 2016
Consent Calendar**

**MADRONA CREST WEST PROJECT
CONSTRUCTION BID AWARD**

Proposed Council Action:
Award the project.

DEPARTMENT OF	Maintenance (Anne Tonella-Howe)
COUNCIL LIAISON	n/a
EXHIBITS	1. AB 5168 (4/18/16)
APPROVED BY CITY MANAGER	

	Water	Stormwater	Streets	TOTAL
AMOUNT OF EXPENDITURE	\$1,392,034	\$160,492	\$456,627	
AMOUNT BUDGETED	\$1,902,000	\$100,000	\$371,022	
APPROPRIATION REQUIRED	\$0	\$60,492	\$85,605	\$146,097

SUMMARY

To address the questions raised at the April 18 Council meeting, staff have completed further vetting of references for Thomco Construction Inc. (Thomco), the low responsible bidder on the Madrona Crest West project. Eligibility to bid on a public works contract requires that the contractor meet specific qualifications as outlined in the Revised Code of Washington (RCW). A standardized *Bidders Qualification Certificate* is included in each advertisement for bid and is required to be returned as part of the bid submittal. In addition to satisfying these criteria, the bidders are required to provide a list of past projects of similar scope, time and complexity, including contract price and a list of five (5) references. Thomco submitted a comprehensive list of 51 projects that included all work they have performed since 1993. Many of these projects were with repeat clients.

Staff reached out to seven agencies, all of whom have had similar work performed by Thomco since 2004. These seven agencies include the cities of Snohomish, Monroe, Redmond, and Everett, the Washington State Department of Parks & Rec - Camano Island State Park, the Marysville School District and Snohomish County. Six of the seven agencies returned phone calls and verified work performed by Thomco. The reference agencies were selected because their projects were all of similar size and scope to the City's project. All agencies contacted verified that Thomco successfully completed their projects within the contract time frame and to the satisfaction of the contracting agency. The solicited feedback was positive and confirmed the recommendation to award the project to Thomco as the low responsible bidder.

Additionally, review of the Labor & Industries (L&I) website confirms that Thomco is a contractor in good standing, with no license violations, outstanding lawsuits or L&I tax debt; Thomco has current insurance and bonding capacity.

Staff's review of the bid submittals and additional reference checks, as required by state law and as outlined in the bidding documents, confirms the original recommendation to award the Madrona Crest West project to Thomco as the low, responsible bidder.

RECOMMENDATION

Assistant City Engineer

MOVE TO: Award the Madrona Crest West project to Thomco Construction, Inc. in the amount of \$1,376,614.11. Set the project budget at \$2,009,153, with an appropriation of \$85,605 from the Street Fund and an appropriation of \$60,492 from the Storm Water Fund, and direct the City Manager to execute the construction contract.



**BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND, WA**

**AB 5168
April 18, 2016
Regular Business**

MADRONA CREST WEST PROJECT BID AWARD	Proposed Council Action: Award the project.
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DEPARTMENT OF	Maintenance (Rona Lin)
COUNCIL LIAISON	n/a
EXHIBITS	1. Vicinity Map
APPROVED BY CITY MANAGER	

	Water	Stormwater	Streets	TOTAL
AMOUNT OF EXPENDITURE	\$1,392,034	\$160,492	\$456,627	
AMOUNT BUDGETED	\$1,902,000	\$100,000	\$371,022	
APPROPRIATION REQUIRED	\$0	\$60,492	\$85,605	\$146,098

SUMMARY

The Madrona Crest West Project combines four separate capital improvement projects into a single contract for construction in 2016. The individual projects, as adopted in the 2015-16 Capital Budget, are:

- 1) Madrona Crest West Water System Improvements
- 2) Sub-basin 6 Storm Drainage Extension
- 3) Safe Routes to School – Madrona Crest (86th Ave) Sidewalk
- 4) Residential Street Overlays (using a portion of the 2015-2016 budget for Residential Overlays)

All four projects are within the Madrona Crest neighborhood, which lies between SE 36th and SE 40th Streets, and between 84th and 90th Avenues. This area was originally platted in 1946 and most of the homes were built in the 1950's. The water system is old, undersized, and prone to breaks, the storm drainage system is minimal, and there are few pedestrian facilities. This project will make improvements in the western half of the Madrona Crest plat, as shown in Exhibit 1.

These projects were combined into a single construction project with four schedules to provide an economy of scale and to minimize construction impacts in the neighborhood to a single season. The project was not bid with an option to split schedules as the work in each of these schedules is integral to the other – all the underground utility work (Schedule A & B) must be completed before the sidewalk (Schedule C) can be installed, which must be completed before the roadway paving (Schedule D). The four schedules are described as follows:

- Schedule A – Madrona Crest West Water System Improvements will install approximately 3,550 linear feet of new 8-inch ductile iron watermain, replace 82 water services, install 8 fire hydrants, and replace other minor water system components on SE 36th, SE 37th, and SE 39th Streets (between

84th Ave SE and 86th Ave SE), 84th Ave SE (from SE 36th Street to SE 37th Street), and on 86th Ave SE (from SE 36th Street to SE 40th Street).

- Schedule B – Sub-basin 6 Storm Drainage Extension consists of approximately 325 linear feet of new storm drainage pipe, new catch basins, and associated improvements on 86th Ave SE from SE 39th Street to SE 40th Street.
- Schedule C – Safe Routes to School Improvements will construct new concrete curb, gutter, and sidewalk on the east side of 86th Ave SE from SE 39th Street to SE 40th Street (where no sidewalk exists), as well as construction of ADA compliant curb ramps and relocation of the pedestrian signal pole at the northeast corner of the SE 40th Street and 86th Ave SE intersection.
- Schedule D – Residential Street Overlay will reconstruct 86th Ave SE from SE 39th Street to SE 40th Street. Work will include removal of existing deteriorated pavement, minor roadbed regrading, gravel base, and new hot mix asphalt (HMA) pavement matching into the drainage, curb, and sidewalk improvements of Schedules B and C.

Design for the Madrona Crest West project began in the summer of 2015 and was completed in early March 2016. The project was advertised for bids on March 16, 2016. Four construction bids were received and opened on Tuesday, April 5, 2016. Table 1 below shows the bid results.

TABLE 1: BID RESULTS

COMPANY NAME	SCHEDULE A** WATER SYSTEM	SCHEDULE B STORM DRAINAGE	SCHEDULE C SAFE ROUTES TO SCHOOL	SCHEDULE D RESIDENTIAL STREET	TOTAL BID AMOUNT
Thomco Construction	\$930,861.36	\$107,910.25	\$183,277.50	\$154,565.00	\$1,376,614.11
Laser Underground	\$981,741.96	\$112,594.00	\$165,815.00	\$158,200.00	\$1,418,350.96
Award Construction	\$1,138,412.92	\$122,505.00	\$162,405.00	\$148,685.00	\$1,572,007.92
Kar-Vel Construction	\$1,158,774.99	\$112,222.00	\$175,080.00	\$165,060.00	\$1,611,136.99
Engineer's Estimate	\$976,814.46	\$72,058.00	\$138,704.00	\$146,696.00	\$1,334,272.46

** bid amount shown under SCHEDULE A includes Washington State Sales Tax of 9.5% (per WAC 458-20-170)

The responsive low bidder, Thomco Construction, Inc. from Lake Stevens, has been in business since 1988 and has completed numerous street and utility projects in western Washington for other public agencies, including WSDOT, Snohomish County and the cities of Bothell and Everett.

PROJECT BUDGET

A breakdown of the project costs including the construction, contingency, project management, design and construction support services, and inspection services is summarized in Table 2 on the next page.

TABLE 2: TOTAL PROJECT BUDGET

MADRONA CREST WEST PROJECT	SCHEDULE A WATER SYSTEM	SCHEDULE B STORM DRAINAGE	SCHEDULE C SAFE ROUTES TO SCHOOL	SCHEDULE D RESIDENTIAL STREET	TOTAL
Construction	\$850,102	\$107,910	\$183,278	\$154,565	\$1,295,854
Sales Tax @ 9.5%	80,760	0	0	0	80,760
Construction Contract Award to Thorco Construction, Inc.	\$930,861	\$107,910	\$183,278	\$154,565	\$1,376,614
Contingency - 20% Util & 10% Streets	186,172	21,582	18,328	15,457	241,539
Design/Construction Support Services	135,000	20,000	40,000	20,000	215,000
Project Management/Maint Team	90,000	6,000	6,000	6,000	108,000
Inspection Services	50,000	5,000	8,000	5,000	68,000
Total Project Budget	\$1,392,034	\$160,492	\$255,605	\$201,022	\$2,009,153
2016 Budget - Madrona Crest Water	1,902,000				1,902,000
2016 Budget - Sub-Basin 6 Extension		100,000			100,000
2016 Budget - Madrona Crest Sidewalk			170,000		170,000
2016 Budget - Residential Streets				201,022	201,022
Budget Appropriation	\$0	\$60,492	\$85,605	\$0	\$146,098

The Water System Improvements portion of the project is significantly under the project budget of \$1,902,000 set in the 2015-2016 Budget. The project budget for the Water System Improvements will be reset to \$1,392,034 with the bid award.

Construction must begin soon to complete the safe routes to school sidewalk before school starts. Construction is scheduled to begin in mid-May with 150 calendar days for project completion. The improvements on 86th Ave SE between SE 40th and SE 39th (which include a portion of the water system work, the storm drainage work, the safe routes to school work and the street resurfacing) are to be completed prior to the first day of school on August 31, 2016. The construction of the remaining water system improvements to the north and northwest of the Safe Routes to School project limits will likely continue later into the fall. All work on the project is expected to be completed by mid-October.

STAFF RECOMMENDATION

While the bids for three of the four schedules (Schedule B (Storm Drainage Extension), Schedule C (Safe Routes to School Sidewalk) and Schedule D (Residential Street Overlays)) exceeded the engineer's estimate, an additional appropriation is only needed to fully fund the storm drainage extension and new sidewalk. There is available fund balance in both the Storm Water and Street Funds to cover these appropriations without impacting other 2015-2016 planned projects. Given the tight time line for this project and the fact that four bids were received for this work, staff recommends going forward with the bid award.

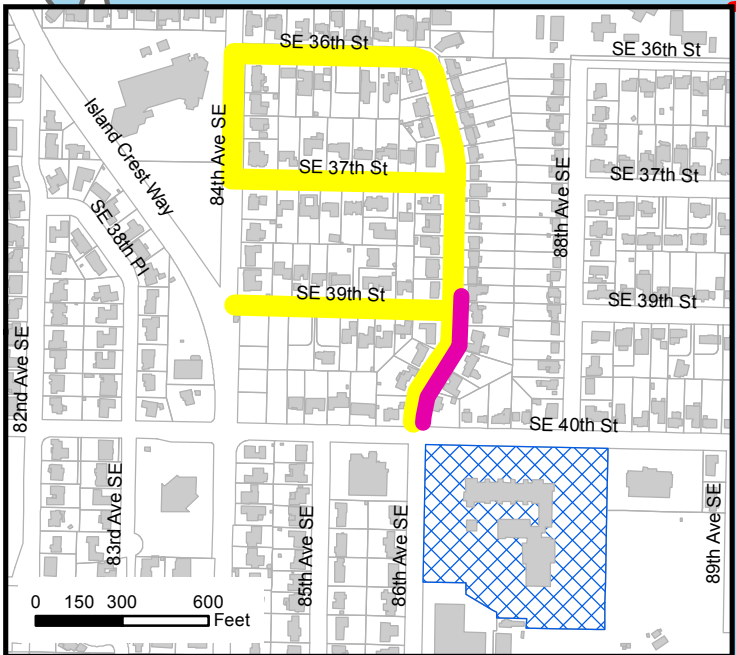
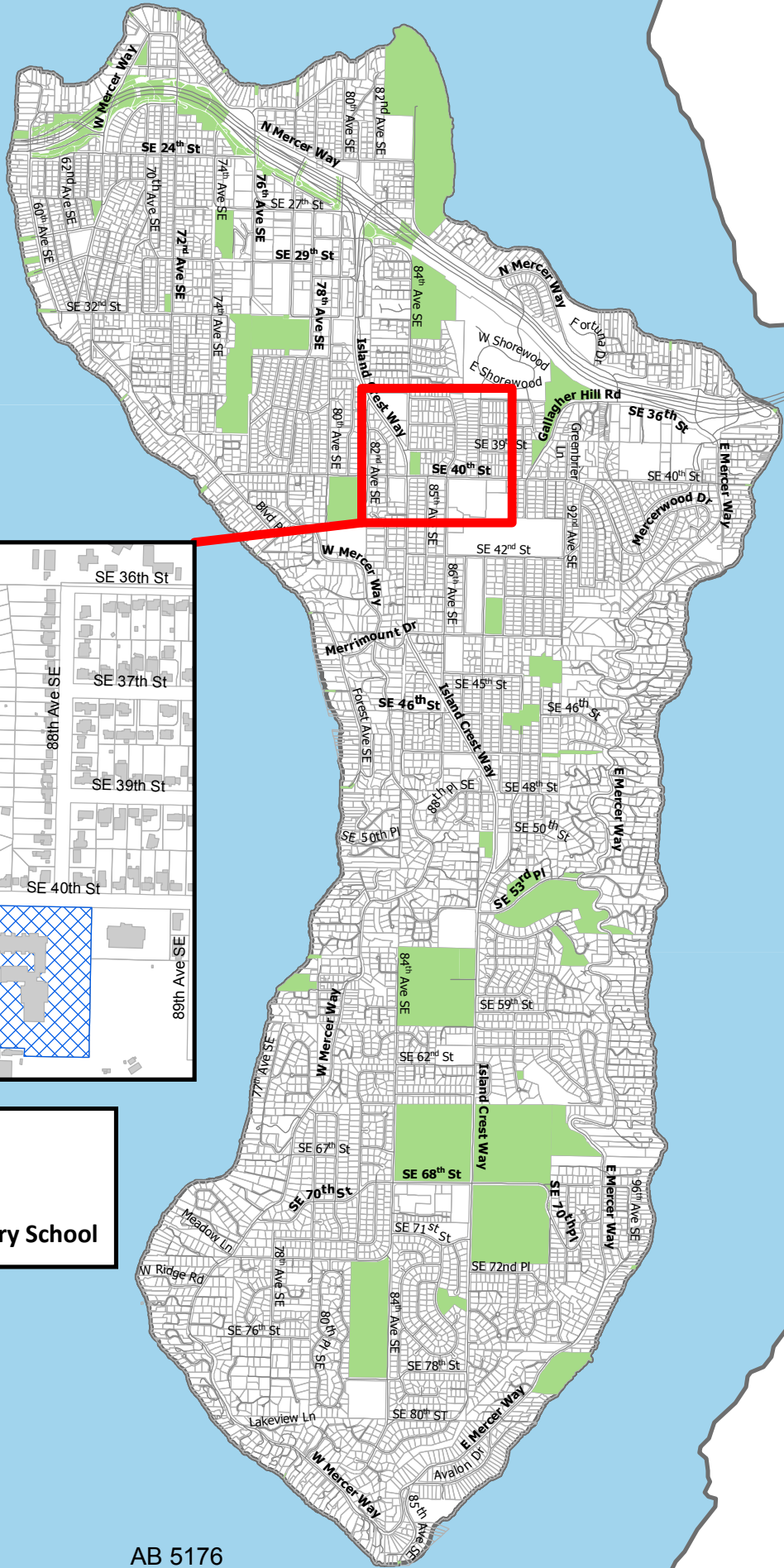
Approval of this appropriation will authorize staff to commence work and incur expenses on this project. As an administrative step, staff will return with a budget amending ordinance including this appropriation (and other approved appropriations) as part of the 1st Quarter Financial Status report to the City Council at the May 16, 2016 City Council Meeting.




RECOMMENDATION

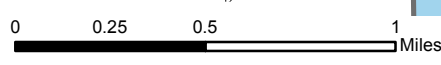
Utilities Engineer

MOVE TO: Award the Madrona Crest West project to Thomco Construction, Inc. in the amount of \$1,376,614.11. Set the project budget at \$2,009,153, with an appropriation of \$85,605 from the Street Fund and an appropriation of \$60,492 from the Storm Water Fund, and direct the City Manager to execute the construction contract.

City of Mercer Island MADRONA CREST WEST PROJECT Vicinity Map



-  Schedule A
-  Schedules B, C, & D
-  Northwood Elementary School





**BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND, WA**

**AB 5177
May 2, 2016
Consent Calendar**

**PLANTING AND LANDSCAPE EASEMENT
RELINQUISHMENT AND TERMINATION -
PAGLIACCI PIZZA PROJECT**

Proposed Council Action:

Approve relinquishment and termination of a planting and landscaping easement to meet the required minimum sidewalk width.

DEPARTMENT OF

Development Services Group (Shana Restall)

COUNCIL LIAISON

n/a

EXHIBITS

1. Project Site Plan
2. Easement for Planting Identified by King County Recording Number 7808030986
3. Excerpts from the signed Design Commission Findings of Fact and Conclusions of Law for DSR15-026 (Pagliacci Pizza)
4. Floor/Site Plan
5. Landscaping Plan
6. Relinquishment and Termination of Easement (Proposed)

APPROVED BY CITY MANAGER

AMOUNT OF EXPENDITURE	\$	n/a
AMOUNT BUDGETED	\$	n/a
APPROPRIATION REQUIRED	\$	n/a

SUMMARY

PROJECT BACKGROUND

The Design Commission approved Pagliacci Pizza’s proposal for an approximately 2,500 square feet new single-story restaurant located at 3077 78th Avenue SE. The project site is at the corner of 78th Avenue SE and SE 32nd Street in the Rite Aid parking lot. The main entrances front onto 78th Avenue SE and the design of the building orients towards the corner of 78th Avenue SE and SE 32nd Street (see Exhibit 1).

Pagliacci Pizza appeared before the Design Commission on January 13, 2016 and February 10, 2016. On January 13, 2016, the Design Commission held a public meeting for preliminary design review, which was continued to February 10, 2016. The Design Commission granted preliminary design review on February 10, 2016 and then held an open record public hearing immediately following. No public testimony was provided, and the Design Commission unanimously granted final design review on February 10, 2016. This decision is final and binding.

PROJECT SITE CHALLENGES

One challenge that Pagliacci Pizza faced during the design review process was the existence of an old public landscaping easement that effectively prevents the project from meeting the sidewalk width

requirements set forth in the Mercer Island City Code (“MICC”) at 19.11.110(B)(4)(a) and (b). Sidewalk improvements are not allowed within the landscaping easement (see Exhibit 2). This constrains the project site and does not provide adequate space between the curb and the easement for the full mandated width of the sidewalk either on public or private property (see Exhibit 1). To rectify this discrepancy, the Findings of Fact and Conclusions of Law from the Design Commission included a condition of final design approval stipulating that “the existing landscaping easement, which is identified by King County recording number 7808030986, shall be extinguished prior to issuance of any building or site development permits for the project described by project number DSR15-026.” (see Exhibit 3, page 7). Because this involves real property, City Council must authorize the extinguishment of the landscaping easement.

Sidewalk Width Requirements

Most structures abutting public rights-of-ways in the Town Center “shall” provide at least 12 feet of sidewalk [MICC 19.11.110(B)(4)(b)]. Project sites on 78th Avenue SE must provide 15 feet of sidewalk [MICC 19.11.110(B)(4)(a)]. The 15-foot requirement has been in place since 2002 and established by Ordinance No. 02C-04. The clear intent of this code section is to provide wider sidewalks along 78th Avenue SE and to encourage space for more pedestrian-oriented activities [MICC 19.11.110(B)(4)(a)(i)]. Emphasizing the needs of the pedestrian is also a stated objective of the Town Center Development and Design Standards [see MICC 19.11.110(A)]. The Design Commission has the discretion to reduce the sidewalk width from 15 feet down to 12 feet if the square footage reduction is provided elsewhere on the private property for the public benefit. During the February 10, 2016 public meeting, the Design Commission agreed to reduce the required width of the sidewalk from 15 feet to 12 feet based on the overall landscaping design of the project.

At the project site, the current sidewalk measures approximately 10.5 feet on 78th Avenue SE and 8.5 feet on SE 32nd Street. Based on the current, existing configuration of the sidewalk, it is difficult to meet the sidewalk width requirement at this location. Further constraining the project site is the 2.5-foot landscaping easement, adjacent to the sidewalk along 78th Avenue SE and SE 32nd Street, benefitting the City (see Exhibit 2). This easement was granted to the City in 1978 for the purpose of planting and landscaping a strip of property adjacent to City right-of-way. According to the easement, the City is responsible for planting and maintaining the landscaping within this easement; however, the adjacent private property owner has been maintaining the landscaping within this easement for approximately the past 15 years and perhaps even longer according to the City’s right-of-way team.

Because this easement cannot be paved over, it prevents Pagliacci Pizza, or any applicant, from meeting the minimum sidewalk width requirement set forth in MICC 19.11.110(B)(4)(a) and limits this portion of sidewalk to 10.5 feet, which is well short of the 15 feet requirement and even short of the 12 feet sidewalk the Design Commission is allowed to approve on 78th Avenue SE. Similarly, this landscaping easement constrains the south side of the project on SE 32nd Street. The actual sidewalk width at present is only 8.5 feet, again well short of the required 12 feet (see Exhibit 1). The width of the landscaping easement along SE 32nd Street and additional space from the adjacent parking lot will be used to meet the 12-foot minimum sidewalk width requirement. The Design Commission confirmed with the City Engineer that a 12-foot-wide sidewalk will be adequate.

Relinquishing and terminating the landscaping easement would allow Pagliacci Pizza to provide a 14-foot-wide sidewalk on 78th Avenue SE and help fulfill the intent of this code section, that is, providing wider sidewalks along 78th Avenue SE. It would also allow the sidewalk width to be met on SE 32nd Street.

Canopy Requirements

This project is classified as “major new construction” and must have three minor site features, including canopies or all-weather features at the sidewalk level to mitigate the effects of weather [MICC 19.11.060(B)(1)(b)]. Canopies are required to project out at least 6 feet from the building façade [MICC 19.11.060(B)(1)(b)(ii)]. Pagliacci Pizza proposed canopies extending 6 feet in three separate locations (two on 78th Avenue SE and one on SE 32nd Street) (see Exhibit 4). As proposed, these canopies will extend

over portions of the landscaping easement and could have a detrimental effect upon any plantings, or at the very least, require new plantings tailored to the new conditions.

DESIGN COMMISSION CONDITIONS OF APPROVAL

Relinquishing and Terminating the Landscaping Easement

In its review, the Design Commission discussed the challenges of the required sidewalk width and the impact of the landscaping easement on the project site. The Design Commission determined that the existing landscaping easement precluded Pagliacci Pizza from meeting the required sidewalk widths along both 78th Avenue SE and SE 32nd Street. As a result, the Design Commission required as a condition of approval that the landscaping easement in favor of the City be extinguished (see Exhibit 3, p. 23).

Project Landscaping

Pagliacci Pizza will meet the code requirements for landscaping. As shown on Exhibit 5, Pagliacci Pizza will be providing landscaping within the portion of the parking lot used for its project. Additionally, the MICC sets forth a guideline for the amount and location of landscaping as one square foot for every 100 square feet of gross building floor area [MICC 19.11.100(B)(7)]. For this project with a gross floor area of approximately 2,500 square feet, Pagliacci Pizza will be providing approximately 350 square feet of new landscaping. (see Exhibit 3, page 6). A condition of approval requires that the landscaping be maintained in good condition and installed prior to the issuance of the Certificate of Occupancy. A landscaping bond is also required (see Exhibit 3, page 7).

STAFF RECOMMENDATION

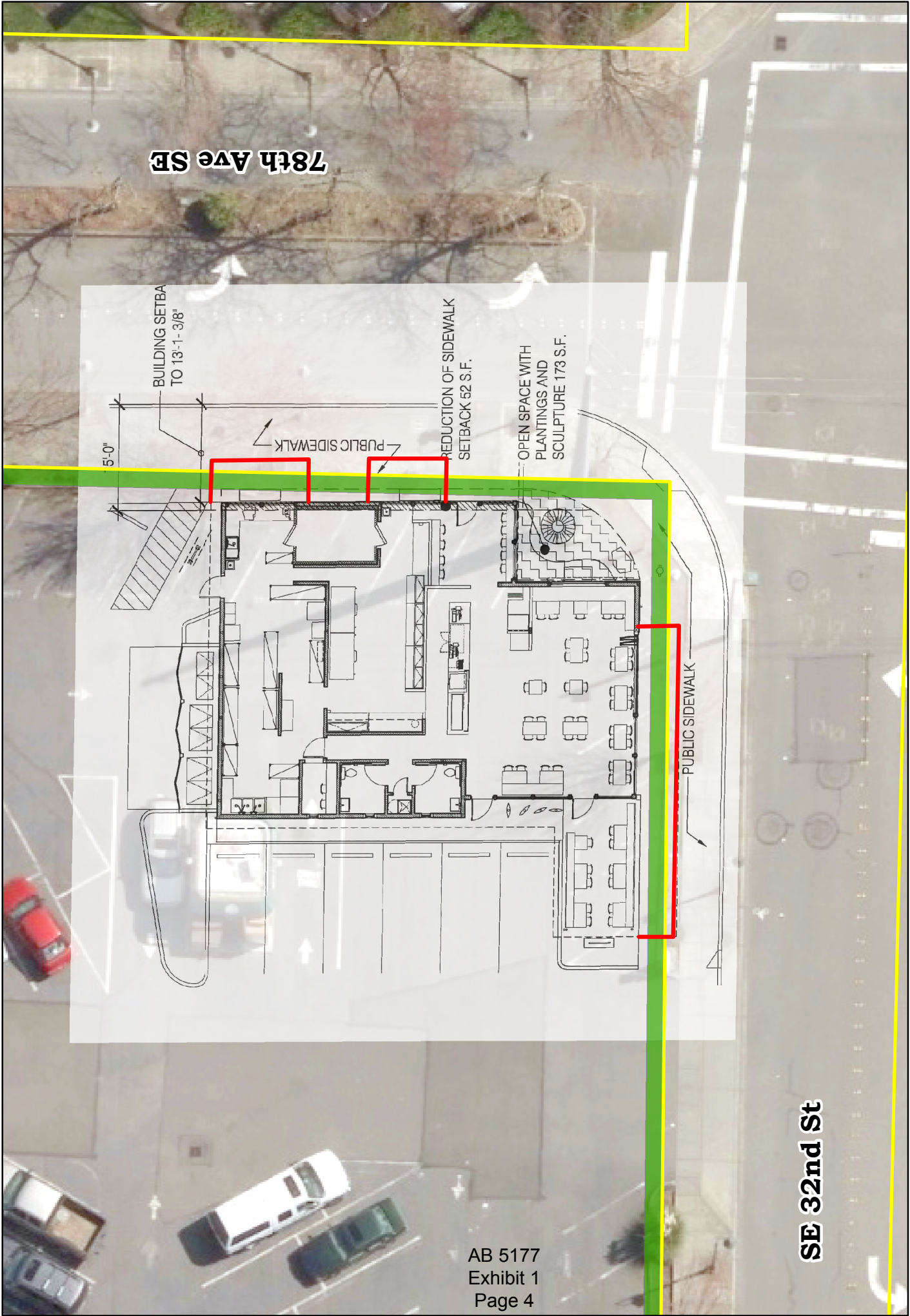
Staff recommends that the City Council authorize the relinquishment and termination of the landscaping easement. The landscaping easement has been privately maintained and it constrains the project site and prevents any project from meeting the minimum sidewalk width requirements. The landscaping easement cannot be paved over to meet sidewalk width requirements, which is inconsistent with its clearly stated purpose to plant and landscape a strip of property. Additionally, the landscaping easement conflicts with the City's codified desire to meet the needs of pedestrians [see MICC 19.11.110(A)]. 78th Ave SE is specifically identified as a location to provide space for more pedestrian-oriented activities [MICC 19.11.110(B)(4)(a)]. Retaining the landscaping easement in its current location and configuration conflicts with this stated objective. The canopies proposed to meet the requirements of the code also conflict with the landscaping easement and could add challenges to the City's maintenance of the landscaping on this easement. Pagliacci Pizza's approved design includes sufficient landscaping to off-set the loss of landscaping within the landscaping easement. The loss of the landscaping easement will result in a reduction of landscaping by approximately 347 square feet. The applicant is proposing 350 square feet of new landscaping outside of the easement within planting bulbs and beds.

Accordingly, staff recommends relinquishing and terminating this easement. A proposed relinquishment and termination of easement is attached as Exhibit 6.

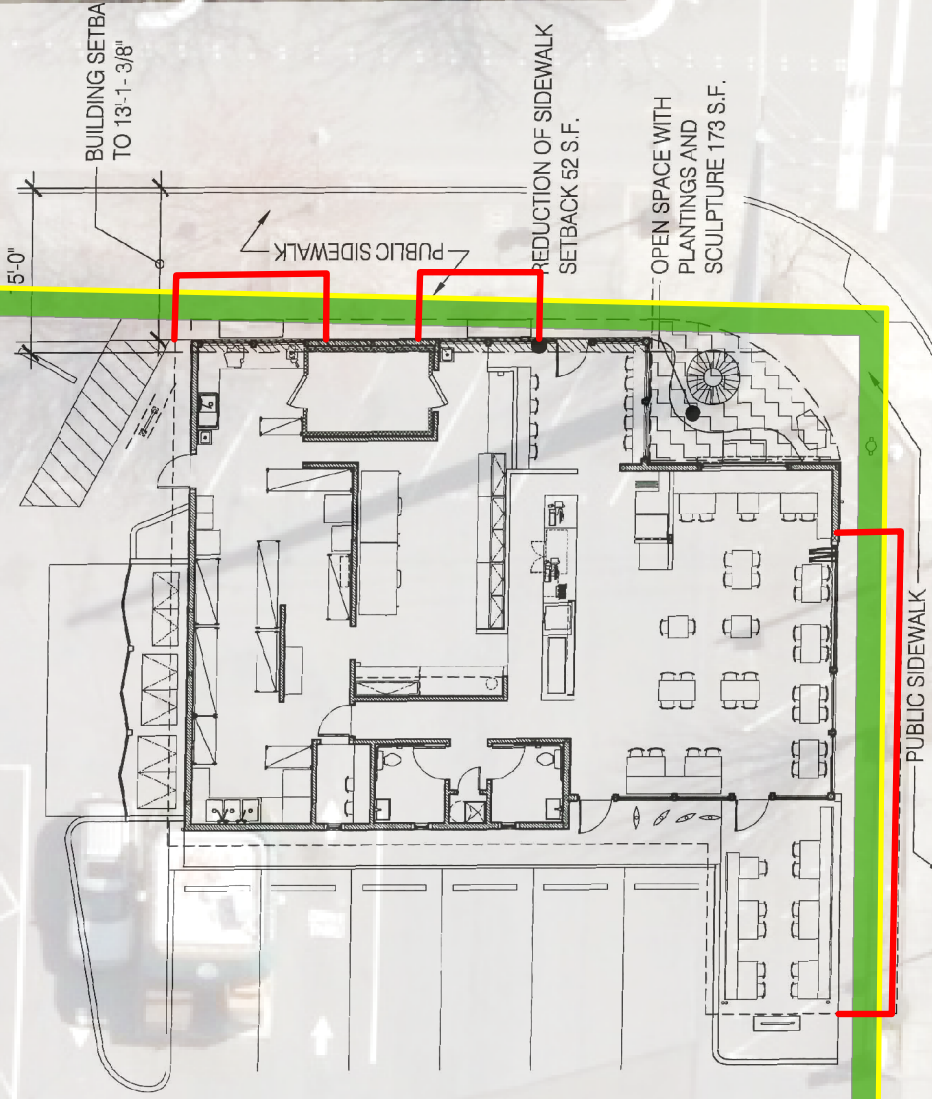
RECOMMENDATION

Principal Planner

MOVE TO: Approve the relinquishment and termination of the Easement for Planting, King County recording number 7808030986 to meet the minimum sidewalk width of 12 feet consistent with MICC 19.11.110(B)(4)(a)(i).



78th Ave SE



SE 32nd St

AB 5177
Exhibit 1
Page 4

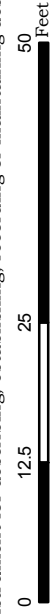
Canopy

Property Line

Landscape Easement

Pagliacci Pizza Landscape Easement & Sidewalks

This map was developed for internal use by the City of Mercer Island and are intended to be a general purpose digital reference tool. This map is not an accepted legal instrument for describing, establishing, recording or maintaining descriptions for property concerns or boundaries.



EASEMENT FOR PLANTING

The undersigned, Grantors, for and in consideration of \$1.00 and other valuable consideration, the receipt of which is hereby acknowledged, by these presents, bargain, sell, transfer and convey unto the City of Mercer Island, a municipal corporation of the State of Washington, Grantee, an easement for planting, over, across, along and under the following described property situated in King County, State of Washington, to-wit:

the easterly 2.5' of Lots 4, 5, 6, Block 12, McGilvras Island Addition, and the southerly 2.5' of Lot 6, Block 12, McGilvras Island Addition, from the S.E. corner westerly approximately 180' to the existing southerly access/ egress point as recorded in Vol. 16 of Plats, Page 58, records of King Co., Washington

7808030786

Said easement being for the purpose of planting and landscaping a strip of property, two and one half feet in width, adjacent to City ROW excluding existing points of access and egress and existing planter areas. The planting materials will be identified on the construction documents for the project. The City agrees to purchase, plant and maintain planting materials within the easement. The Grantors may perform routine maintenance in conjunction with the easement, however, the Grantors agree not to prune or remove plantings without written approval of the City of Mercer Island. The Grantors agree to allow city crews to perform such tasks as are necessary from time to time pertaining to removal of asphalt, relocation of curbing, planting and maintenance of the easement area from the Grantors' property adjacent to the easement.

DATED at Mercer Island, Washington, this 8th day of May, 1978.

[Handwritten signature]

STATE OF WASHINGTON)
COUNTY OF KING) ss

[Handwritten signature]

On this 8th day of May, 1978, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared R. G. Keaver

to me known to be the individual described in and who executed the foregoing instrument, and acknowledged to me that he signed and sealed the said instrument as a free and voluntary act and deed for the uses and purposes therein mentioned.

WITNESS my hand and official seal hereon affixed on the day and year in this certificate first above written.



[Handwritten signature]
Notary Public in and for the State of Washington, residing at: Kirkland

1% EXCISE TAX NOT REQUIRED
King Co. Revenue Division
by *[Handwritten signature]*, Deputy

combination with lighting.

Design Commission Findings: The main building entries are emphasized with specialty paving and lighting (Page 26, Exhibit 1).

6. Building Facades. Building facade modulation and setbacks should include features such as courtyards, fountains or landscaping.

Design Commission Findings: Landscaping and special paving will be integrated into building façade modulation (Page 12, Exhibit 1).

7. Amount and Location. The amount and location of landscaping should complement the design of the development. As a guideline, approximately one square foot of landscape space should be provided for every 100 square feet of gross building floor area. Landscaping should be selected, placed and of a scale that relates to adjacent structures and be of appropriate size at maturity to accomplish its intended purpose.

Design Commission Findings: According to page 2 of Exhibit 1, the proposed building will have a gross floor area of approximately 2,465 square feet, thus necessitating 247 square feet of landscaping. Page 12 of Exhibit 1 indicates that approximately 350 square feet of new landscaping is being proposed, which would meet the above requirement.

8. Continuity. Landscaping should provide design continuity between the neighboring properties.

Design Commission Findings: The subject site is bordered on two sides by public right-of-way and two sides by existing parking lot. Landscaping is proposed throughout the site (Page 12, Exhibit 1).

9. Irrigation. All landscaped areas shall be provided with an approved automatic irrigation system consisting of waterlines, sprinklers designed to provide head to head coverage and to minimize overspray onto structures, walks and windows. Water conserving types of irrigation systems should be used.

Design Commission Findings: Page 12 of Exhibit 1 is the proposed landscaping plan. The landscaping plan states “an automatic irrigation system will be provided to all new planting areas. This requirement is met.

10. Maintenance. All landscaping shall be maintained in good condition. Maintenance shall include regular watering, mowing, pruning, clearance of debris and weeds, removal and replacement of dead plants and the repair and replacement of irrigation systems.

Design Commission Findings: Landscaping shall be required to be maintained in good condition. A condition of design approval that the applicant provide to the City a landscaping bond prior to the issuance of the Certificate of Occupancy has been included.

MICC 19.11.110(B) Development and Design Standards.

1. Parking.

a. Number of Parking Stalls Required. All new development and remodels greater than 10 percent of the existing gross floor area shall provide the number of parking stalls set forth in this table:

RETAIL (Stalls per gross square foot)			OFFICE (Stalls per gross square foot)			RESIDENTIAL (Stalls per unit)				
General Retail	Restaurant/ Deli/Bakery/ Food	Hotel	Financial Services	Health/ Barber/ Beauty	Other Professional Services	Studio	One Bed- room	Two Bed- room	Three Plus Bedroom	Senior

IV. DECISION

The City of Mercer Island Design Commission hereby grants Pagliacci Pizza final design approval for a proposed restaurant and associated appurtenances to be located at 3077 78th Avenue SE, Mercer Island WA 98040, as shown in Exhibit 1, and to authorize the Chair to sign the Findings of Fact and Conclusions of Law on behalf of the Commission.

1. All landscaping depicted in pages 12 and 13 of Exhibit 1 shall be maintained in good condition. Maintenance shall include regular watering, mowing, pruning, clearance of debris and weeds, removal and replacement of dead plants and the repair and replacement of irrigation systems. All required landscaping must be installed prior to issuance of the Certificate of Occupancy. A performance bond for the landscaping installation may be obtained instead of plant installation at the approval of the Code Official. A landscaping maintenance bond is required prior to any Certificate of Occupancy for the proposed building to ensure that the approved landscape plan will achieve total coverage within three years after installation. The bond amount shall be set by City staff based on the approved landscape plan, and cost for labor and materials.
2. The existing landscaping easement, which is identified by King County recording number 7808030986, shall be extinguished prior to issuance of any building or site development permits for the project described by project number DSR15-026.
3. Aboveground utility and equipment cabinets must be screened and may not be placed within the public right-of-way.
4. Do not include the proposed sculpture in the design of the corner and extend landscaping accordingly.

The Design Commission's decision is based on the finding that all the following criteria under 19.15.040(F)(4) have been met:

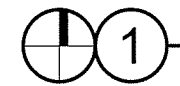
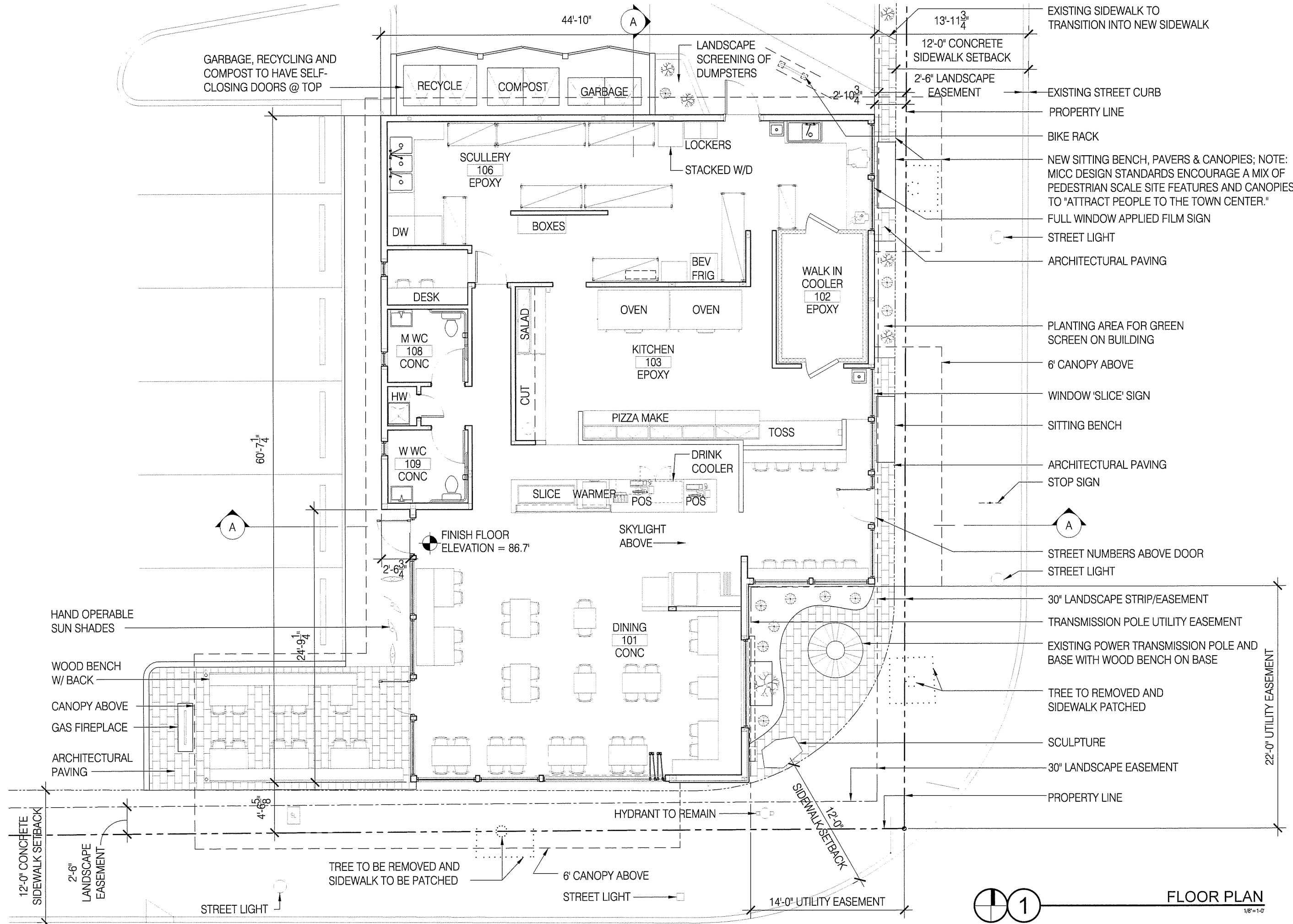
- a. The proposal conforms with the applicable design objectives and standards of the design requirements for the zone in which the improvement is located, as set forth in subsection G of this section:
 - i. In the Town Center, particular attention shall be given to whether:
 - (A) The proposal meets the requirements for additional building height, if the proposal is for a building greater than two stories; and
 - (B) The proposal adheres to the required parking standards and a parking plan has been provided that demonstrates that the proposal meets the objectives of MICC 19.11.110.
- b. The proposal is consistent with the comprehensive plan.
- c. The proposal does not increase the project's degree of nonconformity.

Entered this 16th day of February, 2016.

**Richard Erwin
Design Commission Chair
City of Mercer Island**

Under the Mercer Island Zoning Code, any party of record on this decision has a right to appeal this decision to the Hearing Examiner or Decision Authority specified in MICC Title 19. If you desire to file an appeal, you must submit the appropriate form, available from the Development Services Group, and file it with the City Clerk within fourteen days from the date this decision is signed. Upon receipt of a complete appeal application and appeal fee, an appeal hearing will be scheduled. If you have any questions, please call the Development Services Group at (206) 275-7605.

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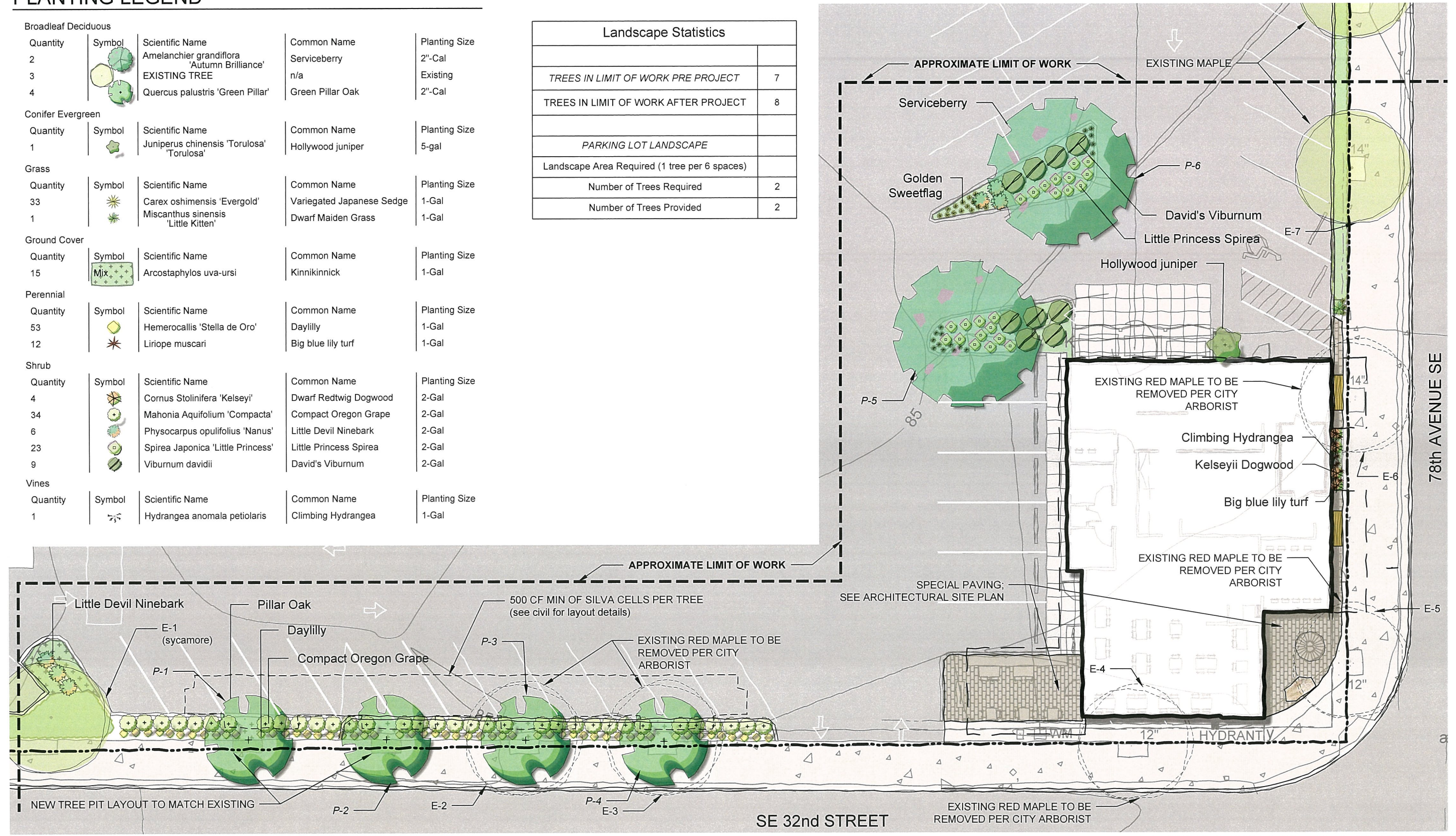


FLOOR PLAN
1/8"=1'-0"

PLANTING LEGEND

Broadleaf Deciduous				
Quantity	Symbol	Scientific Name	Common Name	Planting Size
2		Amelanchier grandiflora 'Autumn Brilliance'	Serviceberry	2"-Cal
3		EXISTING TREE	n/a	Existing
4		Quercus palustris 'Green Pillar'	Green Pillar Oak	2"-Cal
Conifer Evergreen				
Quantity	Symbol	Scientific Name	Common Name	Planting Size
1		Juniperus chinensis 'Torulosa'	Hollywood juniper	5-gal
Grass				
Quantity	Symbol	Scientific Name	Common Name	Planting Size
33		Carex oshimensis 'Evergold'	Variegated Japanese Sedge	1-Gal
1		Miscanthus sinensis 'Little Kitten'	Dwarf Maiden Grass	1-Gal
Ground Cover				
Quantity	Symbol	Scientific Name	Common Name	Planting Size
15		Arcostaphylos uva-ursi	Kinnikinnick	1-Gal
Perennial				
Quantity	Symbol	Scientific Name	Common Name	Planting Size
53		Hemerocallis 'Stella de Oro'	Daylily	1-Gal
12		Liriope muscari	Big blue lily turf	1-Gal
Shrub				
Quantity	Symbol	Scientific Name	Common Name	Planting Size
4		Cornus Stolonifera 'Kelsey'	Dwarf Redtwig Dogwood	2-Gal
34		Mahonia Aquifolium 'Compacta'	Compact Oregon Grape	2-Gal
6		Physocarpus opulifolius 'Nanus'	Little Devil Ninebark	2-Gal
23		Spirea Japonica 'Little Princess'	Little Princess Spirea	2-Gal
9		Viburnum davidii	David's Viburnum	2-Gal
Vines				
Quantity	Symbol	Scientific Name	Common Name	Planting Size
1		Hydrangea anomala petiolaris	Climbing Hydrangea	1-Gal

Landscape Statistics	
TREES IN LIMIT OF WORK PRE PROJECT	7
TREES IN LIMIT OF WORK AFTER PROJECT	8
PARKING LOT LANDSCAPE	
Landscape Area Required (1 tree per 6 spaces)	
Number of Trees Required	2
Number of Trees Provided	2



LANDSCAPE PLAN

AFTER RECORDNG RETURN TO:

Stoel Rives LLP
600 University Street, Suite 3600
Seattle, WA 98101
Attention: SERENA CARLSEN

(space above reserved for recorder's use)

RELINQUISHMENT AND TERMINATION OF EASEMENT

GRANTOR: CITY OF MERCER ISLAND

GRANTEE: 78TH AVE - MERCER ISLAND LLC

ABBREVIATED LEGAL DESCRIPTIONS: L 4, 5 & 6 B 12 McGilvra's Island Add.
Complete legal description is on Exhibit A
of document.

ASSESSOR'S TAX PARCEL NUMBER: 531510-1105

RELEASED DOCUMENT
RECORDING NUMBER: 197808030986

RELINQUISHMENT AND TERMINATION OF EASEMENT

THE CITY OF MERCER ISLAND, a Washington municipal corporation, as Grantor, does hereby surrender, release, relinquish and terminate all the easements, rights, claims and interests created by that certain Easement For Planting recorded with the Department of Records for King County, Washington on July 3, 1978 under Document No. 197808030986 (the "Easement"), and 78TH AVE - MERCER ISLAND LLC, a Washington limited liability company, as Grantee, as the sole, current owner of the real property burdened by said Easement and described on Exhibit A attached hereto, hereby agrees to and does accept the same, the parties hereto confirming by their execution that said Easement shall be of no further force or effect.

IN WITNESS WHEREOF, Grantor and Grantee have executed this Termination of Easement this ____ day of April, 2016.

CITY OF MERCER ISLAND, a
Washington municipal corporation

By: _____
Name: _____
Its: _____

78TH AVE - MERCER ISLAND LLC, a
Washington limited liability company

By: William Low
Name: _____
Its: _____

William Low
Sr. V.P. – Real Estate
Gull Industries, Inc.
Managing Member of

78th AVE - MERCER ISLAND LLC

ACKNOWLEDGEMENTS

STATE OF WASHINGTON)
)ss.
COUNTY OF KING)

I certify that I know or have satisfactory evidence that _____ is the person who appeared before me, and said person acknowledged that he/she signed this instrument, on oath stated that he/she was authorized to execute the instrument, and acknowledged it as the _____ of the City of Mercer Island, to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

Signature: _____

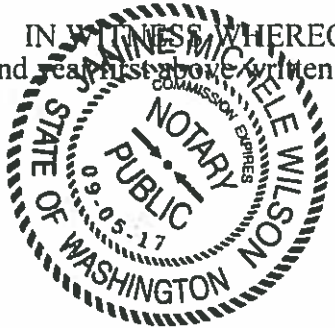
Name (Print): _____

NOTARY PUBLIC in and for the State
of Washington, residing at _____
My appointment expires: _____

STATE OF WASHINGTON)
)ss.
COUNTY OF King)

On April 4, 2016, before me personally appeared William Low, to me known to be the SRLV-Real Estate of 78TH AVE - MERCER ISLAND LLC, the limited liability company that executed the within and foregoing instrument, and acknowledged said instrument to be the free and voluntary act and deed of said company, for the uses and purposes therein mentioned, and on oath stated that Person(s) Appearing was authorized to execute said instrument on behalf of said company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.



Signature: Janine Michele Wilson

Name (Print): Janine Michele Wilson

NOTARY PUBLIC in and for the State
of Washington, residing at Kent WA
My appointment expires: 9/5/17

Exhibit A
Legal Description

Lots 4, 5 and 6, Block 12, McGilvra's Island Addition, according to the plat thereof recorded in Volume 16 of Plats, page 58, records of King County, Washington;

EXCEPT the West 10 feet thereof conveyed to King County for 77th Avenue S.E.;

SITUATE IN the City of Mercer Island, County of King, State of Washington.

Tax Parcel No. 531510-1105



**BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND, WA**

**AB 5174
May 2, 2016
Regular Business**

**TOWN CENTER VISION AND DEVELOPMENT
CODE UPDATE**

Proposed Council Action:

No action necessary. Provide input regarding additional information needs and issues to address in future meetings on the Town Center Visioning and Development Code Update.

DEPARTMENT OF

Development Services Group (Scott Greenberg & Alison Van Gorp)

COUNCIL LIAISON

n/a

EXHIBITS

1. Town Center Visioning Process Summary
2. Planning Commission Recommendations
3. Parking Analysis (BERK)
4. Traffic Analysis (KPG)

APPROVED BY CITY MANAGER

AMOUNT OF EXPENDITURE	\$	n/a
AMOUNT BUDGETED	\$	n/a
APPROPRIATION REQUIRED	\$	n/a

SUMMARY

During the Study Session on May 2, members of the Town Center Joint Commission will provide a briefing on their recommendations to the City Council for the Town Center Visioning and Development Code Update. Following that briefing, the Town Center consultants will provide additional context on the findings of the consultants' analyses. During the Regular Business portion of the meeting, DSG staff will describe the Joint Commission's decision-making process and key considerations in the drafting of the development code update, Town Center vision and Town Center Comprehensive Plan policies.

No City Council action is required on May 2. The Joint Commission, consultants and staff will be prepared to answer Council questions and receive any requests for additional information from Councilmembers, which will be provided at future meetings.

HISTORY

Current work on updating the Town Center vision and development code began in early 2014. The most recent work was created by the City's Planning and Design Commissions, meeting together as the "Joint Commission." The Joint Commission met a total of 18 times, including 3 public hearings and 15 study sessions, between October 2015 and April 2016. Exhibit 1 includes a summary of the 2-year Town Center visioning and development code update process preceding and including the Joint Commission process. A summary of the Joint Commission's meeting schedule and topics covered at each meeting, as well as summaries of the public outreach process and the comments received by the Joint Commission, are also included in Exhibit 1.

TOWN CENTER JOINT COMMISSION RECOMMENDATIONS

Technically, the Joint Commission does not make recommendations to the City Council. The formal recommendations are from the Planning Commission, which received recommendations from the Design Commission. For the purposes of this agenda bill, however, the Planning Commission's recommendations will be referred to as the Joint Commission recommendations.

The Design and Planning Commissions differed in their recommendations on building height. Both groups supported the same graduated height limit map (known as Alternative D), with 5 stories in the north part of the Town Center, 4 stories in the central portion and 3 stories to the south. The Design Commission, however, supported allowing an additional story in the 3 and 4 story areas in exchange for additional open space equal to at least 10% of the gross floor area of that bonus story. The Planning Commission did not support the additional story.

Members of the Joint Commission will attend the Study Session to present their recommendations and answer questions from Councilmembers.

Exhibit 2 includes a summary of the Planning Commission's recommended amendments to the Development and Design Guidelines, as well as the recommended draft Comprehensive Plan policies that relate to Town Center and the Draft Town Center Development and Design Guidelines. A letter from the Joint Commission conveying these recommendations and additional recommendations for future work plan items will be provided to the Council at or prior to your May 2 meeting.

CONSULTANT ANALYSIS

The Joint Commission directed staff to commission consultant studies of parking, traffic, and economic analyses of the retail provisions and the bonus height requirements. The final reports from the parking and traffic consultants are included as Exhibits 3 and 4, respectively. The final report from our economic consultant will be provided to the Council prior to your May 2 meeting. The consultants that prepared these reports will make brief presentations in the second half of the Study Session to provide additional background and context for their findings.

NEXT STEPS

After the May 2 meeting, staff will respond to Council questions and requests for information that could not be answered at the meeting. It should be noted that the current Town Center development moratorium ends on June 15, 2016. The following is a tentative schedule for City Council deliberation and action on the Planning Commission-recommended Comprehensive Plan, as well as Town Center development and design guidelines that would allow action prior to the moratorium expiration:

- May 9 (6:00 pm): City Council public hearing on Town Center-related Comprehensive Plan policies (and development code)
- May 16: City Council discussion and 1st reading of ordinances
- June 6: City Council discussion and 2nd reading and adoption of ordinances

At the May 2 meeting, staff will describe how the updated Comprehensive Plan can be adopted and effective prior to expiration of the moratorium.

RECOMMENDATION

Development Services Director and Administrative Services Manager

No action necessary. Provide input regarding additional information needs and issues to address in future meetings.



TOWN CENTER

Visioning & Development Code Update

The Town Center Visioning Process

1. Process Summary

Over the past 2 years, City staff and consultants have been working on revisions to the Town Center development and design guidelines. In spring 2014, the City Council authorized hiring Tovar Planning to facilitate a “vision conversation”. The purpose of the vision conversation was to review the 1995 Town Center vision and identify actions needed to change and/or to implement the vision.

This initial effort included a conversation with 29 Island residents and business owners led by Councilmembers on May 21, 2014. The group concluded that the vision was still valid. They recommended 8 action priorities related to economic development, land use, wayfinding, streetscapes, connections, form and character of development, and parking. Their findings and recommendations were presented at the City Council’s mini-Planning Session on June 26, 2014.

Phase 1

Based on that work, in fall 2014, the City Council began Phase 1 of the Town Center development and design guidelines update by authorizing the hiring of Seth Harry and Associates, and 3MW (now 3 Square Blocks) to provide the City with recommendations for elements to include in a code amendment. Mr. Harry’s team worked with a City Council Subcommittee to identify shortcomings of the current development and design guidelines and opportunities to further the Town Center Vision. This work concluded with presentation of a final report to City Council at the January 23, 2015 Planning Session. The report included a series of recommendations for changes to the City’s Town Center development and design guidelines.

At the January 23, 2015 Planning Session, the City Council began discussion of a possible moratorium on Town Center development while new regulations were being considered. The moratorium was passed on February 2, 2015 and has been renewed several times. The current moratorium ends June 15, 2016.

Phase 2

Phase 2 of the code revision project was scheduled for February through June 2015. Phase 2 was originally scoped to incorporate the Phase 1 recommendations into a set of draft revised design guidelines. At the January 23, 2015 Planning Session, the City Council directed staff to return with a plan to more fully engage the public in all of the Council’s current major topics of discussion. The Council expressed a desire for the City to increase public engagement by providing information in a consistent location and format on the City website, creating information to answer the community’s questions on

current topics, informing the public of all public input opportunities, and actively reaching out to the public to participate in community conversations.

The City Council approved a Community Engagement Plan for Phase 2 Town Center Code work on February 23, 2015. The plan covered the time period between March and June, 2015 and included 20 formal meetings. The plan created several formal groups to lead the effort.

A major element of the Community Engagement Plan was the formation of a 42-member Stakeholder Group. In addition to the general public, members were drawn from various community groups and included residents and non-residents who are directly involved in Town Center businesses and Island development. The group held 5 meetings including a weekend workshop.

Since the City Council and the City's Planning and Design Commissions would be involved in more formal roles later in the process, the Community Engagement Plan included a Town Center Liaison Group (TCLG). The TCLG included three members each from the City Council, Planning Commission and Design Commission. The TCLG's role was to serve as a liaison between the public and the City Council, City staff and outside consultants to ensure that the public received sufficient information and ample opportunity to provide public input and that the input received was properly considered and addressed in the development of changes to the Development Code.

On June 1, 2015, the City Council approved an extended community engagement schedule adding additional meetings between June and September, 2015 (this schedule was later modified to reflect Council funding priorities). The City Council also delayed adoption of the State-mandated Comprehensive Plan update past the June 30, 2015 deadline to allow the Comprehensive Plan to include changes necessary as an outcome of the current work on the Town Center Code. The Comprehensive Plan update is now back on the Council's agenda--see Agenda Bill 5175.

The Stakeholder Group updated the Town Center vision and discussed topics such as retail frontage requirements, street frontage use and development standards, public open space, height limits, through-block pedestrian connections and trade-offs for increased building height above 2 stories.

The result of the often passionate Stakeholder Group discussions was the issuance of the "Town Center Visioning and Development Code Update Interim Report to the Community" on August 31, 2015. This report summarized the process to update the vision for Mercer Island Town Center and the related Town Center Development Code ("Development Code"). The report did not include final recommendations, rather, it was a comprehensive summary of completed work and was intended to help set the stage for future action. In fact, many of the Stakeholder Group's ideas were the foundation for the Joint Commission's later recommendations. The report was presented to City Council on September 8, 2015. This ended Phase 2 of the Town Center work.

During the end of the Stakeholder Group process, the City hired Karen Reed, a local communications and public engagement consultant, to assist the City with a review of the Town Center process and

advise the City Council on next steps toward completing the process. Karen interviewed all City Councilmembers and all Town Center Liaison Group members regarding what went well with the process, and what improvements could be made. In addition, at Karen's request, the City posted an online survey to gather input and ideas from all Stakeholder Group members on the process and next steps.

Karen Reed presented her final report and recommendations for a path forward to City Council on September 21, 2015. City Council supported her recommendations for next steps and directed the Planning and Design Commissions, meeting jointly, to continue the Town Center Visioning work by providing direction to staff in developing recommended development code and comprehensive plan amendments. This began Phase 3 of the Town Center work.

Phase 3

The Planning and Design Commissions (known as the "Joint Commission") were convened on October 20, 2015. The Joint Commission met a total of 15 times, in addition to holding 3 public hearings, between October, 2015 and April, 2016. A summary of the meeting schedule and topics covered at each meeting is provided in Section 2. The Joint Commission also directed staff to commission consultant studies of parking (BERK), traffic (KPG), and economic analyses of the retail provisions and the bonus height requirements (ECONorthwest). City Council later approved a consultant budget to support this work. In addition, Karen Reed's contract was extended to continue providing strategic communications support throughout the Joint Commission process.

The City employed multiple means to inform and engage the public throughout the process. More details are provided in Section 3. The Joint Commission received hundreds of public comments, both in oral and written forms. These comments are summarized in Section 4.

The Joint Commission's recommendations will be provided to City Council on May 2, 2016.

2. Joint Commission Meeting Topics

The following is a list of all of the Town Center Joint Commission meetings and hearings, including summaries of the major agenda items at each meeting.

Meeting 1 (October 7) REGULAR MEETING

- Joint Commission scope of work and how the Commissions will work together
- Public Comment
- Briefing on Interim Report

Meeting 2 (October 21) REGULAR MEETING

- Public Comment
- Proposed Ground Rules and Operating Rules
- Draft Work plan

- Communicating the Vision to the Community

Meeting 3 (November 21) STUDY SESSION

- Work plan as approved by Council
- Draft Updated Vision Statement
- Communicating the Vision to the Community
- Sub-areas and Building Heights
- Setbacks and other architectural building design standards

Meeting 4 (December 2) STUDY SESSION

- Incentives program
- Open space
- Sub-areas and building height

Meeting 5 (December 16) STUDY SESSION

- Transportation Analysis
- Street standards
- Bonus height requirements
- Land uses and retail frontage requirements

Meeting 6 (January 6) STUDY SESSION

- Planning for the Public Hearing and City Council Briefing

PUBLIC HEARING (January 20)

- Vision
- Building Heights
- Affordable Housing
- Building setbacks and massing

Meeting 7 (January 27) STUDY SESSION

- Summary and Discussion of Input Received to Date
- Summary of City Council Planning Session Discussion
- Draft Comprehensive Plan Policies

Meeting 8 (February 3) STUDY SESSION

- Draft Comprehensive Plan Policies

Meeting 9 (February 24) STUDY SESSION

- ECONorthwest presentation on framework for retail and bonus height provisions
- Tovar/MAKERS presentation on building heights and setbacks, architectural standards, landscaping standards, retail standards and streetscapes

- Discussion of concepts for March 9 Public Hearing

Meeting 10 (March 2) STUDY SESSION

- ECONorthwest presentation on preliminary assessment of retail and bonus height provisions
- Developer Panel

PUBLIC HEARING (March 9)

- Building Heights
- Architectural Standards
- Upper Floor Stepbacks
- Through Block Connections
- Open Space
- Sustainability/Landscape Elements
- Retail Frontages

Meeting 11 (March 16) STUDY SESSION

- Bonus Height Provision – Supplemental Analysis (ECONorthwest—Morgan Shook)
- Parking Study Presentation (BERK—Jeff Arango)
- Traffic Impact Analysis (KPG—Michael Lapham)

Meeting 12 (March 23) STUDY SESSION

- Town Center Property Owner Panel
- Draft Development Code Presentation and Discussion
- Preparation for March 30th Public Hearing

PUBLIC HEARING (March 30)

- Comprehensive Plan policies
- Code Text Amendment

Meeting 13 (April 6) STUDY SESSION

- Discussion of public comments
- Draft Development Code Discussion and Decision Making

Meeting 14 (April 20) STUDY SESSION

- Draft Development Code Discussion and Decision Making

Meeting 15 (April 27) STUDY SESSION

- Comprehensive Plan policies-recommendation to City Council
- Code Text Amendment-recommendation to City Council

3. Joint Commission Public Outreach

The City used multiple means to notify and inform the public about the Joint Commission process and opportunities to get involved and give public comment. The following is a summary of the major outreach activities

All-Address Mailings

A series of two postcards was mailed to all Mercer Island households and businesses in early- and mid-December, 2015 to promote the initial Joint Commission meetings/hearings and to solicit written comments.

Signs

A-frame signs promoting the March Public Hearings were placed at major intersections around the Island beginning in early March and remained through the final Public Hearing.

Print Media

Notices and event listings were printed in the Mercer Island Reporter throughout the process. The City also ran a full page advertisement promoting the final public hearing and the presentation of the Joint Commission's recommendations to City Council (this ran in the March 20th print edition and was also on the Reporter's website that week).

Social Media

NextDoor and Facebook were regularly updated with meeting notices and reminders throughout the process.

Website

The Town Center webpage was regularly updated with new information, including meeting agendas, minutes, consultant reports, and other meeting materials. The City calendar was also kept up-to-date with Joint Commission meetings and hearings.

Email

Interested parties were regularly notified of upcoming meetings and provided with agendas and other meeting materials via email. Email notices were also sent to a large list of over 300 Mercer Island residents and businesses a couple of times during the process to notify these individuals about key opportunities for public involvement.

4. Summary of Public Comments Received by the Joint Commission

This section prepared by Karen Reed, April 28, 2016

The following is a high level summary of the major themes of the public comment received by the Joint Commission from October 6, 2015 through noon on April 27, 2016, including comments submitted by email as well as written and oral comments submitted at Joint Commission meetings and three Joint Commission public hearings.

In all, several hundred pages of comments were received. Many were quite detailed and passionate in their views about the future of Town Center. No summary can do justice to all the input received.

Overview

- Comments were received from 221 individuals.
- The vast majority of comments received were from residents expressing opposition to greater height and density in Town Center.
- The vast majority of comments also included ideas for how Town Center can be improved, including but not limited to: more and better retail—primarily restaurants and services for Islanders; a public plaza; more parking; more public amenities (dozens of ideas were offered, including play areas, street benches, a farmers market mall space, more public transportation, etc.); more landscaping; more affordable housing; more environmentally-friendly construction practices; wider sidewalks; and more attractive construction.
- There was a consistent stream of comments from Town Center property owners and their representatives offering a range of concerns and suggestions regarding proposed code provisions, and ways to promote redevelopment of Town Center.
- Most individuals offered input in multiple areas; many also commented multiple times.
- This summary of public comment is subjective and qualitative.

Process to Develop This Summary

All comments were reviewed and the various ideas within each comment were initially tabulated into seventeen (17) different categories generally correlating with the substantive areas that the Joint Commission was working through. For ease of understanding, in this summary, several of these 17 categories (e.g., *landscaping and streetscapes*, and *stepbacks, massing and facades*) are combined: these areas are closely related in terms of code elements and the commonality of the underlying concerns/issues expressed.

The goal in developing this summary was to **identify and track the major points offered** by each person. Most, but not all, distinct ideas submitted were tabulated: many comments included dozens of ideas, often quite detailed. The vast majority of those commenting offered comments about multiple issues. All comments were reviewed and tabulated, even if they were duplicates. Thus, if a person submitted written and oral comments at the same hearing--or very similar comments several times-- all those comments were tabulated.

Postings on Nextdoor and online survey platforms that were forwarded to the City but not directly submitted to the City by those individual commenters were not included in the tabulation.

Despite two separate mailings to all households on the Island and a variety of other actions to encourage public comment, the number of individuals submitting comments was relatively small – 221 people --, equivalent to less than 1% of the City population.¹ Public comments are a valuable and important part of a public process such as this, and the Joint Commission members frequently referred to these comments in their deliberations.

- Total number of individuals submitting comments (unduplicated count): 221
- Total number of comments submitted: 351
- Number of individuals submitting more than one comment: 60, with a handful commenting more than 5 times each.

In sum, summarizing public comments is a subjective task. The public comment process is not the same as a process to conduct a statistically valid poll in which respondents are randomly selected². This document is a *high level qualitative* overview of the tenor of the public comment received during the Joint Commission process. It is not a quantitative— or statistically valid representation of the views of all Island residents.

Thematic Areas of Comment

Table 1 (below) shows the categories of comment tracked, sorted *into 3 tiers* -- from most to least comments offered (*duplicated* count). The major themes in each category are then summarized in turn. As noted above, some areas tabulated separately have been combined given their similarity/relationship in code.

The level of interest and nature of input on each of these categories remained fairly consistent over the entire course of the Joint Commission process.

¹ The State Office of Financial Management estimates that the City's population in 2015 was 23,480.

² A statistically valid poll of the City's population (with a 5% +/- range of error) would generally require a randomly selected set of between 350 to 450 respondents, with a higher number of respondents required to draw conclusions about subgroups (for example views of seniors versus those with school aged children).

Table 1: Public Comment by Category
<i>Tier 1: Most frequently commented on:</i>
Density
Height
Public Amenities
<i>Tier 2: Middle tier number of comments:</i>
Retail
Parking
Vision
Architectural details
Affordable Housing
Step-backs/Massing/Facades
Streetscapes/Landscaping
Other
<i>Tier 3: Relatively few comments:</i>
Economics of development
Mid-block Connections
Process issues
Setbacks

Height

Height and density were by far the two most popular categories of comment. The vast majority of those commenting on the subject of building height supported heights in Town Center lower than 5 stories or less than allowed by current code. “Alternative C” received several dozen favorable comments. Very few of those commenting supported 5 story or taller heights.

Density

Commenters opposing additional density in Town Center outnumbered those supporting additional density by about 4 to 1. The reasons most frequently mentioned for opposing more density in Town Center were: concerns about school overcrowding and traffic impacts; perception that density will not

generate the desired improvements in retail and vibrancy in Town Center; and a perception that more density is not required by the Growth Management Act.

Public Amenities

By “public amenities” is meant a range of things that one would expect to be publicly funded, but could in some cases also be provided in whole or part by developers. Dozens of ideas for public amenities in the Town Center were submitted. The most frequently requested amenities were: more pedestrian friendly development features; parks and open space; and a major public plaza.

Retail

There were dozens of comments submitted supporting more retail development in Town Center. The most frequently mentioned items were: a desire for more diversity and quality in restaurants, and a desire that retail serve needs of Island residents.

Parking

There were dozens of comments about parking, and the vast majority sought additional parking in Town Center. There was no consensus as to where that parking should be – on street, surface lots, behind buildings, underground or in a new central garage location.

Vision

The most frequently mentioned phrases relating to the desired vision of Town Center were: “small town,” “small town feel,” or “village feel.”

Communities cited as positive examples of what Town Center should look like included: University Village, Georgetown D.C., Madison Park, Madrona, Poulsbo, Bainbridge Island, Winslow, La Conner, Edmonds, Medina, Carmel, Kirkland, Whistler Village, Redmond Town Center, and Old Main Street in Bellevue.

Communities sited as negative examples included: Downtown Bellevue, Old Main area of Bellevue, Kirkland, West Seattle, Federal Way, Burien, SeaTac, and Renton.

Architectural Details

Most comments in this category were critical of the look of the larger buildings in Town Center: for example, no charm, boring, dislike of stucco. Many different ideas were proposed as to what would be an improvement, but there was no consensus.

Affordable Housing

This topic received a moderate amount of comment, and most of those commenting favored supporting more affordable housing in the Town Center.

Other

This is a catchall category for comments that did not relate to any of the other categories under consideration by the Joint Commission. For example, opposition or support of MICA (technically outside

the Town Center), or a request to update the Luther Burbank Park master plan. By the nature of this category, there were no “themes” registered.

Step-backs/Massing/Facades

Although relatively few people commented on these areas, step-backed building facades were supported by most commenters. However, there were also a number of concerns registered by those owning property in the Town Center as to the construction costs/economic impacts of various proposals, and suggesting that façade modulation or other tools might be more effective.

Streetscapes/Landscaping

There were a modest number of comments in these areas. Commenters favor landscaping requirements in Town Center. The other most frequent comment was a desire for wider sidewalks.

Economics of Development

There were relatively few comments in this area. A preponderance of the comments raised concerns that the code needs to be developed with an understanding about the economics of development in order for the desired results to materialize. Others felt that the focus should be on what residents want.

Mid-block connections

There were relatively few comments on this issue, primarily stating concerns from property owners about the cost/workability/desirability of the proposals under discussion.

Process Issues

There were relatively few comments on the current process. Comments received later in the process tended to be more concerned about whether the Joint Commission would support the public input it was receiving.

Setbacks

A very small number of comments were received on the issue of setbacks, generally favoring setbacks (this may correlate to the desire for wider sidewalks).

Joint Commission Recommendations Summary by Issue

#	Item	Joint Commission Recommendation	Rationale
1	Vision for Town Center	Maintain Town center vision as recommended by Stakeholder Group but summarize at a higher level.	<i>A vision should be succinct and forward-looking, with detail provided by policies and regulations.</i>
2	Subareas and Building Height	Divides Town Center into 5 subareas (TC-5, TC-4, TC-3, TCMF-4, and TCMF-3). The TC zones are mixed use and the TCMF zones are multifamily. The number after the hyphen indicates the maximum building height (in floors) for each subarea.	<i>Taller buildings are focused to the North near I-90 and height is stepped down towards the South and Mercedale Park. This approach represents a balance of providing enough height to enable economically viable development while stepping down heights in some areas in response to community desires.</i>
3	Measuring Building Height	Measure height from average building elevation (the current method) and also from the base of each façade.	<i>Adding the second method of measuring each façade will reduce façade height on the lower façade of sloping sites. This method would have reduced the overall height of the Legacy/Hadley Apartments currently under construction (approx. 75' high on lower side).</i>
4	Upper Floor Stepbacks Average Daylight Plane	Require 3 rd , 4 th and 5 th floors of buildings to be stepped back from the 2 nd floor underneath a 45 degree angle called the "daylight plane". Allow portions of these upper floors to come forward toward the street in exchange for other portions of the building stepping back further from the street.	<i>Requiring upper floors to step back will reduce the perception of "canyons" along Town Center streets. Allowing flexibility in design by averaging the open area above the daylight plane will minimize the possibility of look-alike buildings and encourage creative design.</i>
5	Architectural Standards/Modulation	Require major façade modulation every 120' along block frontages. Minor façade modulation required every 50'.	<i>Will reduce the perceived mass of Town Center buildings.</i>
6	Public Open Space (Plazas)	Public open space is required for 3, 4 and 5 story buildings. The minimum public open space area remains at 3% of the gross floor area, but the minimum 4,000 square foot requirement of current code is removed. Public open space requirements can be fulfilled with the provision of a through block connection, as long as it also meets the public open space standards. Furniture and other decorative features cannot reduce the minimum required usable area for a public open space.	<i>Removing the static 4,000 square foot requirement allows the public open space requirement to be scaled to the building size. Provision of separate spaces for a public open space and a through block connection is too onerous. While desirable, furniture and other decorative features have impeded public use of public open spaces in some existing Town Center projects.</i>

Joint Commission Recommendations Summary by Issue

#	Item	Joint Commission Recommendation	Rationale
7	Through-Block Connections	Through block connections are required in 4 areas, and are optional in all other areas. Width is 20' and can be split on adjacent properties provided the entire 20' is built at the same time. Additional design standards for adjacent land uses, landscaping, etc. have been added. Design Commission has discretion over the exact location of the connection and can approve non-linear configuration.	<i>Through block connections will improve connectivity and support a pedestrian friendly Town Center. Through block connections are most important (and required) in the larger Town Center blocks. They can be used effectively in other areas for pedestrian circulation as well as reducing the perceived bulk and scale of buildings.</i>
8	Landscaping	Require an area equivalent to 25% of site to be landscaped, including green roofs and green walls. Added additional detailed standards for landscaping.	<i>Increase greenery, reduce perceived and actual mass of buildings.</i>
9	Affordable Housing	Mixed use and residential buildings over two stories must have 10% of the housing units in the building affordable to renters earning 60% AMI or ownership units affordable to buyers earning 90% AMI.	<i>Town Center has few units affordable to many of Mercer Island's employment base, including service and retail workers, teachers and office workers.</i>
10	Green Building	Require all new Town Center buildings and major remodels to achieve LEED Gold or Built Green 4-star certification.	<i>Sustainability is a community priority. Green building has become more common in new construction and these standards will set the bar a bit higher than what the market may otherwise deliver.</i>
11	Streetscapes	Updated street standards focus on creating wide sidewalks and more on-street parking to support a walkable retail environment. 77 th Ave. SE—12' Sidewalks. Parallel parking on both sides of street with "sharrows" in the two travel lanes. Eliminate center left turn lane. 78 th Ave. SE— no major changes –15' sidewalks with pocket parking and a center median. Other Town Center streets—12' sidewalks with angled parking along one side.	<i>The objective for all streets is to improve the pedestrian environment and maximize on-street parking for both parking supply and as a buffer between travel lanes and pedestrians. The greatest opportunity for streetscape improvements is 77th Ave. SE as the right of way can be repurposed to widen sidewalks and add on-street parking.</i>

Joint Commission Recommendations Summary by Issue

#	Item	Joint Commission Recommendation	Rationale
12	Retail	<p>Primary Retail Frontages: Reduce the area where retail, restaurant and personal service uses are required. Maintain the “60/40” requirement in that reduced area. Also limit the amount of personal service uses that can locate on a primary retail frontage.</p> <p>Limit the width of individual uses along primary retail frontages to 60 feet, with Design Commission flexibility to 66 feet.</p>	<p><i>Based on the EcoNorthwest economic analysis, Town Center cannot support the amount of retail use required in either the current code or Stakeholder Group recommendation. Focusing the retail area around SE 27th, 77th SE and 78th SE will encourage grouping of retail uses and a more vibrant retail area.</i></p> <p><i>Limiting the street frontage of uses will encourage a diversity of uses, storefronts and designs along primary retail frontages. This will help reduce the perceived bulk of buildings and create a more interesting streetscape.</i></p>
13	Parking	<p>Reduce amount of required parking and increase allowable shared parking from 20% to 50%.</p> <p>Increase parking stall and driving aisle sizes.</p> <p>Restrict “repurposing” of parking stalls designated for specific uses (such as leasing of excess stalls).</p>	<p><i>The BERK parking study found an overall excess of parking in the Town Center. Based on the EcoNorthwest economic analysis, reducing parking requirements will make provision of public benefits more feasible.</i></p> <p><i>Increasing parking stall and driving aisle sizes will make parking inside garages more accessible and address a common complaint that the newer parking areas are difficult to maneuver.</i></p> <p><i>Restricting repurposing of parking stalls will ensure excess stalls remain available for use by retail customers and building visitors.</i></p>
14	Multi-family subareas	Remove public open space requirement in the TCMF subareas.	<i>The TCMF subareas are on the edges of the Town Center and are less desirable for public open spaces.</i>
15	Signs	Code official shall specify language for “walk off” parking signage.	<i>Having common language for “walk-off” parking signs will make it easier for the public to locate available parking.</i>



Town Center Comprehensive Plan Section Planning Commission Recommendation April 27, 2016

Town Center (part of the Comprehensive Plan)

TOWN CENTER VISION:

MERCER ISLAND TOWN CENTER SHOULD BE...

1. **THE HEART** of Mercer Island, where residents want to shop, eat, play and relax together.
2. **ACCESSIBLE** to people of all ages and abilities.
3. **CONVENIENT** to enter, explore and leave with a variety of transportation modes.
4. **WELL DESIGNED** with public spaces that offer attractive settings for entertainment, relaxation and recreation.
5. **DIVERSE** with a range of uses, building types and styles that acknowledge both the history and future of the island.
6. **LOCAL** providing businesses and services that meet every day needs on the island.
7. **HOME** to a variety of housing options for families, singles and seniors.

SAMPLE ONLY—NOT MERCER ISLAND (this is Overlake)



MERCER ISLAND TOWN CENTER 2035

SAMPLE ONLY—NOT MERCER ISLAND (this is Overlake)

GOAL 1: Create a mixed-use Town Center with pedestrian scale and connections.

1.1 A walkable mixed-use core should be located adjacent to the regional transit facility and be of sufficient size and intensity to create a focus for Mercer Island.

LAND USE AND DEVELOPMENT

Goal 2: Create a policy and regulatory structure that will result in a diversity of uses that meets Islanders' daily needs and helps create a vibrant, healthy Town Center serving as the City's business, social, cultural and entertainment center.



Town Center Comprehensive Plan Section Planning Commission Recommendation April 27, 2016

2.1 Use a variety of creative approaches to organize various land uses, building types and heights in different portions of the Town Center.

Goal 3: Have a mixture of building types, styles and ages that reflects the evolution of the Town Center over time, with human-scaled buildings, varied height, set-backs and step-backs and attractive facades.

3.1 Buildings taller than two stories may be permitted if appropriate public amenities and enhanced design features are provided.

3.2 Locate taller buildings on the north end of the Town Center and step down building height through the center to lower heights on the south end, bordering Mercerdale Park. See Figure TC-1.

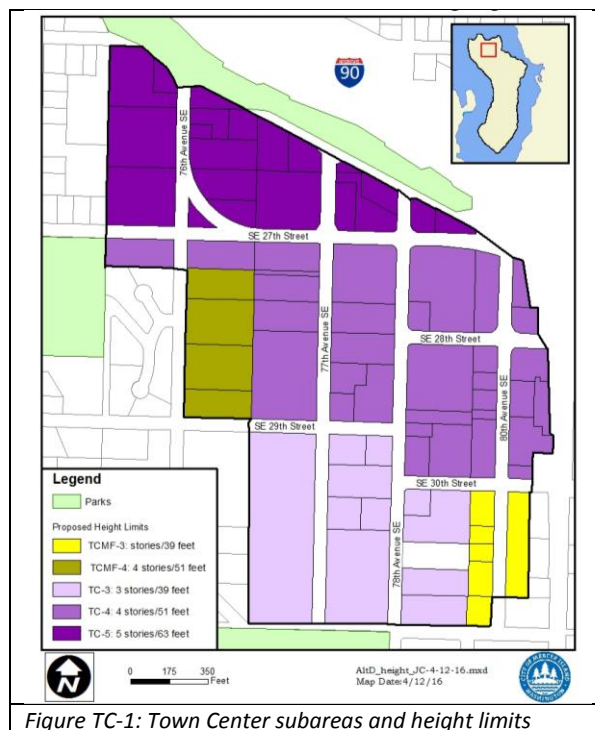


Figure TC-1: Town Center subareas and height limits

3.3 Calculate building height on sloping sites by measuring height on the lowest side of the building.

3.4 Mitigate the “canyon” effect of straight building facades along streets through use of upper floor step-backs, façade articulation, and similar techniques.



Town Center Comprehensive Plan Section Planning Commission Recommendation April 27, 2016

3.5 Buildings on larger parcels or with longer frontage should provide more variation of the building face, to allow for more light and create the appearance of a smaller scale, more organic, village-like development pattern. Building mass and long frontages resulting from a single user should be broken up by techniques such as creating a series of smaller buildings (like Island Square), providing public pedestrian connections within and through a parcel, and use of different but consistent architectural styles to create smaller building patterns.

3.6 Building facades should provide visual interest to pedestrians. Street level windows, minimum building set-backs, on-street entrances, landscaping, and articulated walls should be encouraged.

Goal 4: Create an active, pedestrian-friendly retail core.

4.1 Street-level retail, office, and service uses should reinforce the pedestrian-oriented circulation system.

4.2 Retail street frontages (Figure TC-2) should be the area where the majority of retail activity is focused. Retail shops and restaurants should be the dominant use, with personal services also encouraged to a more limited extent.



Figure TC-2: Required Retail Frontage Types

Goal 5: Encourage a variety of housing forms, including townhomes, apartments and live-work units attractive to families, singles, and seniors at a range of price points.

- a. Land uses and architectural standards should provide for the development of a variety of housing types, sizes and styles.
- b. Encourage development of low-rise multi-family housing in the TCMF subareas of the Town Center.
- c. Encourage the development of affordable housing within the Town Center.
- d. Encourage the development of accessible housing within the Town Center.
- e. Encourage options for ownership housing within the Town Center.



Town Center Comprehensive Plan Section Planning Commission Recommendation April 27, 2016

(NOTE: Proposed change to Housing Element Policy 3.9): Use regulatory and financial incentives in the Town Center and PBZ/CO districts such as density bonuses, fee waivers, and property tax reductions to encourage residential development for a range of household and ownership types and income levels.

CIRCULATION AND PARKING

Goal 6: Be convenient and accessible to people of all ages and abilities, including pedestrians, bicyclists, transit users and motorists.

Goal 7: Town Center streets should be viewed as multiple-use facilities, providing for the following needs:

- Access to local businesses and residences
- Access for emergency vehicles
- Routes for through traffic
- Transit routes and stops
- On-street parking
- Pedestrian and bicycle travel
- Sidewalk activities, including limited advertising and merchandising and restaurant seating.
- Occasional special events and outdoor entertainment

7.1 All Town Center streets should provide for safe and convenient multi-modal access to existing and future development in the Town Center.

7.2 Design streets using universal design principles to allow older adults and individuals with disabilities to “stroll or roll”, and cross streets safely.

7.3 78th Avenue SE should be the primary pedestrian corridor in the Town Center, with ample sidewalks, landscaping and amenities.

7.4 77th Avenue SE should serve as the primary bicycle corridor connecting the regional bicycle network along I-90 and the planned light rail station with Mercerdale Park and the rest of the Island south of the Town Center.

Goal 8: Be pedestrian-friendly, with amenities, tree-lined streetscapes, wide sidewalks, storefronts with canopies, and cross-block connections that make it easy to walk around.

8.1 Provide convenient opportunities to walk throughout Town Center.

8.2 Create safe pedestrian routes that break-up larger city blocks.

Goal 9: Have ample parking, both on-street and off, and the ability to park once and walk to a variety of retail shops.



Town Center Comprehensive Plan Section Planning Commission Recommendation April 27, 2016

9.1 Reduce the land area devoted to parking by encouraging structured and underground parking. If open-air, parking lots should be behind buildings.

9.2 Encourage improved access to transit, bicycle, pedestrian and shared parking facilities to reduce trip generation and provide transportation alternatives, particularly for secondary trips once users reach the Town Center.

9.3 Consider a range of regulatory and incentive approaches that can increase the supply of public parking in conjunction with development proposals.

9.4 On and off-street parking should be well-lit, convenient and well-signed so that drivers can easily find and use parking.

9.5 Develop long-range plans for the development of additional commuter parking to serve Mercer Island residents.

9.6 Prioritize parking for Mercer Island residents within the Town Center.

Goal 10: Prioritize Town Center transportation investments that promote multi-modal access to regional transit facilities.

Goal 11: Promote the development of pedestrian linkages between public and private development and transit in and adjacent to the Town Center.

PUBLIC REALM

Goal 12: Have inviting, accessible outdoor spaces with seating, greenery, water features, and art that offer settings for outdoor entertainment and special events as well as for quiet contemplation.



Town Center Comprehensive Plan Section Planning Commission Recommendation April 27, 2016

12.1 Outdoor public spaces of various sizes in Town Center are important and should be encouraged.

12.2 Encourage the provision of on-site open space in private developments but allow development agreements and payment of a calculated amount of money as an option to dedication of land. In addition, encourage aggregation of smaller open spaces between parcels to create a more substantial open space.

12.3 Investigate potential locations and funding sources for the development (and acquisition if needed) of one or more significant public open space(s) that can function as an anchor for the Town Center’s character and redevelopment. Identified “opportunity sites” are shown in Figure TC-3 and described below. These opportunity sites should not preclude the identification of other sites, should new opportunities or circumstances arise.

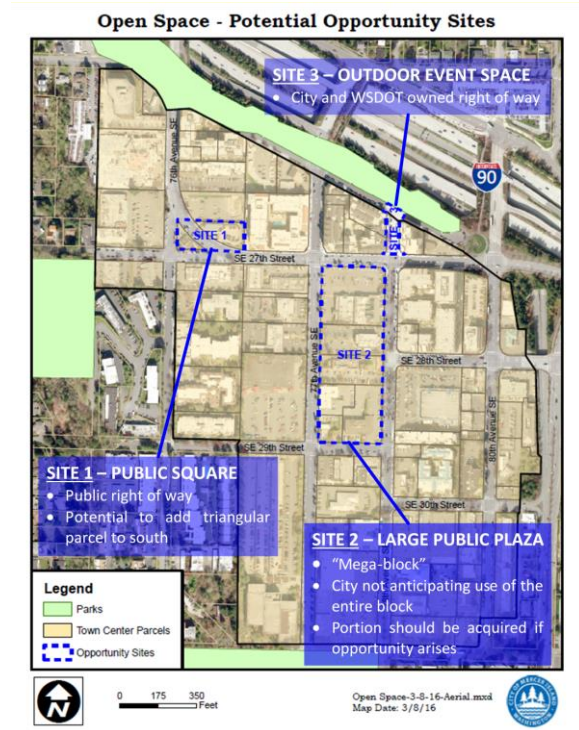


Figure TC-3: Possible locations for significant public open space

SUSTAINABILITY

GOAL 13: Town Center buildings should meet a high standard of energy efficiency and sustainable construction practices as well as exhibiting other innovative green features, above and beyond what is required by the existing Construction Code.

ECONOMIC DEVELOPMENT

GOAL 14: Continue to encourage vitality through the support of economic development activities in the Town Center.

14.1 Establish the Town Center as an active and attractive commercial node, including the use of gateways, wayfinding and signage, and links to transit.

14.2 Maintain a diversity of Town Center land uses.

14.3 Support economic growth that accommodates Mercer Island’s share of the regional employment growth target of 1,228 new jobs from 2006-2035, by maintaining adequate zoning capacity, infrastructure, and supportive economic development policies.



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14.4 Investigate formation of a business improvement area (BIA), or other mechanism authorized by state law, to help promote Island businesses, to support Town Center activities, and to finance improvements and amenities. Identify a staff person who will help coordinate economic development activities.

14.5 Support public and private investment in existing properties, infrastructure, and marketing to help maintain longstanding businesses and attract new ones.

14.6 Create a healthy economic environment where Town Center businesses can serve the needs of Mercer Island residents as well as draw upon broader retail and commercial market areas.



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CHAPTER 19.11—TOWN CENTER DEVELOPMENT AND DESIGN GUIDELINES

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19.11.010 General

A. Applicability. This chapter establishes development and design standards for the Mercer Island Town Center (TC) zone, the location and boundaries of which are set forth in MICC 19.01.040 and Appendix D, the Mercer Island Zoning Map. The general purpose of this chapter is to implement the land use policies of the Mercer Island Comprehensive Plan for the area referred to as the Town Center. The development and design standards are not intended to slow or restrict development, but rather to add consistency and predictability to the permit review process.

B. User Guide. The Town Center is divided into five subareas mostly for the purpose of regulating maximum height limits. A two story height limit applies throughout the Town Center. Only by providing certain benefits to the community, can a development project add additional stories up to the maximum height allowed in the particular subarea. These community benefits include affordable housing; green building features; stepping back of upper floors to reduce building mass and maintain light and air; provision of public open spaces as gathering places; and provision of through-block pedestrian connections to break up larger blocks and enhance pedestrian access.

C. Town Center Vision. The Town Center Vision found in the Mercer Island Comprehensive Plan is adopted herein by reference.

D. Design Vision.

1. Development and Design Standards. The development and design standards that follow are intended to enhance the Town Center for pedestrians and develop a sense of place. To accomplish this vision, new or redevelopment is encouraged to orient buildings toward the public right-of way with buildings

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brought forward to the sidewalk or landscaped edge; parking placed behind buildings and in less visible areas or underground; design structures with varied mass and scale, modulation of heights and wall planes; and pedestrian through-block connections that will break up very large or long blocks for improved pedestrian and vehicular circulation from one side of the block through to the other side.

2. Function. The design of buildings, structures and streetscapes within the Town Center is intended to support a built environment that is convenient and accessible to pedestrians, motorists, bicyclists and public transit users. Development should enhance the Town Center as a vibrant, healthy, mixed use downtown that serves as the city's retail, business, social, cultural and entertainment center and ensures the commercial and economic vitality of the area. New or redevelopment should increase the attractions and pedestrian amenities that bring residents to the Town Center, including local shopping, services, offices, specialty retail, restaurants, residences, festivals, special events, and entertainment. Outdoor spaces should function as social settings for a variety of experiences, adding to the comfort and complexity of life in an urban environment, while maintaining a human scale and an ability for easy pedestrian circulation.

3. Site Features. New or redevelopment should include public amenities, such as storefronts with canopies, street trees, seating, fountains or water features, outdoor cafes, sculpture or other forms of art, and places for gathering and lingering. The use of materials, color, texture, form and massing, proportion, public amenities, mitigation of environmental impacts, landscaping and vegetation, and architectural detail should be incorporated in the design of new or redevelopment with the purpose of supporting a human scale, pedestrian-oriented Town Center. New or redevelopment shall be coordinated and consistent with the downtown street standards.

4. Pedestrian Orientation. Pedestrian-oriented and customer intensive retail businesses and offices are encouraged to locate on the street level to promote active use of sidewalks by pedestrians, thus increasing the activity level and economic viability of the Town Center. New or redevelopment should also enhance and support a range of transportation choices and be designed to maximize opportunities for alternative modes of transportation and maintain individual mobility. Even with a healthy variety of development in the Town Center, each individual development or redevelopment project shall favor the pedestrian over the automobile in terms of site design, building placement and parking locations.

E. Scale. The design of all structures shall consider how the structure and site development will be viewed from the street and adjacent properties. Scale is not simply the size of the buildings, it is the proportion of buildings in relationship to each other, to the street and to the pedestrian environment.

F. Form. Building forms shall not present visual mass impacts that are out of proportion to the adjoining structures, or that appear from the street or sidewalk as having unmodulated visual mass. Building additions should complement the original structure in design.

G. Style. The objectives and standards do not set or encourage a particular style of architecture or design theme. However, building and site design shall be pedestrian in scale and address design features such as sloped roof lines; view protection; distinctive building shapes; integration of art, textures, and patterns; treatment of pedestrian and public spaces; interface with the public right-of-way; landscaping; signage and facade treatments.

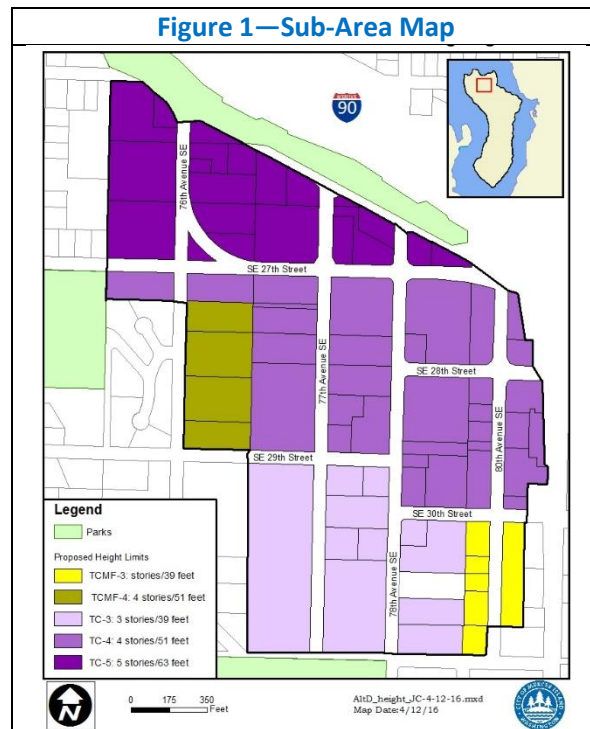
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19.11.015 Town Center Sub-Areas

A. Intent. The primary intent of establishing sub-areas within the Town Center is to provide differing building height standards and land uses within the Town Center. Buildings within the Town Center are limited to two stories in height unless community benefits are provided as discussed throughout this chapter. The purpose of the different height standards is to locate taller buildings on the north end of the Town Center, and step down building height through the center to the south end of Town Center, bordering Merceddale Park.

B. Sub-Areas Established. The following sub-areas have been established and are depicted on Figure 1 below.



1. TC-5 Sub-Area. The purpose of the TC-5 Sub-Area is to create a focused mixed-use core, oriented toward pedestrian connections and regional transit access. A broad mix of land uses is allowed. Buildings may be up to 5 stories in height.
2. TC-4 Sub-Area. The purpose of the TC-4 Sub-Area is to be a transition between the taller buildings in the TC-5 sub-area and the lower structures in the TC-3 and TCMF-3 sub-areas. A broad mix of land uses is allowed. Buildings may be up to 4 stories in height.
3. TC-3 Sub-Area. The purpose of the TC-3 Sub-Area is to create an area of transition between the Town Center and adjacent residential neighborhoods. A broad mix of land uses is allowed. Buildings may be up to 3 stories in height.

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4. TCMF-4 (Multi-Family Residential) Sub-Area. The purpose of the TCMF-4 Sub-Area is to provide for primarily multi-family residential housing of up to 4 stories. Street-oriented housing, live/work units and limited retail uses are allowed at the street level.

5. TCMF-3 (Multi-Family Residential) Sub-Area. The purpose of the TCMF-3 Sub-Area is to provide for primarily multi-family residential housing of up to 3 stories. Street-oriented housing, live/work units and limited retail uses are allowed at the street level.

19.11.020 Land Uses

A. Permitted and Conditional Uses.

1. Use Table by Sub-Area. Permitted and conditional uses are allowed in each sub-area as shown in the Use Table below.

Use	TC - 5	TC - 4	TC - 3	TCMF - 3	TCMF-4
Adult entertainment	C	N	N	N	N
Bar	P	P	P	N	N
Care services	P	P	P	C	C
Hotel/motel	P	P	P	C	C
Live/work units	C	C	C	P	P
Manufacturing	C	C	C	N	N
Office	P	P	P	C	C
Parking, not associated with an on-site use	C	C	C	N	N
Public facility	P	P	P	C	C
Recreation	P	P	P	C	C
Residential dwelling	P	P	P	P	P
Restaurant	P	P	P	P	P
Retail – small scale	P	P	P	P	P
Retail – large scale (> 20,000 square feet)	C	C	C	N	N
Retail – outdoors	C	C	C	N	N
Rooming houses	P	P	P	C	C
Service	P	P	P	P	P
Social service transitional housing	C	C	C	C	C
Special needs group housing	P	P	P	P	P
Transportation/utilities (including automobile service stations)	P	P	P	P	P
Warehousing	N	C	N	N	N

C – CONDITIONAL USE P – PERMITTED N – NOT ALLOWED

2. North American Industry Classification System. Questions as to the inclusion or exclusion of a particular use shall be determined by the code official based on North American Industry Classification System (NAICS) – United States, published by the U.S. Department of Commerce.

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D. Required Ground Floor Uses. Retail, restaurant or personal service uses are required along retail street frontages as shown on Figure 2.

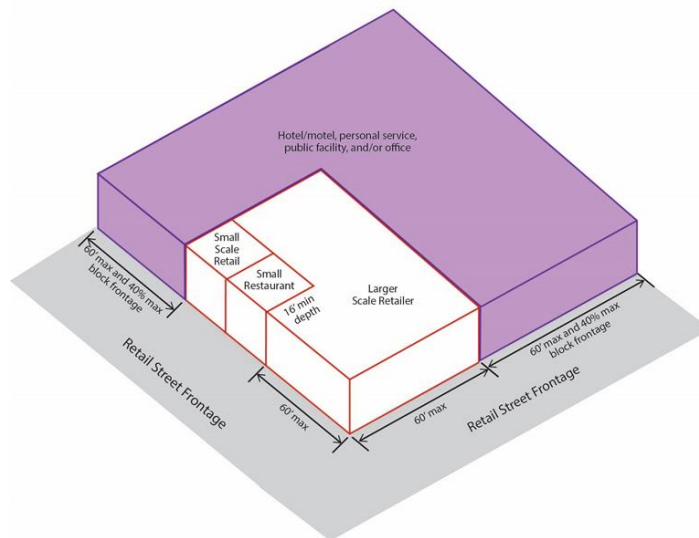
1. A minimum of 40% of the ground floor street frontage shall be occupied by one or more of the following permitted uses: retail, restaurant, and/or personal service use. A maximum of 60% of each ground floor street frontage can be occupied by the following uses: hotel/motel, personal service, public facility, or office.
2. No use shall occupy a continuous linear street frontage exceeding 60 feet in length. The design commission may approve up to an additional 6 feet in length (need to add criteria)
3. The minimum required depth of storefronts along retail street frontages is 16 feet.

Figure 2— Area of Required Retail, Restaurant or Personal Services Use Along Ground Floor Street Frontages



E. Reducing continuous retail frontages through the use of smaller retail spaces is intended to encourage pedestrian friendly retail, ensure that the retail spaces are appropriately-sized for small retail operators, and limit large (“box store”) development. Figure 3 below provides an example of how a building floor can be designed pursuant to the table above. Smaller retail spaces are provided along a street and larger non-retail space is provided in the back of the floor.

Figure 3—Retail Frontage Standards



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F. Accessory Uses.

1. **Outdoor Storage and Display of Merchandise.** The total area allowed for outdoor storage and/or merchandise display shall be less than five percent of the total gross square footage of the use; provided however that such area may exceed five percent if it is fenced, screened, and located in a manner that is acceptable to the design commission. This standard does not apply to temporary uses such as material storage during construction or street vendors.

2. **Commerce on Public Property.** Commerce on public property may be allowed pursuant to MICC 19.06.050.

3. **Transit Facilities.** Bus parking/loading space, and shelters and facilities for transit users should be integrated in the design of major new construction. Plans should be coordinated with transit providers to maximize the interface with community-wide and regional transit systems.

4. **Bicycle Facilities.** Parking and facilities that support bicycle use, including racks, covered and secured bike-storage areas, and in the case of office buildings, lockers and showers, should be included in the design of major new construction.

5. **Utility and Equipment Cabinets.** Existing or proposed utility and equipment cabinets or boxes, including wireless communication facilities shall be placed inside a building or placed underground, if physically feasible. In the event the city determines such location is not physically feasible, the utility and equipment cabinets must be screened by fencing, landscaping and/or stealth screening technologies so that are not visible.

G. Objectionable or Hazardous Uses. No use shall be allowed which produces excessive odor, dust, smoke, cinders, gas, fumes, noise, vibration, refuse matter or water-carried waste. The standard for “excessive” shall be based on the average or normal production of these items by adjoining uses permitted in the vicinity of the proposed new use. A use is excessive if it is likely to unreasonably interfere with the ability of the adjoining property owners to utilize their property for working or living activities or if it is likely to unreasonably interfere with the ability of pedestrians and residents to remain in or enjoy the area.

19.11.030 Bulk Regulations

A. Bulk Regulations by Sub-Area

1. The bulk regulations for properties in the Town Center are as follows:

	TC-5	TC-4	TC-3	TCMF-3	TCMF-4
Base Building Height Allowed	27 feet	27 feet	27 feet	27 feet	27 feet
Base Building Stories Allowed	2	2	2	2	2
Maximum Allowable Building Height	63 feet	51 feet	39 feet	39 feet	51 feet
	Up to 5 additional feet allowed for parapet and/or sloped roof.				
Maximum Allowable Building Stories	5	4	3	3	4

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	TC-5	TC-4	TC-3	TCMF-3	TCMF-4
Ground Floor Height Adjacent to Streets	15 feet minimum, 27 feet maximum			n/a	n/a
Setback from Property Lines	No minimum setback required except where necessary to provide landscaping, façade modulation, through-block connection or an easement for required sidewalk width.				
Required Upper Story Setback (average daylight plane)	All street frontages are subject to the average daylight plane standards described in subsection A.6 below.				

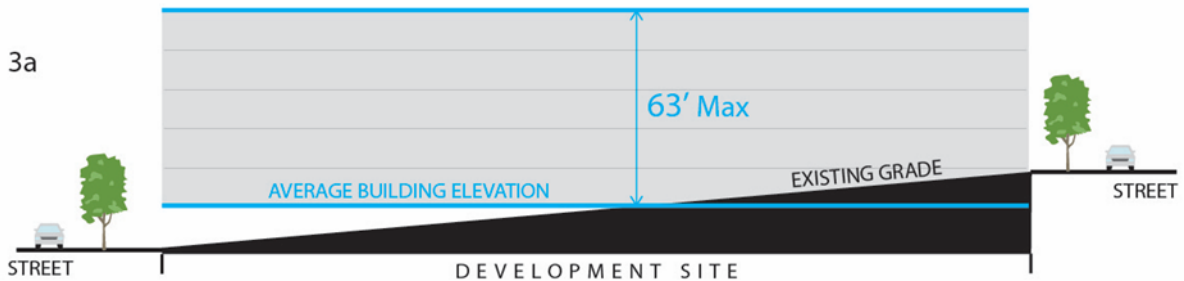
2. Base Building Height. A base building height of up to two stories (not to exceed 27 feet) shall be allowed. One-story structures located adjacent to the public right-of-way in the TC-5, TC-4 and TC-3 subareas shall be a minimum of 15 feet and may be as tall as 27 feet with approval of the design commission to ensure the taller façade provides features that ensure a pedestrian scale.

3. Calculation of Building Height. The maximum allowable building height above must comply with all of the following as shown on Figure 4:

a. Average Building Elevation. The vertical distance measured from the average building elevation to the highest point of the roof structure excluding appurtenances.

b. Maximum Façade Height. The vertical distance measured from the bottom of a building façade to the highest point of the roof structure excluding appurtenances.

Figure 4. Maximum Building and Façade Height.



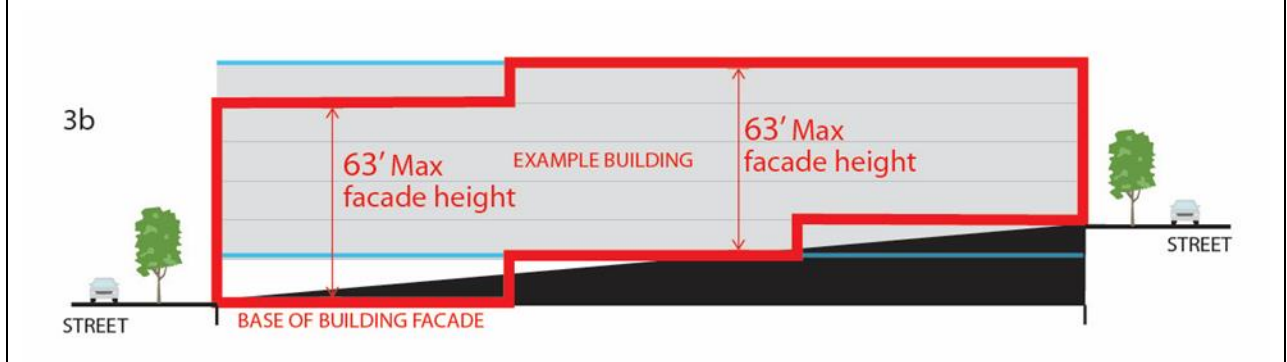
The graphic above illustrates the maximum building height envelope on a sloping site. For example, in the TC-5 zone, the maximum height of buildings on sloping sites shall not exceed 63 feet from the average building elevation [see subsection (A)(3)(a) above].

However, the maximum height of individual building facades in the TC-5 zone, as measured from the bottom of a building façade to the highest point of the roof structure excluding appurtenances [see subsection (A)(3)(b) above] also cannot exceed 63 feet. The graphic below illustrates an example building complying with these standards. Note that on the downhill side of the site, the building cannot

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be built up to the top of the building height envelope (63' above average building elevation), since the base of the façade starts below the average building elevation. On the uphill side, note that the façade height cannot achieve the maximum 63' height since the building height cannot exceed 63' above the average building elevation (which in this case is below the grade of the adjacent street and where the bottom of the building façade is).



4. Mezzanines. A mezzanine shall not be counted as a story for determining the allowable number of stories when constructed in accordance with the requirements of the construction codes set forth in MICC Title 17.

5. Rooftop Appurtenances. Rooftop appurtenances are discouraged. If necessary, rooftop appurtenances may extend up to 10 feet above the maximum building height allowed, provided there is a functional need for the appurtenance and that functional need cannot be met with an appurtenance of a lesser height. This provision shall not be construed to allow building height in excess of the maximum limit. Rooftop appurtenances should be located at least 10 feet from the exterior edge of any building, and together with the screening provided for below, shall not cover more than 20 percent of the rooftop area.

a. Screening of Rooftop Appurtenances. Appurtenances shall not be located on the roof of a structure unless they are hidden or camouflaged by building elements that were designed for that purpose as an integral part of the building design. All appurtenances located on the roof should be grouped together and incorporated into the roof design and thoroughly screened. The screening should be sight-obscuring, located at least 10 feet from the exterior edge of any building; and effective in obscuring the view of the appurtenances from public streets or sidewalks or residential areas located on the hillside surrounding the Town Center.

b. Wireless Communication Facilities. Wireless communication facilities (WCFs) shall be governed by MICC 19.06.040; provided, they shall be screened as required by subsection (A)(5)(a) of this section.

6. Setbacks. All structures shall be set back so that space is provided for at least 12 feet of sidewalk between the structure and the face of the street curb, excluding locations where the curblines is interrupted by parking pockets. Additional setbacks along SE 32nd Street and 78th Avenue SE are encouraged to provide space for more pedestrian-oriented activities and to accommodate the existing trees and parking pockets.

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7. Average Daylight Plane.

a. Block frontages along streets must integrate average minimum upper level building setbacks to:

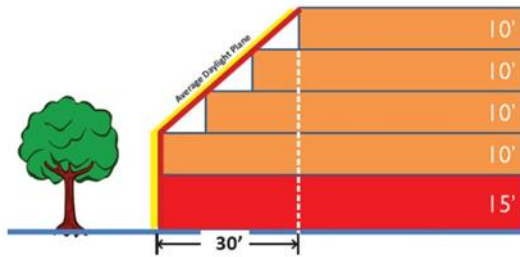
- i. Reduce the perceived scale of building facades along streets;
- ii. Increase the amount of light and air to adjacent streets;
- iii. Promote modulation of building facades along streets that adds variety and provides visual interest;
- iv. Encourage the integration of courtyards and open space along block frontages; and
- v. Allow for flexibility in the design of block frontages along streets.

b. The average minimum upper level building setbacks shall comply with the following:

- i. From a height of 25 feet at the front property line, buildings shall setback at a 45 degree angle up to the maximum height limit;
- ii. Calculations for determining compliance with the average daylight plane standards shall utilize cubic volume (cubic feet) and shall consider only the first 30 feet of depth along block frontages;
- iii. Only the development site's applicable block frontage may be used to determine compliance with the provisions herein;
- iv. Since the daylight plane standards above apply a minimum average, portions of block frontages may project beyond the daylight plane concept described in (a) above provided the applicable block frontage as a whole, complies with the minimum average. Figure 5 illustrates the concept.
- v. For each cubic foot that part of a building protrudes beyond the daylight plane ("debit"), the project must include an equivalent cubic footage of open space ("credit") either on the ground floor adjacent to the street (such as a public open space, courtyard or through-block connection), and/or by setting portions of the building façade farther back beneath the daylight plane. For the purposes of this section, the cubic feet of a portion of a building is measured from floor to the top of the roof, and along the outside of exterior walls. The cubic feet of open or credit area is measured from finished ground level or top of roof to an imaginary line representing the daylight plane as defined in subsection (i) above. The intent is that the required open space or credit area be open to the sky; however, the design commission has discretion to allow eaves, pedestrian weather protection and landscaping within the required open space as long as the objectives in 7(a) above are met.

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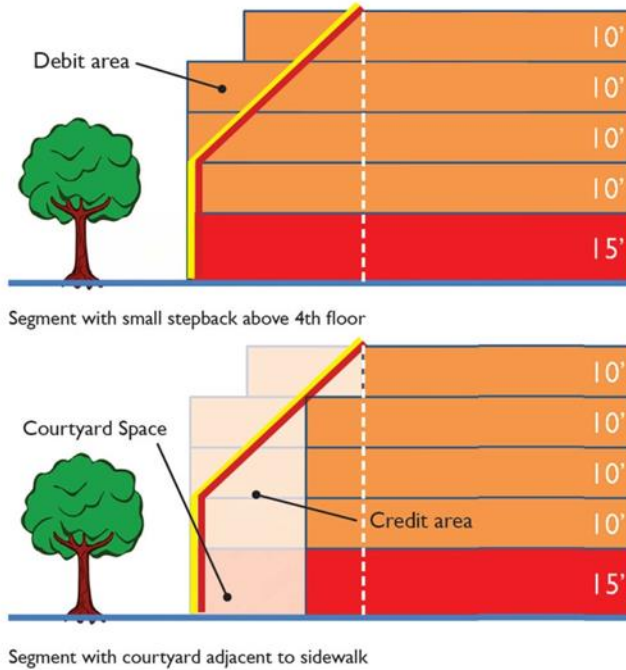
Figure 5. Illustrating the Average Daylight Plane Standards.



Calculations use the first 30' of property adjacent to streets to measure conformance.

The Average Daylight Plane extends vertically from the applicable property line 25 feet and then steps back at a 45 degree angle to help reduce the massing of buildings fronting streets.

To meet the Average Daylight Plane standard a block frontage could combine the following:



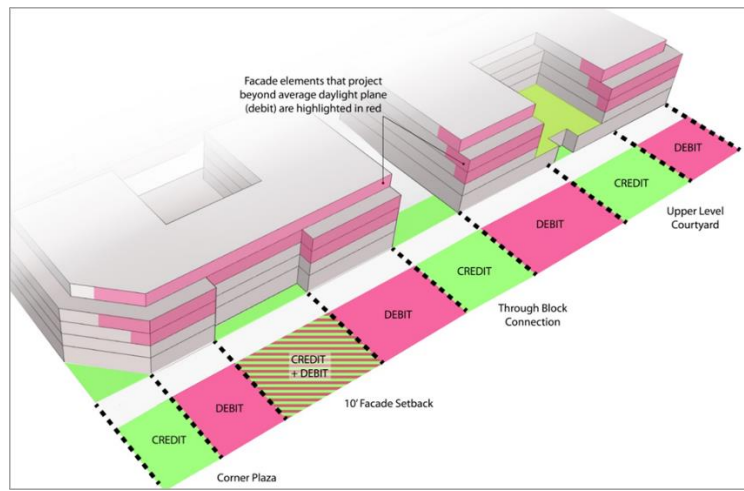
The cubic volume of credit area shall exceed the debit area to comply with the “average.”

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Figure 6. An example development massing model with block frontages that comply with the Average Daylight Plane standards.

The upper image illustrates how a development with multiple block frontages and a through-block connection could meet the Average Daylight Plane standards. The lower image focuses on the foreground block frontage and illustrates that the block frontage features a combination of debit and credit areas (individual facades that project into average daylight plane are “debit” areas whereas facades that exceed the setback/stepbacks of the average daylight plane are “credit” areas)



19.11.040 Affordable Housing

A. Affordable Housing Ratio. In order to qualify as significant affordable housing and in order to qualify for building height over two stories, a development that contains dwelling units must provide moderate income affordable housing units equal to at least ten percent (10%) of the total units in the development. The number of required affordable units shall be rounded up to the nearest whole number.

B. Design Elements.

1. The affordable housing units shall generally be intermingled with all other dwelling units in the development and are not required to be located on the top floor or bonus story.
2. The tenure (owner- or renter-occupied) of the affordable housing units shall be the same as the tenure of the rest of the dwelling units in the development.
3. The affordable housing units shall consist of a mix of the unit types (by number of bedrooms) that is generally proportionate to the mix of units in the overall development.
4. Affordable units may not be smaller than other units with the same number of bedrooms in the development, unless the code official determines that rooms within the affordable units provide adequate space for their intended use. In no case shall the affordable units be more than ten percent (10%) smaller than the market-rate units having the same number of bedrooms in the development, or

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less than 500 square feet if a studio unit, 600 square feet if a one-bedroom unit, 800 square feet if a two-bedroom unit, 1,000 square feet if a three-bedroom unit, or 1,200 square feet if a four-bedroom unit; whichever is less.

5. The exteriors of the affordable housing units must be compatible with and comparable in quality to the rest of the dwelling units in the development and shall comply with any design standards for the underlying zoning district. The interior finish of the affordable units shall, at a minimum, be comparable to entry level rental or ownership housing in the development.

C. Availability. The affordable housing units shall be available for occupancy in a time frame comparable to the availability of the rest of the dwelling units in the development.

D. Agreement. Prior to issuance of a building permit, an agreement in form and substance acceptable to the city attorney shall be executed providing price restrictions, homebuyer or tenant qualifications and long-term affordability. The agreement shall be recorded with King County department of records and elections and shall constitute a covenant running with the land. Affordable housing units shall remain as affordable housing for a minimum of 50 years from the date of initial owner occupancy for owner affordable units and for the life of the project for rental affordable housing units. At the sole discretion of the code official, the city may approve a shorter affordability time period for owner-occupied affordable housing, not to be less than thirty (30) years, in order to meet federal financial underwriting guidelines.

1. The agreement shall provide the city sole discretion to establish monitoring fees for the affordable units, which fees may be adjusted over time to account for inflation. The purpose of any monitoring fee is for the review and processing of documents to maintain compliance with income and affordability restrictions of the affordability agreement.

2. The city may agree, at its sole discretion, to subordinate any affordable housing regulatory agreement for the purpose of enabling the owner to obtain financing for development of the property.

E. Impact Fees. Affordable housing may be exempt from impact fees pursuant to MICC 19.17.090 (Schools), 19.18.070 (Parks) and 19.19.070 (Transportation).

19.11.050 **Green Building Standards**

Any major new construction shall meet LEED Gold or Built Green 4 star standards. The applicant shall provide proof of LEED or Built Green certification within 180 days of issuance of a final Certificate of Occupancy, or such later date as may be allowed by the code official for good cause, by submitting a report analyzing the extent credits were earned toward such rating. Failure to submit a timely report regarding LEED or Built Green ratings by the date required is a violation of this Code.

19.11.060 **Site Design**

A. Minor Site Features. All major new construction regardless of its height shall have at least three minor site features that contribute to a well-balanced mix of features in that subarea as determined by the design commission. Minor site features may include, but are not limited to the following:

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1. **Decorative Landmarks.** Imaginative features that complement the building design and create visual focal points that give identity to an area, such as decorative clocks, special paving in pedestrian areas, art features, water features, drinking fountains, or creative designs for necessary building features or functions. Art should be integrated with the public street improvements. Examples include sculpture, murals, inlays, mosaics, friezes or bas-reliefs. The location of art shall provide for public view but not hinder pedestrian traffic.

2. **Kiosks.** Community-oriented kiosks, which may include bulletin boards and newsstands or racks, creatively designed and consolidated and placed in areas where large numbers of people gather, and which complements the site design and streetscape and reduces visual clutter.

3. **Additional Sidewalk Setback.** At least five feet of sidewalk width, in addition to the minimum sidewalk setback provided for in MICC 19.11.030.A.6 may be provided along 78th Avenue SE, along the entire street frontage of the development site. Such additional sidewalk should be designed to provide additional pedestrian access where parking pockets narrow the sidewalk, to accommodate street trees and benches, or to create spaces for more pedestrian-oriented activities such as outdoor dining or seating.

4. **Impact on Public Open Spaces.** Minor site features may not occupy space in a public open space to the extent that doing so reduces the actual space that is usable by the public below the minimum required area.

B. Major Site Features. Any major new construction in the TC-5, TC-4 or TC-3 subareas which exceeds the two-story base height shall include at least one of the following major site features, subject to design commission determination that such choices contribute to a well-balanced mix of features in that subarea.

1. **Through-Block Connection.** Through-block pedestrian connections will qualify as a major site feature upon satisfaction of the development and design standards set forth in MICC 19.11.060(E).

2. **Public Open Space.** Public open spaces will qualify as a major site feature upon satisfaction of the development and design standards set forth in MICC 19.11.060(D).

C. Other Site Features. The design commission may approve other major or minor site features in place of those listed above consistent with the provisions of this chapter.

1. **“Major” Criteria.** A site feature will only be considered as “major” if it is of equal or greater public benefit than one or more of the major site features listed above and should not be less than one percent of the project’s construction costs. Underground or structured parking that supports park and ride use may be considered a major public benefit if open space or a through-block connection is not practicable.

2. **Minor Site Features.** Examples of other minor site features include contribution to a public art or design project within close proximity to the new construction, such as the city’s I-90 Artway; and/or transit-oriented development (TOD) amenities, such as facilities that support bicycle use.

D. Public Open Space. Refers to plazas, parks or other spaces intended for the use and enjoyment of the public in the Town Center zone. Public open spaces serve as public gathering spaces and, depending on their size,

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could accommodate a variety of public events, as well as provide space for informal gatherings and quiet activities.

1. Size. A single public open space shall be a minimum size equal to three percent of the gross floor area of the development and shall be at least 20 feet in width. The design commission may allow a development to provide two or more public open spaces so long as the design commission determines that such multiple public open spaces will have an equal or greater public benefit and each is at least 1,500 square feet in area. The primary purpose of the public open spaces shall be as public gathering places. Other uses, including but not limited to lobby entrances, stairs, and cordoned off/private outdoor restaurant seating, must be secondary to the public gathering place purpose and areas required for such uses should not be included in calculating the minimum size of the public open spaces. Such areas shall be in addition to any area required as a minor site feature under MICC 19.11.060(A). Portions of a public open space that also meet the requirements for a through-block connection in MICC 19.11.060(E) may be counted as both a public open space and a through-block connection.

2. Design Elements.

a. Public open spaces shall be at the same level as the public sidewalk, serve as a focal point for pedestrian activity within the Town Center zone, and should be fully integrated and designed consistent with any pedestrian connection or other public amenity.

b. Public open spaces shall be designed with sufficient pedestrian amenities including seating, lighting, water features, special paving, landscaping, artwork and special recreational features, as determined by the design commission. At least two linear feet of seating surfaces per 100 square feet of space should be provided. To qualify, seating surfaces shall be a minimum of 18 inches in depth. At least half the seating should have seat backs and have surfaces made of wood, rather than metal, stone or concrete. In addition, moveable chairs should be provided and shall not be for the sole use of an adjacent retail business.

c. Pedestrian-oriented frontage is required on at least two sides unless the space is linear in design, in which case pedestrian-oriented frontage is required on at least one side.

d. At least 25 percent but not more than 60 percent of an outdoor public open space should be landscaped with shade trees, groundcover or other vegetation.

e. The public open space may not be covered by a roof, story or skybridge; provided portions of the public open space may be covered for weather protection, or be enclosed pursuant to paragraph f below.

f. Enclosed and/or covered public open space may be approved by the design commission provided that the space is available for public use.

g. All city approvals or permits for any structure shall be reviewed for compatibility with the alignment of any existing or approved public open space.

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3. Public Open Space Plan. The applicant shall submit a plan with a minimum scale of one-quarter inch equals one foot for the public open space which shall include a description of all landscaping; lighting; street furniture; color and materials; relationship to building frontage; specific location of the public open space; and the relationship to and coordination with any pedestrian connection or other public amenity.

4. Public Access. The entire public open space should be open to the public 24 hours per day. Temporary closures will be allowed as necessary for maintenance purposes. Upon city approval, portions of the public open space may be separated, as required by the State of Washington Liquor and Cannabis Board or its successor agency, in order to allow outdoor seating for restaurant purposes.

E. Through-Block Pedestrian Connections. Applicants shall provide convenient and safe public pedestrian routes through city blocks.

1. Location. Connections shall be located on the lots eligible for through-block pedestrian connections as shown on Figure 6 below and in other locations based on the following criteria. The actual location of the pedestrian connection on the lot shall be determined by the design commission based upon the following criteria: (a) the connection will connect with existing or future rights-of-way, other pedestrian connections and/or public open spaces; (b) the connection has the effect of dividing a large city block approximately in the middle of such block in approximately the preferred locations shown on Figure 6; and (c) it is likely that the remainder of the subject connection will be developed in the future based upon development conditions on surrounding lots.

Figure 6.
Preferred Through-Block Pedestrian Connection Locations.



2. Design Elements.

a. The connection shall be the length necessary to provide access between existing rights-of-way; provided, however, that if an applicant does not own all property necessary to make the connection, this option will still be available if an easement is provided to the city for the remainder of the connection. If the applicant cannot obtain the easement after using best efforts, the city may still approve the connection. The connection shall be a minimum of 20 feet wide. The area devoted to a connection shall be in addition to the area devoted to any other minor site feature required pursuant to MICC 19.11.060(A). The primary purposes of the connection shall be as a means for pedestrian access between rights-of-way and secondarily as a public gathering place. Other uses, including access to parking areas, lobby entrances, and stairs must be secondary to and not conflict with the connection purpose and areas required for such uses shall not be included in calculating the minimum size. Portions of a through-block

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connection that also meet the requirements for a public open space in MICC 19.11.060.D may be counted as both a public open space and a through-block connection.

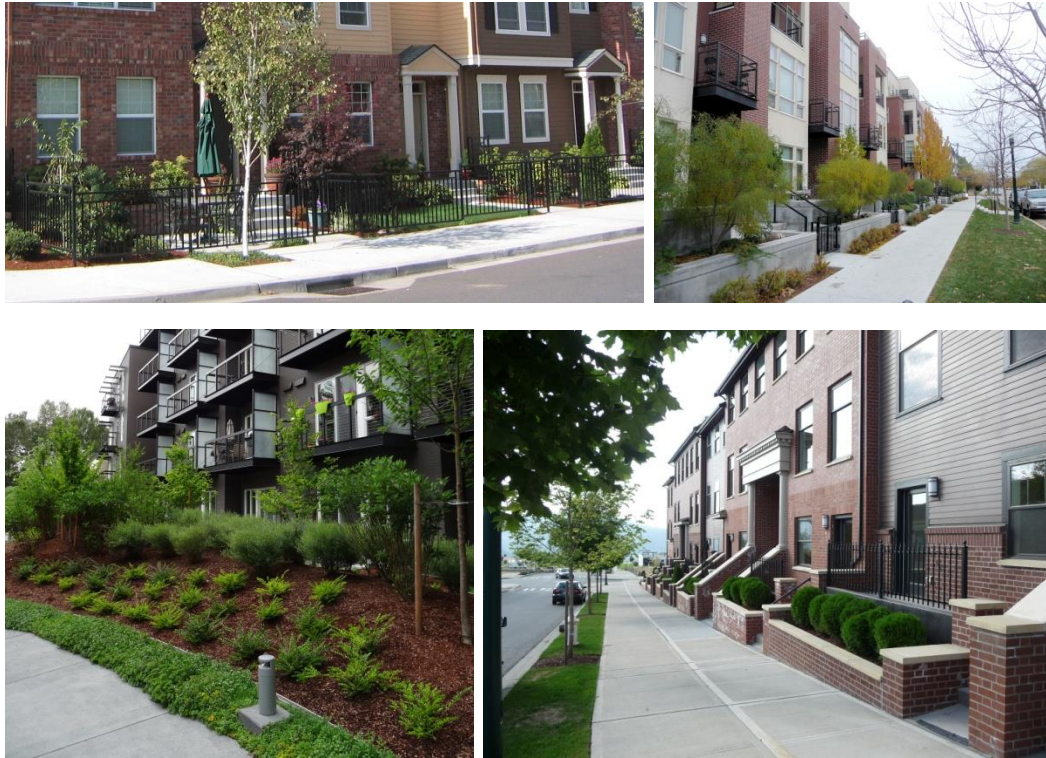
- b. The connection shall be at the same level as the public sidewalk and incorporate sufficient pedestrian amenities such as seating areas, landscaping, art features, water features, weather protection and pedestrian scale lighting, as determined by the design commission.
- c. The connection should use special paving, such as decorative colored concrete, concrete unit brick or stone pavers and coordinated design features such as uniform treatment of signing, landscaping and lighting over the entire length of the connection. Pervious paving is encouraged.
- d. At least 50 percent of the ground level building frontage shall be occupied by active residential or non-residential uses.
- e. Where ground level residential uses front onto the through block connection the building must feature at least one of the public/private space transition elements described below:
 - i. Raised deck or porch option. Provide at least a 60 square foot porch or deck raised at least 1 foot above grade. The porch or deck must be at least 6 feet wide, measured perpendicular to the building face. A low fence, rail or planting, which is 2 feet to 4 feet high, is encouraged between the through-block connection and the deck or porch. A porch roof or weather protection is encouraged. The design should consider accessibility.
 - ii. Private open space option. Provide a private open space at least a 10 foot wide between the face of the residence and the edge of the through-block connection. The space may be paved or landscaped. A low fence, rail or planting, which is 2 to 4 feet high shall be provided between the through-block connection and the open space.
 - iii. Landscaped area. Provide a landscaped area at least 10 feet wide between the face of the building and the edge of the through-block connection. The plantings must reach 3 feet high within 3 years after planting.
 - iv. Raised ground floor. If the residence's ground floor is at least 3 feet above the grade adjacent to the building, then the landscaped area in option (iii), above, may be reduced to 4 feet wide.
 - v. Other transition design measures that adequately protects the privacy and comfort of the residential unit and the attractiveness and usefulness of the pathway at least as effectively as option (i) through (iv) above, as determined by the design commission.

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Figure 7. Acceptable public/private transitional space design between through-block connections and ground level residential units.

The upper left images uses a low fence and landscaped setback. The right images use landscaped terraces and elevated ground level units. The lower left image uses a landscaped berm between the pathway and semi-private open space.



f. Where ground level non-residential uses front onto the through block connection the building must feature:

- i. Transparent windows along 50 percent of the ground floor façade between 30” and 10’ above the through-block connection.
- ii. Entrances facing the through-block connection are required for each tenant adjacent to the through block connection.

g. No more than 50 percent of through-block connection ground level frontages may be occupied by vehicle parking areas. Where surface level parking areas are adjacent to the through block connections, landscaping and building design features shall be included to add visual interest and screen vehicles while designing for safety of pedestrians along the connection.

h. The through-block connection may not be covered by a roof or story; provided portions of the public open space may be covered for weather protection, but not enclosed, and skybridges connecting two buildings are allowed if the skybridge is less than 20 feet wide and less than 14 feet in height.

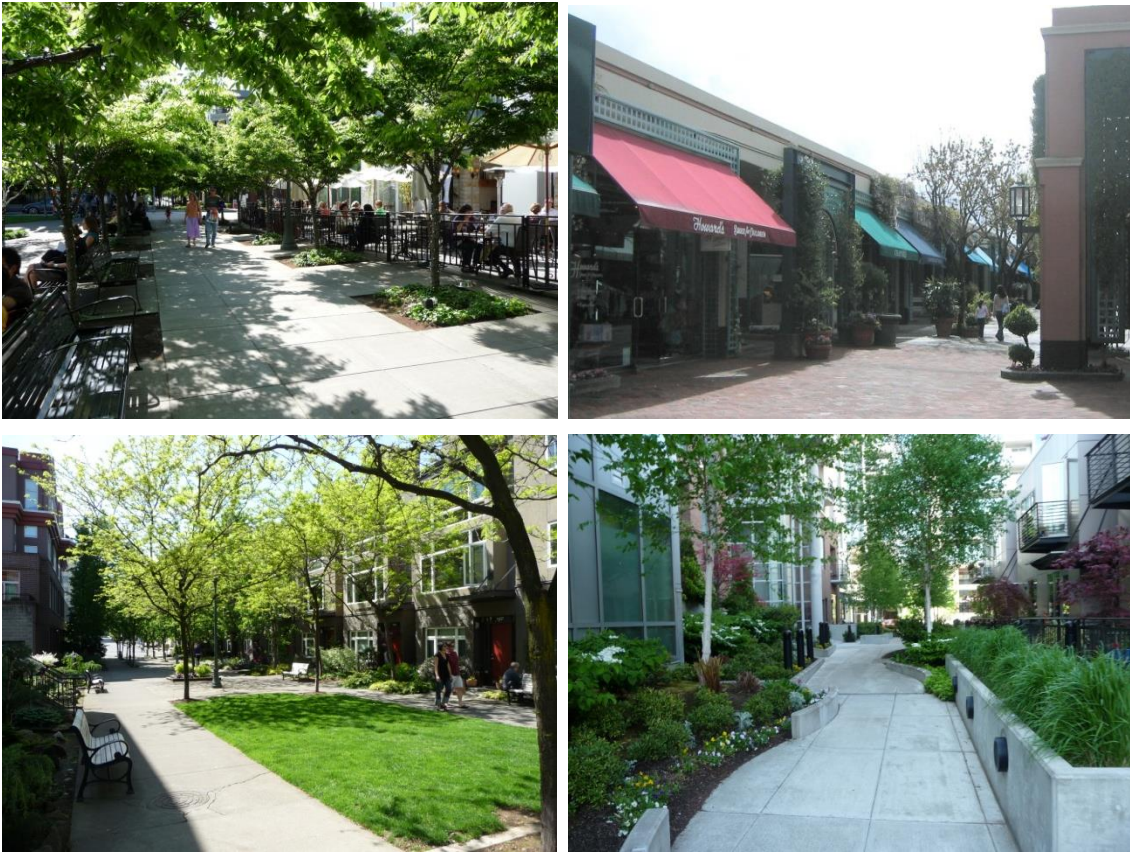
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- i. All city approvals or permits for any structure shall be reviewed for compatibility with the alignment of any existing or approved through-block connection.
- j. The connection shall be for exclusive pedestrian use and may not be used by vehicles except as necessary for maintenance or emergency purposes.
- k. The design commission may approve a connection that is not in a straight line.

Figure 8. Examples of acceptable through block connections.

The upper left image features trees on both sides of the connection and outdoor dining area with adjacent restaurants. The upper right image features retail shops fronting onto a corridor. The lower left image features a double pathway with central lawn and adjacent townhouses. The right image features adjacent apartments with a landscaped buffer.



3. Connection Plan. The applicant shall submit a plan with a minimum scale of one-quarter inch equals one foot for the connection, which shall include a description of all of the following elements: landscaping; lighting; street furniture; color and materials; relationship to building frontage; specific location of the connection and the relationship to and coordination with any public open space.

4. Public Access. The entire connection should be open to the public 24 hours per day. Temporary closures will be allowed as necessary for maintenance purposes. Upon city approval, portions of the

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connection may be separated, as required by the State of Washington Liquor and Cannabis Board or its successor agency, in order to allow outdoor seating for restaurant purposes.

F. Legal Agreements Required for Public Open Space and Through-Block Pedestrian Connections. The owners of property to be devoted to public open space or through-block pedestrian connections should retain fee ownership of that property but shall execute a legal agreement providing that such property is subject to a right of pedestrian use and access by the public. The agreement shall be in form and substance acceptable to the city attorney and be recorded with the King County Recorder's Office and the city clerk. The obligations under the agreement shall run with the land. At the end of 50 years from the date the agreement is signed, the agreement will be reviewed by the city and the agreement shall continue or change in accordance with the then-existing public need for pedestrian use and public access for subsequent 50-year terms. No modifications to either a public open space or through-block pedestrian connection shall be made without approval of the city other than ordinary repairs and maintenance.

19.11.070 Greenery and Outdoor Spaces

A. Objectives. Outdoor spaces and landscaping should be designed to achieve the design vision set forth in MICC 19.11.010. Development should provide for private open space for employees and residents. Plant materials placed in horizontal beds and on vertical walls/trellises/arbors areas should be used to frame and soften structures, to define site functions, to enhance the quality of the environment, screen undesirable views and create identity sense of place. Trees and landscaping shall be incorporated into the site design in order to soften and screen the visual impact of hard surfaces such as parking lots, service areas, and walls, as well as to enhance a sense of nature along pedestrian walkways, public rights-of-way, sidewalks and outdoor gathering places. Outdoor furniture and fixtures should be compatible with the project architecture and considered as integral elements of the landscape. Whenever possible development should include seating areas and be enhanced by such features as trees and flower displays, fountains, art and open spaces.

B. Development and Design Standards.

1. Landscaped Area Requirement. Landscaped surfaces equal to 25 percent of the development site shall be provided. All required plantings and landscaping shall be installed according to sound horticultural practices in a manner designed to encourage quick establishment and healthy plant growth, based on local and regional best landscaping practices. The following landscaped types and credits may be used to meet the standards.

a. Ground level planting beds qualify as landscaped surfaces at a 100% rate. Ground level planting area that supports trees (which will require deeper soil depths) may qualify for bonus credit. Specifically, planting areas that support a large tree (height greater than 30 feet at maturity) may be counted at a 200% rate (includes planting area under projected dripline at maturity) and planting areas that support a medium sized tree (height greater than 15 feet at maturity) may be counted at 150% rate. Terraced or other raised planting surfaces qualify as landscaped surfaces at the same rates as ground level planting beds depending on the soil depth (shallow soil depths capable of supporting only ground cover plants qualify at a 50% rate).

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b. Green roof. Green roofs qualify as a landscaped surface at a 50% rate (i.e., 2 sf of green roof qualifies as 1 sf of landscaped area). Green roof areas supporting large shrubs and trees may qualify for bonus credit (up to a 100% rate) as determined by the design commission depending on the planting's visibility.

c. Green walls/trellises/arbors.

i. Artistic green walls adjacent to ground level publicly accessible space with decorative patterns qualify as a landscaped surface at a 125% rate;

ii. Standard green walls qualify as landscaped surfaces at a 75% rate.

iii. Vine trellis/arbors/walls qualify as landscaped surfaces at a 50% rate. Planter areas must feature minimum soil depth necessary to maintain healthy vine growing conditions as determined by regional best landscaping practices.

2. Landscaping Standards.

a. Suitable Plant Species. Plant materials for required landscape surfaces shall be selected from a city approved palette of species and minimum size at time of planting. Plant materials should be native or adaptive drought-tolerant species.

b. Trees and Groundcover.

i. Prominent trees should be preserved to the extent feasible.

ii. Trees planted within 5 feet of public curbs or in paved areas shall be installed with root guards and grates to prevent physical damage to sidewalks, curbs, gutters, pavement and other public or private improvements.

iii. Groundcover shall be planted to have 100 percent groundcover in 2 years.

iv. Any tree cutting or pruning shall be consistent with Chapter 19.10 MICC.

c. Soil quality, depth, and volume. Applicants for new projects in Town Center must include the relevant provisions in construction details, based on regional best landscaping practices, including:

i. In planting beds: place 3 inches of compost and till to a minimum depth of 8 inches.

ii. In turf areas: place 1.75 inches of compost and till to a minimum depth of 8 inches.

iii. Scarify (loosen) subsoil 4 inches below amended layer to produce a minimum soil depth of 12 inches of uncompacted soil.

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iv. After planting: apply 2 to 4 inches of arborist wood chip mulch to planting beds. Coarse bark mulch may be used but has fewer benefits to plants and soil.

d. Irrigation. All landscaped areas shall be provided with an approved automatic irrigation system consisting of waterlines, sprinklers designed to provide head to head coverage and to minimize overspray onto structures, walks and windows. Water conserving types of irrigation systems should be used.

e. Maintenance. All landscaping shall be maintained in good condition. Maintenance shall include regular watering, mowing, pruning, clearance of debris and weeds, removal and replacement of dead plants and the repair and replacement of irrigation systems.

3. Surface Parking Lot Landscaping. Surface parking lots shall be landscaped to reduce and break up large areas of asphalt and paving.

a. The landscape design shall be incorporated with low impact development techniques designed to manage runoff from roofs, parking lots and other impervious surfaces.

b. A minimum 4-foot-wide (interior dimension) landscape bulb should be provided at the end of parking aisles.

c. A ratio of 1 tree for every 6 parking spaces should be provided throughout any surface parking lot. Of the total number of trees required, 50 percent shall be a minimum of 24-inch box in size, and 50 percent shall be a minimum of 15-gallon in size.

d. Planting areas for trees required within the parking rows of a surface parking lot should be achieved by one of the following acceptable methods:

i. A continuous landscape strip, at least 4 feet wide (interior dimension), between rows of parking stalls; or

ii. Tree wells, 8 feet wide, resulting from the conversion of 2 opposing full sized parking stalls to compact stalls; or

iii. Tree wells, at least 5 feet square, placed diagonally between standard or compact parking stalls.

4. Landscape Screening. All grade-level parking, structures for storage, trash and loading should be physically separated from the street and visually screened from pedestrian view by landscaping. The landscaping must include shrubs and trees, be located on private property and be wide enough to maintain the plant material and screen the view but not less than 3 feet wide.

5. Building Entries. Building entries should be emphasized with special landscaping and/or paving in combination with lighting.

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6. Building Facades. Building facade modulation and setbacks should include features such as courtyards, fountains or landscaping.

7. Continuity. Landscaping should provide design continuity between the neighboring properties.

19.11.080 Screening

A. Objectives. In order to obtain the design vision set forth in MICC 19.11.010, any storage, service and truck loading areas, utility structures, elevator and mechanical equipment on the ground or roof shall be screened from public view in such a manner that they are not visible from public streets, sidewalks or residential areas located on the hillside surrounding the Town Center.

B. Development and Design Standards.

1. On-Site Service Areas. All on-site service areas, loading zones, outdoor storage areas, garbage collection and recycling areas and similar activities should be located in an area not visible from public streets. Consideration should be given to developing common service courts at the interior of blocks. Service areas should accommodate loading, trash bins, recycling facilities, food scrap composting areas, storage areas, utility cabinets, utility meters, transformers, etc. Service areas should be located and designed for easy access by service vehicles and for convenient access by each tenant. Any emissions of noise, vapor, heat or fumes should be mitigated. Loading activities should generally be concentrated and located where they will not create a nuisance for adjacent uses.

2. Garbage, Recycling Collection, Composting and Utility Areas. Garbage, recycling collection, food scrap composting and utility areas shall be enclosed and screened around their perimeter by a wall or fence at least seven feet high, concealed on the top and must have self-closing doors. If the area is adjacent to a public street or pedestrian alley, a landscaped planting strip, minimum 3 feet wide, shall be located on 3 sides of such facility. Any emissions of noise, vapor, heat or fumes should be mitigated.

3. Meters and Mechanical Units. Water meters, gas meters, electric meters, ground-mounted mechanical units and any other similar structures should be hidden from public view or screened.

4. Fences. Fences should be made of masonry, ornamental metal or wood, or some combination of the three. The use of chain link, plastic or wire fencing is prohibited.

19.11.090 Lighting

A. Objectives. Lighting shall be an integral part of any new or existing development. Lighting shall contribute to the individuality, security and safety of the site design without having overpowering effects on the adjacent areas. Lighting is viewed as an important feature, for functional and security purposes, as well as to enhance the streetscape and public spaces. The design of light fixtures and their structural support should be integrated with the architectural theme and style of the main structures on the site.

B. Development and Design Standards.

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1. Pedestrian-Scale Light Fixtures. Pedestrian-scale light fixtures should be incorporated into the site design to give visual variety from one building to the next and should blend with the architectural style.
2. Light Type. Lighting should use LED or similar minimum wattage light sources, which give more “natural” light. Non-color corrected low-pressure sodium and mercury vapor light sources are prohibited.
3. Building Entrances. All building entrances should be well lit to provide inviting access and safety.
4. Building-Mounted and Display Window Lights. Building-mounted lights and display window lights should contribute to lighting of walkways in pedestrian areas.
5. Parking Areas. Parking area light fixtures should be designed to confine emitted light to the parking area. The height of the light fixtures should not exceed 16 feet. (consider adding lighting level requirement for parking garages)
6. Neon Lighting. Neon lighting may be used as a lighting element; provided, that the tubes are concealed and are an integral part of the building design. Neon tubes used to outline the building are prohibited.
7. Shielding. All lighting fixtures should be shielded or located to confine light spread within the site boundaries, to the extent possible, especially when adjacent to residential uses.

19.11.100 Building Design

A. Objectives. Building facades should be designed with a variety of architectural elements that suggest the building’s use and how it relates to other development in the area. Buildings should be oriented to the street frontage to enliven the street edge as well as to maximize access from the public sidewalk. Building facades should provide visual interest to pedestrians. Special care should be given to landscaping, mass and roof forms of buildings to provide visual interest from residential areas located on the hillside surrounding the Town Center as well as from public streets or sidewalks. Street level windows, minimum building setbacks, on-street entrances, landscaping and articulated walls should be encouraged. Building facades should be designed to achieve the purpose of the development and design standards and the Town Center vision described in MICC 19.11.010. Architectural features and other amenities should be used to highlight buildings, site features and entries and add visual interest. Within the Town Center all development shall provide elements that attract the interest of residents, shoppers and workers.

B. Development and Design Standards.

1. Fenestration

a. Transparent Facades. Articulated, transparent facades should be created along pedestrian rights-of-way. Highly tinted or mirrored glass windows, shades, blinds or screens that prevent pedestrian view into buildings shall not be allowed.

b. Ground Floor Windows and Doors. Major new construction along 77th Avenue SE, 78th Avenue SE and SE 27th Street, within the TC-5 and TC-4 sub-areas, shall have at least 75 percent

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of the length of the ground-floor facade between the height of two feet and seven feet devoted to windows and doors affording views into retail, office, or lobby space.

c. Upper Story Facades. Upper stories of buildings above two stories should maintain an expression line along the facade such as a setback, change of material, or a projection to reduce the perceived building mass. Upper floor windows should be divided into individual units and not consist of a “ribbon” of glass. Upper-story features should improve the relationship between the upper story and the street. Such features include, but are not limited to, balconies, roof decks, bay windows or upper-story commercial activities.

2. Street-Facing Facade Elements. All major new construction shall include at least seven of the following elements on the street facing facades, both on the ground floor level and on other levels, as may be deemed desirable by the design commission taking into account the nature of the development and the site.

- a. Window and door treatments which embellish the facade.
- b. Decorative light fixtures.
- c. Unique facade treatment, such as decorative materials and design elements.
- d. Decorative paving.
- e. Trellises, railings, gates, grill work, or unique landscaping.
- f. Flower baskets supported by ornamental brackets.
- g. Recessed entrances.
- h. Balconies.
- i. Medallions.
- j. Belt courses.
- k. Decorative masonry and/or tilework.
- l. Unique, handcrafted pedestrian-scaled designs.
- m. Planter boxes with seasonal color.
- n. Projecting metal and glass canopy.
- o. Clerestories over storefront windows.
- p. Other elements as approved by the design commission.

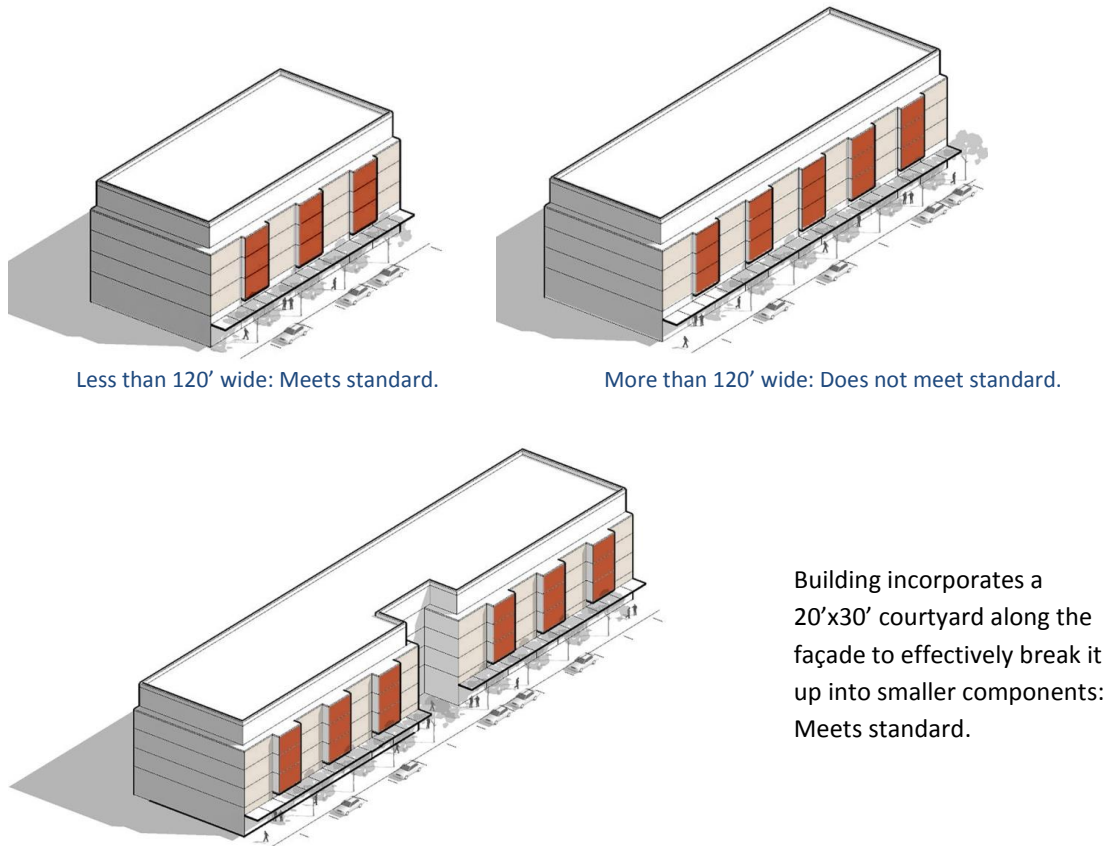
3. Major façade modulation. Block frontages shall include at least one of the following features (a, b or c) no more than every 120 feet to break up the massing of the block and add visual interest. The design commission may approve modifications or alternatives to the following features if the proposed modulation at least as aesthetically acceptable as one of the following features:

- a. Provide vertical building modulation at least 20 feet deep and 30 feet wide. See example on Figure 9. For multi-story buildings, the modulation must extend through more than one-half of the building floors.

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Figure 9. Illustrating maximum façade width standards.



b. Use of a significant contrasting vertical modulated design component featuring all of the following:

- i. Component extends through all floors above the first floor fronting on the street. Exception: upper floors that are set back more than 10 feet horizontally from the façade are exempt.
- ii. Utilizes a change in building materials that effectively contrast from the rest of the façade.
- iii. Component is modulated horizontally from the rest of the façade by an average of 24 inches.
- iv. Component is designed to provide roofline modulation.

c. Façade employs building walls with contrasting articulation and roofline modulation that make it appear like two or more distinct buildings. See examples on Figure 10. To qualify for this option, these contrasting façades must employ all of the following:

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- i. Different building materials and/or configuration of building materials; and
- ii. Contrasting window design (sizes or configurations).

Figure 10. Façade examples employing building walls with contrasting articulation that make it appear like two or more distinct buildings.



Figure 11. Examples that do not meet maximum façade width provisions.



4. Minor Façade Modulation. All buildings shall include articulation features every 50 feet (maximum) to reduce the perceived scale of large buildings and add visual interest to facades. See examples on Figure 12. At least three of the following features shall be employed at intervals no greater than 50 feet subject to design commission approval taking into account the nature of the development and the site:

- a. Window fenestration patterns and/or entries;
- b. Use of vertical piers/columns;
- c. Change in roofline;
- d. Change in building material or siding style;
- e. Vertical elements such as a trellis with plants, green wall, art element;

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- f. Providing vertical building modulation of at least 12 inches in depth if tied to a change in roofline modulation or a change in building material, siding style, or color;
- g. Other design techniques approved by the design commission that effectively reinforce a pattern of small storefronts (or residences, if residential uses are used).

Figure 12. Minor Façade Modulation examples.



5. Walls. Untreated blank walls are prohibited. A wall (including building façades and retaining walls) is considered a blank wall if it is over six feet in height, has a horizontal length greater than 15 feet and does not include a transparent window or door. Methods to treat blank walls can include but are not limited to:

- a. Display windows at least 16 inches of depth to allow for changeable displays. Tack on display cases shall not qualify as a blank wall treatment.
- b. Landscape planting bed at least five feet wide or a raised planter bed at least two feet high and three feet wide in front of the wall with planting materials that are sufficient to obscure or screen at least 60 percent of the wall's surface within three years.
- c. Installing a vertical trellis in front of the wall with climbing vines or plant materials.
- d. Installing a mural as approved by the design commission.
- e. Special building detailing that adds visual interest at a pedestrian scale as determined by the design commission. Such detailing must use a variety of surfaces; monotonous designs will not meet the purpose of the standards.

6. Entrances. Building entrances should concentrate along the sidewalk and should be physically and visually inviting. Entrance doors shall be recessed from the facade surface to emphasize the entrance and provide a sheltered transition to the interior of the building. Special paving treatments and/or

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landscaping should be used to enhance the entry.. Minimum eight-foot wide pedestrian walkways with wheelchair ramps should be constructed between the sidewalk and building entrances.

7. Roofs. Roofs are a design element and shall relate to the building facade articulations. A variety of roof types and configurations should be used to add interest and reduce the perceived building mass. Varied parapet height or roofline is encouraged. Sloping roofs are also encouraged.

8. Residential Uses on Ground Floor. Where permitted, residential uses on the ground floor shall comply with the standards in MICC 19.11.060.E.2.e.

9. Identity Emphasis. Public buildings, unique community structures and corner structures should have a prominent scale, emphasizing their identity.

10. Corner Lots. Buildings on corner lots should be oriented to the corner. Corner entries and/or architectural treatment should be used to emphasize the corner.

11. Franchise Design. Prototype design for franchises should use customized components consistent with the design requirements for the Town Center that achieve the purpose, intent and vision set forth in MICC 19.11.010.

12. Harmony. The elements of a building should relate logically to each other, as well as to the surrounding buildings. A single building or complex should be stylistically consistent; architectural style, materials, colors and forms should all work together.

13. Canopies and Awnings. Specially designed all-weather features that integrate weather protection systems at the sidewalk level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection and sunlight on the pedestrian environment to make spending time outdoors feasible in all seasons, such as awnings, canopies, trellises, pergolas, or covered arcades. All major new construction shall have canopies or all-weather features along 80 percent of a building's frontage along Primary Retail Frontages shown on Figure 2.

- a. Any canopy or awning over a public sidewalk should be a permanent architectural element.
- b. Any canopy or awning over a public sidewalk should project out from the building facade a minimum horizontal width of six feet and be between eight to 12 feet above grade.
- c. Architectural details should not be concealed by awnings or canopies.
- d. Awning shapes should relate to the shape of the facade's architectural elements. The use of traditionally shaped awnings is encouraged.
- e. Vinyl or plastic awnings or canopies are not allowed.
- f. All awnings or canopies must function to protect pedestrians from rain and other weather conditions.

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14. Courtyards. An outdoor covered or uncovered area easily accessible to the public at the same level as the public sidewalk or pedestrian connections which should:

- a. Be at least 10 feet in width, with a building facade on at least one side;
- b. Be covered with trees, groundcover, or other landscaping over at least 50 percent of its area; and
- c. Include seating, special paving material, pedestrian-scale lighting and other pedestrian furnishings;
- d. Runoff from courtyard pavement may be managed with low impact development techniques when allowed by the code official;
- e. The courtyard may not be covered by a roof, story or skybridge; provided portions of the courtyard may be covered for weather protection, but not enclosed.

19.11.110 Materials and Color

A. Objectives. Textured high quality materials and colors should bring a visually interesting experience into the streetscape. Color should be carefully considered in relation to the overall design of the building and surrounding buildings. Color and materials should highlight architectural elements such as doors, windows, fascias, cornices, lintels, and sills. Variations in materials and colors should be generally limited to what is required for contrast or to accentuate architectural features. Piecemeal embellishment and frequent changes in materials are to be avoided. The materials and colors selected should be consistent with the intent, purpose and vision set forth in MICC 19.11.010.

B. Development and Design Standards.

1. Building Exteriors. Building exteriors should be constructed from high quality and durable materials. It is important that the materials and colors will weather well and that building exteriors will need minimal maintenance.
2. Regional Focus: Materials and colors should reflect Mercer Island's regional setting.
3. Attention to All Sides. Materials and colors should be used with cohesiveness and compatibility on all sides of a building.
4. Concrete Walls. Concrete walls should be architecturally treated. The enhancement may include textured concrete such as exposed aggregate, sand blasting, stamping or color coating.
5. Harmonious Range of Colors. A harmonious range of colors should be used within the Town Center. Neon or very bright colors, which have the effect of unreasonably setting the building apart from other adjacent buildings on the street, should not be used.

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6. Bright Colors. Bright colors should be used only for trim and accents. The design commission may approve bright colors if the use is consistent with the building design and other design requirements.

7. Undesired Materials. Beveled metal siding, mirrored glass, and vinyl siding should not be used. EIFS, stucco and similar materials should be limited to use as a minor building façade element.

8. Variation of Materials. A variation of building materials should be used to assist in the creation of a visually interesting experience.

19.11.120 Street Standards

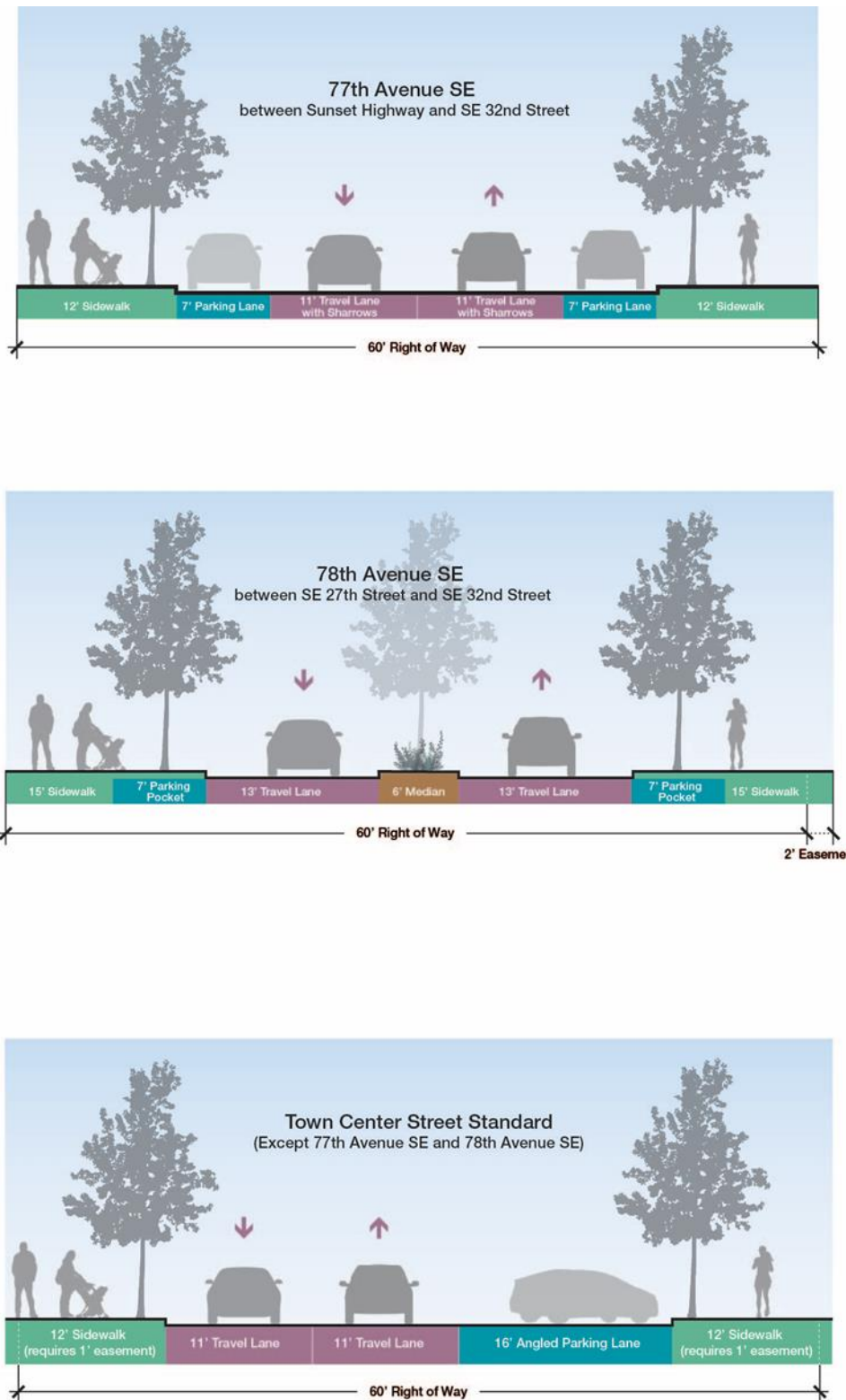
All major new construction shall improve the right-of-way adjacent to the property as required below. The design commission may require or grant a modification to the nature or extent of any required street improvement for any of the following reasons upon recommendation by the city engineer:

- A. If unusual topographic or physical conditions preclude the construction of the improvements as required; or
- B. If the required improvement is part of a larger project that has been scheduled for implementation in the city's 6-year Capital Improvement Program; or
- C. If angled parking is required but parallel parking would enhance pedestrian, vehicle or bicycle safety, or result in a more desirable pedestrian environment; or
- D. If other unusual circumstances preclude the construction of the improvements as required.

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Figure 13. Town Center Street Standards.



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19.11.130 Parking, Vehicular and Pedestrian Circulation

A. Objectives. The Town Center should be accessible for vehicles but have an emphasis toward the needs of the pedestrian. Clear, easy to understand circulation should be designed into all development to allow drivers and pedestrians to move safely on and off the site, and within it, without confusion and without disrupting on-street traffic flow. Development should maintain mobility and maximize opportunities for alternative modes of transportation in the Town Center. Placement of structures, landscaping, circulation patterns and access points should collectively seek to promote an integrated, multi-modal transportation system. The harmonious integration of pedestrian and transit user circulation should be considered in every aspect of site design. Development shall provide adequate parking with safe and convenient pedestrian access. Parking lots shall be located underground or behind buildings. Parking structures should not dominate the street frontage, and must blend with the building’s architectural theme. Creatively designed, clean and functional pedestrian connections are encouraged to provide access through blocks, between properties and/or from the public right-of-way. Parking shall be designed consistent with the urban design vision set forth in MICC 19.11.010 and complement the pedestrian activities.

B. Development and Design Standards.

1. Parking.

a. Number of Parking Stalls Required. All new development and remodels greater than 10 percent of the existing gross floor area shall provide the number of parking stalls set forth in this table:

RETAIL (Stalls per gross square foot)			OFFICE (Stalls per gross square foot)			RESIDENTIAL (Stalls per unit)	
General Retail	Restaurant/Deli /Bakery/ Food	Hotel	Financial Services	Health/ Barber/ Beauty	Other Professional Services		Senior
2 to 3/1000	5 to 10/1,000	1/Guest Room plus 2/3 Emp. on shift, plus 5/1,000 square feet of retail/office	3 to 5/1,000	4 to 5/1,000	3 to 5/1,000	1 to 1.4 per unit. Site specific deviations to allow less than 1 stall per unit may be allowed based on a detailed parking analysis and with approval of the code official.	.3 to 1 per unit

LIBRARIES/MUSEUM PUBLIC BUILDINGS (Stalls per gross square foot)	ASSEMBLY OR MEETING SPACES	OTHER USES – NONSPECIFIED (Stalls per gross square foot)
3 to 5/1,000 Square Feet	1 space for 3 seats up to 1 space for 5 seats, plus 2 spaces for 3 employees	As determined by the code official

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b. Determination Within Range. The code official shall have the final authority to require parking within the minimum and maximum limits based upon the applicant's submittal of a completed site plan and parking analysis.

c. Underground or Structured Parking Required. If the applicant for a mixed use project or for a residential project provides more parking than two spaces per unit for any part of a project consisting of residential units or 3.5 spaces per 1,000 square feet for any part of a project that is not used for residential units, then all such additional parking shall either be underground or on the second or higher story of structured parking. This subsection shall not apply to additional parking spaces that may be required pursuant to MICC 19.01.050.

d. Parking Lot Configuration. Parking lot design should conform to the standard stall diagrams set out in Appendix A* to this title, unless alternative design standards are approved by the design commission and the city engineer. No more than 50 percent of the required off-street parking spaces for office and residential uses may be designed for accommodating compact vehicles. No more than 25 percent of the required off-street parking spaces for all other uses may be designed for accommodating compact vehicles. Such parking spaces must be clearly designated as compact stalls. *-NOTE: Appendix A will be updated to comply with WSDOT-recommended parking standards.

e. Shared Parking.

i. The amount of off-street parking required in subsection B.1.a of this section may be reduced by no more than 50 percent, as determined by the code official upon approval by the city engineer (and design commission for major new construction), when shared off-street parking facilities for two or more uses are proposed, provided:

(a) The normal hours of operation of each use are separated by at least two hours; or

(b) A parking demand study is prepared by a professional traffic engineer and submitted by the applicant documenting that the hours of actual parking demand for the proposed uses will not conflict, and that uses will be served by adequate parking if shared parking reductions are authorized.

ii. The determination whether shared parking will be allowed shall occur at the time the shared parking is proposed and when a change of use occurs.

iii. The total number of parking spaces requested for shared parking shall not be less than the minimum required spaces for any single use.

iv. The parking facilities are designed and developed as a single on-site common parking facility, or as a system of on-site and off-site facilities. If off-site facilities are used, all facilities shall be connected with improved pedestrian facilities and no building or use should be more than 1,320 feet walking distance from the most remote shared parking facility.

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v. If the shared parking is on one or more different properties, a covenant or other contract for shared parking between the cooperating property owners must be approved by the Director. This covenant or contract shall be recorded with the King County Department of Records and Election Division as a deed restriction on all properties and cannot be modified or revoked without the consent of the code official.

vi. If requirements for shared parking are violated, the affected property owners shall provide a remedy satisfactory to the code official or provide the full amount of required off-street parking for each use, in accordance with the requirements of this chapter.

f. Access Restriction Prohibited. Restricting vehicular and pedestrian access between adjoining parking lots at the same grade is prohibited.

g. Surface Parking Lot Location.

i. Behind Structure. All surface parking lots shall be located behind structures.

ii. Corner. Parking lots shall not be located on a corner facing an intersection.

h. Design of Surface Parking and Pedestrian Access.

i. Entrances.

(a) Shared. The number of parking lot entrances, driveways and curb cuts should be minimized in favor of combined driveways and coordinated parking areas among business owners.

(b) 78th Avenue SE. Individual parking entrances and curb cuts on 78th Avenue SE should be consolidated.

ii. Pedestrian Walkways. Pedestrian walkways should be provided through all parking lots. Raised concrete pavement should be provided where the walkway traverses between parking stalls and/or is adjacent to vehicular circulation.

iii. Landscaping and Lighting. Landscaping and lighting of surface parking lots should be in conformance with MICC 19.11.070 and MICC 19.11.090.

iv. Concrete Curbs. All parking areas, landscaping areas and driveways should be surrounded by six-inch high vertical concrete curbs.

v. Wheel Stops. All landscape and pedestrian areas should be protected from encroachment by parked cars. Two-foot wide wheel stops (as measured outward from the paved or planted area) should be constructed for all nonparallel parking stalls.

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vi. Amenities. Amenities such as seating and planters should be provided to encourage pedestrian circulation.

i. Design of Structured Parking.

i. Relationship to Main Building. Parking structures should be architecturally integrated or designed with an architectural theme similar to the main building.

ii. Screening. A floor of a parking structure should not face the street. If the design commission determines that there is no feasible alternative to a street facing floor of a parking structure, then the perimeter of the floor of a parking structure facing the street should have a screening mechanism designed to shield automobiles and any mechanical appurtenances from public views.

iii. Street Side Edges. An architectural treatment, landscaping and/or space for pedestrian-oriented businesses along the street-side edges of the parking structure shall be provided.

iv. Pedestrian Access. Where possible, pedestrian elevators and stairwells serving structured parking shall be located in a public lobby space or out onto an active public street.

2. Signs and Wayfinding (Add a section on the design/visibility/etc of exterior signs directing cars into the parking garage as well as interior signs for wayfinding within the garage)

3. Loading Space. Off-street loading space with access to a public street shall be required adjacent to or within or underneath each building. Such loading space shall be of adequate size to accommodate the maximum number and size of vehicles simultaneously loaded or unloaded in connection with the business or businesses conducted in the building. No part of the vehicle or vehicles using the loading space may project into the public right-of-way.

4. Drive-Through Facilities. Drive-through facilities and stacking lanes should not be located along the street frontage of a building that faces a right-of-way. Stacking lanes shall be designed so as to be able to accommodate all vehicles on-site, and no part of a vehicle using a drive-through facility shall project into the public right-of-way.

5. Public Parking. On-site public parking complying with the following requirements shall be provided in any new mixed use or nonresidential development and for all existing developments desiring to provide public parking that meets the requirements of this section. Nothing contained in this provision shall be deemed to prevent a building owner from designating parking spaces as being available to the public exclusively for electric vehicle charging or as being available exclusively to an operator of a car sharing service that makes vehicles available for public use.

a. All parking stalls provided for nonresidential uses, or if the primary use in the building is office then for nonoffice uses, or if the primary use of the building is hotel/motel then for non-hotel/motel uses, shall be available for public parking, provided, however, parking stalls that the

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code official concludes were required to be dedicated for the use of a specific tenant in accordance with a written lease provision in effect as of January 12, 2013, and which were specifically signed for that purpose on January 12, 2013, may be excluded from this requirement until the earlier of the expiration, termination, modification or amendment of the lease.

b. Public parking stalls shall be available to motorists for such time period as is determined by the owner, but not less than two hours.

c. An owner may require that the motorist patronize at least one business in the development but otherwise will be entitled to leave the development without moving their vehicle, subject to the time period specified by the owner as provided in subsection (B)(4)(b) of this section.

d. Once public parking is provided under this provision, it may not thereafter be eliminated.

e. Public parking under this provision shall not be required for a new mixed use or nonresidential development that is: (i) two stories or less, and (ii) no greater than 10 percent of the total gross floor area of all existing structures on the parcel as of October 30, 2015.

6. Repurposing of Parking Stalls.

a. Parking stalls required for non-residential uses in a new development or existing development by the foregoing provisions of this Section must be kept available exclusively to provide parking for non-residential uses in that development, as applicable. For parking stalls required for office use, this requirement shall only apply on weekdays between 7:00 am and 6:00 pm, excluding national holidays. Up to 50% of such stalls designated for office use may be allocated for residential use during the hours of 6:00 pm and 7:00 am weekdays and at all times on weekends and national holidays.

b. Owners or operators of developments in which such parking stalls are located are responsible for ensuring that such parking stalls are, in fact, occupied as above required only by vehicles of persons associated with the respective uses and are not being occupied by other vehicles. Compliance with, and allowing public parking in accordance with, the provisions of MICC 19.11.130.B.5 or shared parking in accordance with MICC 19.11.130.B.1.e shall not be considered a violation of this exclusive use requirement.

19.11.140 Signs

A. Objectives. Signs shall be distinctive, finely crafted and designed to enhance the aesthetics of the Town Center and to improve pedestrian and motorist safety. Signs shall be designed for the purpose of identifying the business in an attractive and functional manner and to help customers find the specific business locations; they should not serve as general advertising. The size of signs shall be in proportion to the size of business store frontage. Signs shall be integrated into the building design, compatible with their surroundings and clearly inform pedestrians and motorists of business names, but should not detract from the architectural quality of individual buildings.

B. Development and Design Standards.

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1. Freestanding Ground Signs.

a. Number. A building or complex may not display more than one ground sign on each street frontage.

b. Design. The sign shall be architecturally compatible with the style, materials, colors and details of the building. The sign content should be integrated in one design (in contrast to displaying two or more separate elements). Use of symbols is encouraged.

c. Size. All signs shall be:

i. Proportionate. Proportionate to the street frontage of the businesses they identify; and

ii. Maximum Size. In no case larger than:

(a) Twenty-five square feet. A maximum of 25 square feet for individual business ground signs, shopping complex identification ground signs and signs within a 10-foot setback from any property line on a street.

(b) Fifty square feet. A maximum of 50 square feet for joint ground signs (identifying more than one business): six square feet for each business included in the complex. When more than five businesses are included in the complex, one additional ground sign may be placed on the street front, if signs are located at least 100 feet apart.

d. Maximum Height. The maximum height of any sign within 10 feet from any property line on a street shall be 42 inches. All other ground signs shall be a maximum of six feet in height. The height of a freestanding ground sign is measured from the top of the sign to the existing grade or finished grade, whichever is lower, directly below the sign being measured.

e. Backs of Signs. Exposed areas of backs of signs should be finished to present an attractive appearance.

2. Wall Signs.

a. Eligibility. A wall sign shall be granted to commercial uses occupying buildings facing the streets and are limited to one sign per business on each street frontage. Commercial uses occupying a building adjacent to a driveway shall not qualify for a second wall sign. However, a commercial use occupying a building whose only exposure is from a driveway or parking lot shall be allowed one wall sign. Businesses that demonstrate that the entry off a driveway or parking lot is used by customers shall be eligible for a wall sign.

b. Size. All signs shall be:

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i. Proportionate. Proportionate to the street frontage of the businesses they identify; and

ii. Maximum Size. In no case larger than:

(a) Twenty-five square feet. Twenty-five square feet for individual business signs.

(b) Fifty square feet. Fifty square feet for joint business directory signs identifying the occupants of a commercial building and located next to the entrance.

c. Determination of Size. The sign size is measured as follows:

i. “Boxed” Displays. “Boxed” display – total area of display including the background and borders.

ii. Individual Letters and Symbols. Individual letters and symbols – total combined area of a rectangle drawn around the outer perimeter of each word and each symbol.

d. Placement. Wall signs may not extend above the building parapet, soffit, the eave line or the roof of the building, or the windowsill of the second story.

e. Signs Above Window Displays. When a commercial complex provides spaces for signs above window displays, these signs should be compatible in shape, scale of letters, size, color, lighting, materials and style.

f. Design Commission Discretion. If an applicant demonstrates to the satisfaction of the design commission that a wall sign is creative, artistic and an integral part of the architecture, the commission may waive the above restrictions.

g. Master Sign Plan. When multiple signs for individual businesses are contemplated for a major construction project, a master sign plan stipulating the location and size of future signs will be required.

3. Projecting Signs.

a. Sidewalk Clearance. Projecting signs should clear the sidewalk by a minimum of eight feet.

b. Maximum Size. Projecting signs shall not be larger than six square feet.

c. Projection from Building. Signs should not project over four feet from the building unless the sign is a part of a permanent marquee or awning over the sidewalk.

d. Awnings. Awnings that incorporate a business sign shall be fabricated of opaque material and shall use reverse channel lettering. The design commission may require that an awning sign be

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less than the maximum area for wall signs to assure that the awning is in scale with the structure. Back-lit or internally lit awnings are prohibited.

4. Window Signs.

a. Area Limitation. Permanent and temporary window signs are limited to maximum 25 percent of the window area.

b. Integration with Window Display. Every effort should be made to integrate window signs with window display.

5. Parking Lot Signs. Signs within parking lots should be limited to those necessary for safety, identification and direction. The code official shall specify required wording for signage identifying public parking required by MICC 19.11.130.B.5.

6. Directional Signs.

a. Minimal Number. To avoid a cluttered appearance, only those directional signs necessary to protect the safety of pedestrians and passengers in vehicles will be allowed. The code official may, however, require directional signs as necessary to provide motorists with required information to find parking area entrances.

b. Size. These signs shall be no higher than 36 inches and no larger than four square feet.

7. Temporary Signs. Unless prohibited by this chapter, use of temporary signs in the Town Center shall be governed by MICC 19.06.020, Temporary signs.

8. Prohibited Signs.

a. Roof. Signs mounted on the roof are not permitted.

b. Moving Signs. Animated, moving, flashing, blinking, reflecting, revolving, or other similar signs or signs that incorporate these elements are prohibited.

c. Pennants and Inflated Signs. Pennants or inflated signs, balloons and figures are prohibited.

d. Vehicles. Signs attached to or painted on vehicles parked and visible from the public right-of-way are prohibited if, based on the relative amount of time the vehicle is parked rather than being used as a means for actual transportation, the vehicle's primary purpose is as a stationary sign rather than a means for actual transportation.

e. Phone Numbers. Phone numbers are prohibited from permanent, exterior signs.

9. Lighted Signs. Lighted signs shall be of high quality and durable materials, distinctive in shape, designed to enhance the architectural character of the building and use LED lights or other minimum

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wattage lighting, as necessary to identify the facility or establishment. Channel or punch-through letters are preferred over a sign that contains text and/or logo symbols within a single, enclosed cabinet.

10. Street Numbers.

- a. Use. city-assigned street numbers should be installed on all buildings.
- b. Effect on Permitted Sign Area. Street numbers will not be counted towards permitted sign area.

11. Design Commission Discretion. If an applicant demonstrates to the satisfaction of the design commission that a sign is creative, artistic and an integral part of the architecture, the commission may waive the above restrictions.

12. Master Sign Plan. When multiple signs for individual businesses are contemplated for a major construction project, a master sign plan stipulating the location and size of future signs will be required.

19.11.150 Administration

A. Design Review.

1. Authority. Design review shall be conducted by the city's design commission or code official consistent with the process provided in MICC 19.15.040(F). The design commission or the code official shall review the applicability of the development and design standards and determine the project's conformance with this chapter. The degree of conformance with all of the development and design standards will vary on a project by project basis. The commission shall review each project on the project's degree of overall conformity with the objectives, standards and the comprehensive plan. The design commission or the code official has the authority to approve, approve with conditions, or deny projects based on the criteria set forth in MICC 19.15.040(F).
2. Applicant's Responsibility. It is the responsibility of the applicant to design a project in compliance with the objectives and development and design standards of this chapter.
3. Shall/Should. When a standard uses the word "shall," the standard is mandatory. When a standard uses the word "should," the standard is mandatory unless the applicant can demonstrate, to the satisfaction of the design commission, an equal or better means of satisfying the standard and objective.
4. Development Agreements. An applicant may request modifications to any development and design standards set forth in this chapter by requesting a development agreement consistent with RCW [36.70B.170](#) through [36.70B.210](#). All development agreements shall be in form and content acceptable to the city attorney and will be reviewed and either approved or rejected by the city council after a public hearing pursuant to RCW [36.70B.200](#).

B. Conditional Use Permit Review.

1. General.

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a. Intent. The intent of the conditional use permit review process is to evaluate the particular characteristics and location of certain uses relative to the development and design standards established in this chapter. The review shall determine if the proposal should be permitted after weighing the public benefit and the need for the use with the potential impacts that the use may cause.

b. Scope. The conditional use permit review process shall apply to all uses identified as requiring a conditional use permit in the chart of permitted uses set forth in MICC 19.11.020.A. No building permit, business license or other permits related to the use of the land shall be issued until final approval of the conditional use permit.

c. Review Authority. The planning commission shall conduct the conditional use permit review process and determine whether the proposed conditional use shall be allowed.

d. Process.

i. Time Frame and Procedure. Conditional use permit review shall be conducted in accordance with the timelines and procedures set forth in MICC 19.15.020, Permit review procedures, except as the notice provisions are modified below.

ii. Notice.

(a) Public notice of any proposal in the Town Center which involves a conditional use shall be posted on the project site and mailed to all property owners within 500 feet of the proposed site.

(b) Legal notice shall be published in the official city newspaper (Chapter [2.10](#) MICC).

(c) The notice shall identify the general project proposal and the date, time and location of the planning commission open record hearing, and shall be provided a minimum of 10 days prior to the hearing.

iii. Written Decisions. All decisions of the planning commission shall be reduced to writing and shall include findings of fact and conclusions that support the decisions.

iv. Expiration of Approval. If the activity approved by the conditional use permit has not been exercised within two years from the date of the notice of decision setting forth the conditional use decision, or if a complete application for a building permit has not been submitted within two years from the date of the notice of the conditional use decision, or within two years from the decision on appeal from the conditional use decision, conditional use approval shall expire. The design commission or code official may grant an extension for no longer than 12 months, for good cause shown, if a written request is submitted at least 30 days prior to the expiration date. The applicant is responsible for knowledge of the expiration date.

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2. Review Process.

a. Application Submittal. A complete conditional use permit application, on forms provided by the city development services group (DSG), shall be submitted at the same time as the application and materials for design review. The applicant shall provide a written narrative of the proposed conditional use and address in writing how the proposed use complies with the criteria for conditional use permit approval in MICC 19.11.150.B.2.e. Depending on the type of conditional use proposed, the code official may require additional information.

b. SEPA Determination. The city environmental official will review the SEPA environmental checklist, the proposal and other information required for a complete application to assess the project's probable environmental impacts and issue a determination pursuant to MICC 19.07.120.

c. Acceptance. DSG staff shall determine if the required materials have been provided for review of the conditional use permit, in conjunction with the applicable design review process. If so, the application will be accepted and the process for determination of completeness and review set forth in MICC 19.15.020 shall commence.

d. Review. The planning commission shall conduct an open record hearing to consider a conditional use permit application. The commission may approve the application, or approve it with conditions, only if the all of the applicable criteria set forth below are met. The commission shall deny the application if it finds that the applicable criteria set forth below have not been met. Conditions may be attached to assure that the use is compatible with other existing and potential uses within the same general area and that the use shall not constitute a nuisance. Conditional use permit application review shall be coordinated with design review as follows:

i. Major New Construction. If the conditional use permit application is part of a major new construction project, design review shall commence in accordance with the time frames and procedures set forth in MICC 19.15.040(F); except as follows: The planning commission shall review the conditional use permit application at an open record hearing after the design commission's preliminary design review at a public meeting. If the planning commission approves the conditional use permit (without or with conditions), then the planning commission will forward the project to the design commission for the final design review.

ii. Change in Use and Minor Exterior Modifications. If the conditional use permit application proposes a change in use but is not part of a major new construction project, or is part of a minor exterior modification, then design review shall proceed administratively in accordance with the provisions in MICC 19.15.040(F), and the planning commission shall review the conditional use permit application at an open record hearing. If the staff determines that the minor exterior modification should be reviewed by the design commission as provided for in MICC 19.15.040(F), then the design commission's review and decision shall be conducted at an open record hearing separate from the planning commission's open record hearing on the conditional use permit application.

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e. Criteria for Approval of a Conditional Use Permit. Following the applicable review process above, the planning commission shall approve, approve with conditions or deny a conditional use permit application based on finding that the following criteria have been met:

i. General Criteria.

(a) The proposed use complies with all the applicable development and design provisions of this chapter.

(b) The proposed use is consistent with the comprehensive plan.

(c) The proposed use is harmonious and appropriate in design, character, and appearance with the existing or intended uses within the surrounding area.

(d) The proposed use will not generate excessive fumes, odor, dust, light, radiation, or refuse that would be injurious to surrounding uses.

(e) The proposed use will not generate levels of noise that adversely impact the health, safety, or general welfare of surrounding uses.

(f) The proposed use will be served by adequate public services, including streets, fire and public safety protection, water, sewer, and storm water control, and will not adversely impact the level of service standards for such facilities.

(g) The proposed location, size, design, and operating characteristics of the proposed use will not be detrimental to the public interest, health, safety, convenience, or welfare of the city.

ii. Additional Criteria for Approval of a Conditional Use for Adult Entertainment.

(a) The point of entry into the structure housing the adult entertainment use shall be located at least 100 feet, measured in a straight line, from the property line of: (1) any R-zoned property; (2) any public institution zoned property; (3) any property containing one or more of the following uses: residential uses including single- or multiple-family dwellings, or residential care facilities; schools including public, private, primary or secondary, preschool, nursery school, day care; recreational uses including publicly owned park or open space, commercial or noncommercial or private recreation facility; religious institutions; public institutions; or uses which cater primarily to minors.

(b) No adult entertainment use shall be located closer than 400 feet to another adult entertainment use. Such distance shall be measured by following a straight line from the nearest point of entry into the proposed adult entertainment to the nearest point of entry into another adult entertainment use.

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(c) Point of entry into adult entertainment use shall not be located along 78th Avenue SE.

(d) Signing shall be limited to words and letters only. Window or exterior displays of goods or services that depict, simulate, or are intended for use in connection with specified sexual activities as defined by this chapter are prohibited.

f. Appeal. The planning commission's decision is final unless appealed pursuant to MICC 19.15.020(J).

g. Change After Conditional Use Permit Granted.

i. Change of Ownership. Conditional use permits granted shall continue to be valid upon change of ownership of the site.

ii. Change of Use. Modifications in the operation of a use shall require an amendment to the conditional use permit and are subject to the above review process.

MOVE FROM MICC 19.11.030 TO MICC 19.01.050:

19.01.050.J Change of use-Town Center

1. Single Tenant: If any applicant proposes a change of use on a lot used or occupied by a single tenant or use, the applicant shall meet those code provisions determined by the code official to be reasonably related and applicable to the change in use. These provisions shall apply to the entire lot. If the development is nonconforming due to the number of parking spaces provided for the existing use, any change in use, which requires more parking than the previous use, shall provide additional parking consistent with current code parking requirements.

2. Multi-Tenant: If any applicant proposes a change of use on a portion of a lot occupied by multiple tenants or uses, the applicant shall meet those code provisions determined by the code official to be reasonably related and applicable to the change in use. These provisions shall apply only to that geographic portion of the lot related to the use or tenant space on which the change is proposed. If the multi-tenant lot is nonconforming due to the number of parking spaces provided for the existing uses, any change in use, which requires more parking than the previous use, shall provide additional parking consistent with current code parking requirements.

The following definitions will be added to or amended within MICC 19.16.010:

Affordable Housing Unit: A dwelling unit reserved for occupancy by eligible households and having monthly housing expenses to the occupant no greater than thirty percent (30%) of a given monthly household income, adjusted for household size, as follows.

1. Low-Income: For owner occupied housing, fifty percent (50%) of the King County median income, and for renter-occupied housing, fifty percent (50%) of the King County median income.

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2. Moderate-Income: For owner-occupied housing, ninety percent (90%) of the King County median income. For renter-occupied housing, sixty percent (60%) of the King County median income.

Pursuant to the authority of RCW 36.70A.540, the city finds that the higher income levels specified in the definition of affordable housing in this chapter, rather than those stated in the definition of “low income households” in RCW 36.70A.540, are needed to address local housing market conditions in the city.

3. King County Median Income: The median family income for the Seattle-Bellevue, WA HUD Metro FMR Area as most recently published by the United States Department of Housing and Urban Development under Section 8(f)(3) of the United States Housing Act of 1937, as amended. In the event that HUD no longer publishes median family income figures for King County, the city may estimate the King County median income in such manner as the city shall determine.

4. Eligible Household: One or more adults and their dependents who certify that their annual household income does not exceed the applicable percent of the King County median income, adjusted for household size, and who certify that they meet all qualifications for eligibility, including any requirements for recertification on income eligibility.

5. Housing Expense: in the case of renter-occupied housing, rent, tenant-paid utilities, one parking space, and other tenant expenses required for the dwelling unit; and in the case of owner-occupied housing, mortgage, mortgage insurance, property taxes, property insurance, and homeowner’s dues.

“Block frontage” refers to all property fronting on one side of a street or required through-block connection that is between intersecting streets, or that is between a street and a required through-block connection. An intercepting street or required through-block connection determines only the boundary of the block frontage on the side of the street in which it intercepts.

19.16.010 –

“Building Height:”

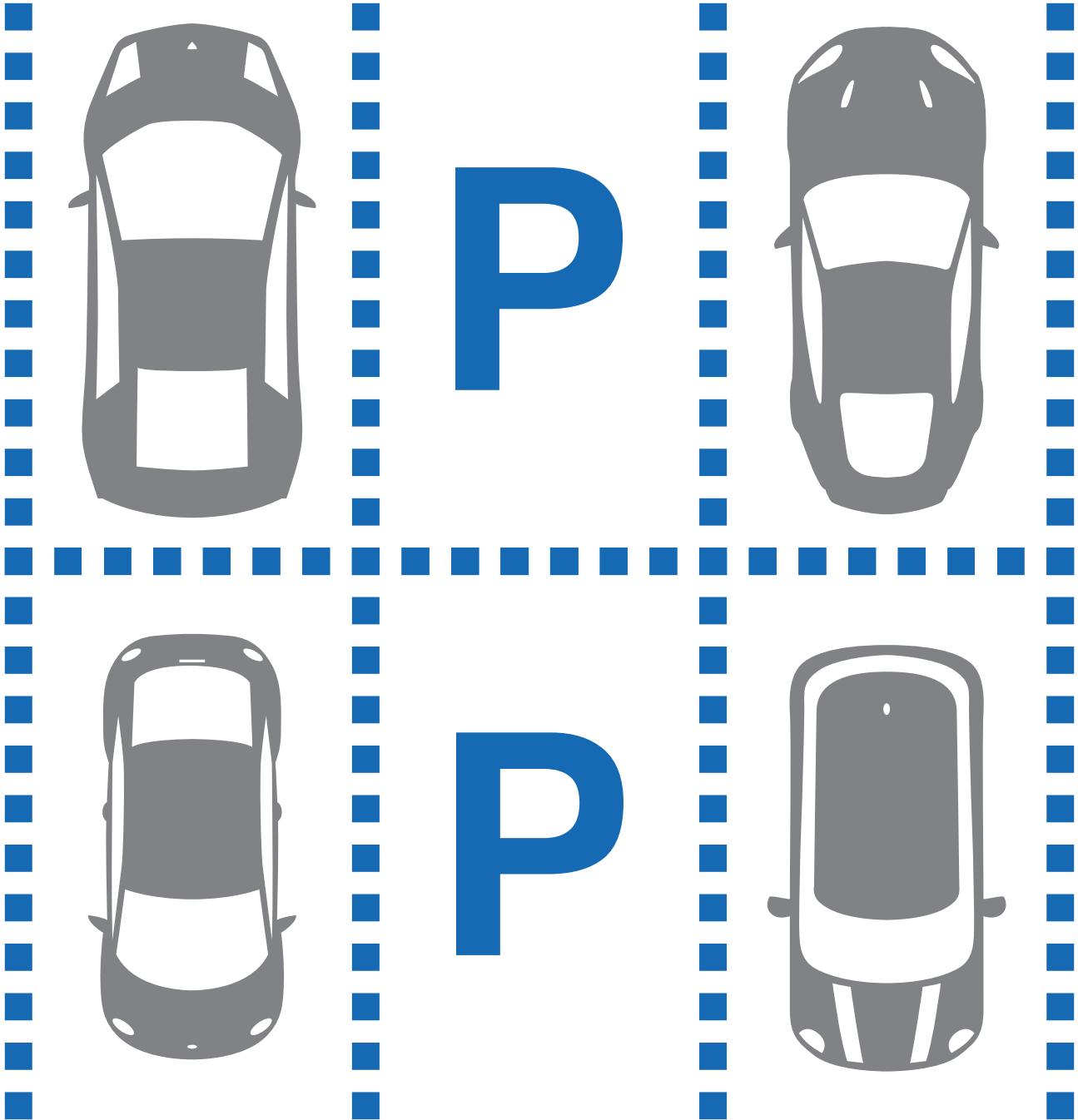
A. Outside of the Town Center: The vertical distance measured from the average building elevation to the highest point of the roof structure excluding appurtenances. A mezzanine shall not be counted as a story for determining the allowable number of stories when constructed in accordance with the requirements of the construction codes set forth in MICC Title [17](#).

B. Within the Town Center: Building height within the Town Center (TC) zone shall be calculated pursuant to MICC 19.11.030.A.

“Daylight plane” refers to an inclined plane beginning at a stated height at the front property line or edge of through block connection above the grade of the sidewalk or through-block connection and extending into the site at a stated upward angle to the horizontal up to the maximum height limit.



Town Center Parking Study



Prepared by  **BERK**

AB 5174
Exhibit 3

April 2016



TOWN CENTER PARKING STUDY

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INTRODUCTION

Parking is vital to the success of the Mercer Island Town Center economy as well as to the experience of business patrons, residents, and visitors. The Town Center is experiencing higher-density and mixed-use development and it's important to get parking right for these developments and for the Town Center as a whole. Increasing density and activity in the Town Center may result in increased competition for parking stalls by residents, employees, customers, and commuters.

The City is currently undertaking a major effort to further consider and plan for the future of the Town Center. This parking study is one piece of an integrated effort to address future growth and development in the Town Center and the quality of life for residents. The City has an interest in ensuring there is sufficient parking to meet demand now and in the future. However, overbuilding parking can also have negative effects, including increasing the cost of development and construction, which increases the costs of goods and services as those costs are ultimately passed on to business owners and consumers. The Mercer Island Town Center Parking Study is initially focused on both on- and off-street non-residential parking for customers, employees, and visitors. This study aims to address the following questions:

- 1. How much parking is available for non-residential use in the Town Center?**
- 2. What is the current non-residential parking occupancy on a typical day in the Town Center?**
- 3. Is the existing parking enough to meet current demand for parking in the Town Center?**



Depending on the answers to Questions #1 and #2 the following issues will be considered:

- Should the City amend its parking regulations regarding the amount of parking required and parking design standards?**
- How can the City most efficiently manage the existing and future parking supply? Are there additional opportunities for shared parking?**
- Should the amount, locations, and restrictions for on-street parking (such as two hour, permit parking, unrestricted, etc.) be revised?**

Note: Additional optional tasks are included in the project scope to conduct residential parking counts and to amend the City's parking regulations in the Town Center.

STUDY AREA

The parking study area is focused around Mercer Island Town Center, and is bordered by Sunset Highway to the north, SE 32nd Street to the South, Island Crest Way to the east, approximately 76th Avenue SE to the West. The area is shown in Exhibit 1 below.

Exhibit 1. Mercer Island Town Center Study Area



Source: Google Earth, 2016; King County, 2016; BERK, 2016.

PERCEIVED PARKING CHALLENGES

City staff identified several perceived challenges with regard to parking in the Town Center that are to be considered in this study. Existing challenges include:

- **Not enough parking**
- **Inconvenient parking locations**
- **Confusion over where parking is located, especially for shared stalls and in garages**
- **Poorly designed parking in garages, which creates hazards for vehicles and constrains the navigability of parking structures**
- **Confusion over parking permits**
- **Lack of parking for employees working in the Town Center**
- **Low parking turnover rates**
- **Bus commuters using Town Center parking**
- **Lack of enforcement of parking restrictions**
- **A lack of walkability in some areas**

INVENTORY OF TOWN CENTER NON-RESIDENTIAL PARKING

Mercer Island’s Town Center has approximately 3,308 off-street non-residential stalls and 258 on-street public stalls. The on-street stalls are regulated in varying ways, including the use of time limited parking, permit restrictions, and shared private stalls. Exhibit 2 shows the number of parking stalls by type that were identified in the inventory.

Exhibit 2. Inventory of Non-Residential Parking Stalls in Mercer Island’s Town Center

	Parking Stalls	Percent of Total Stalls
Number of off-street (non-residential) stalls	3,308	93%
Number of on-street stalls (public)	258	7%
Number of time-restricted stalls (2-hour)	82	2%
Number of permitted stalls (M-F, 7-9 AM)	73	2%
Number of on-street unrestricted	103	3%
Total Parking Stalls	3,566	100%

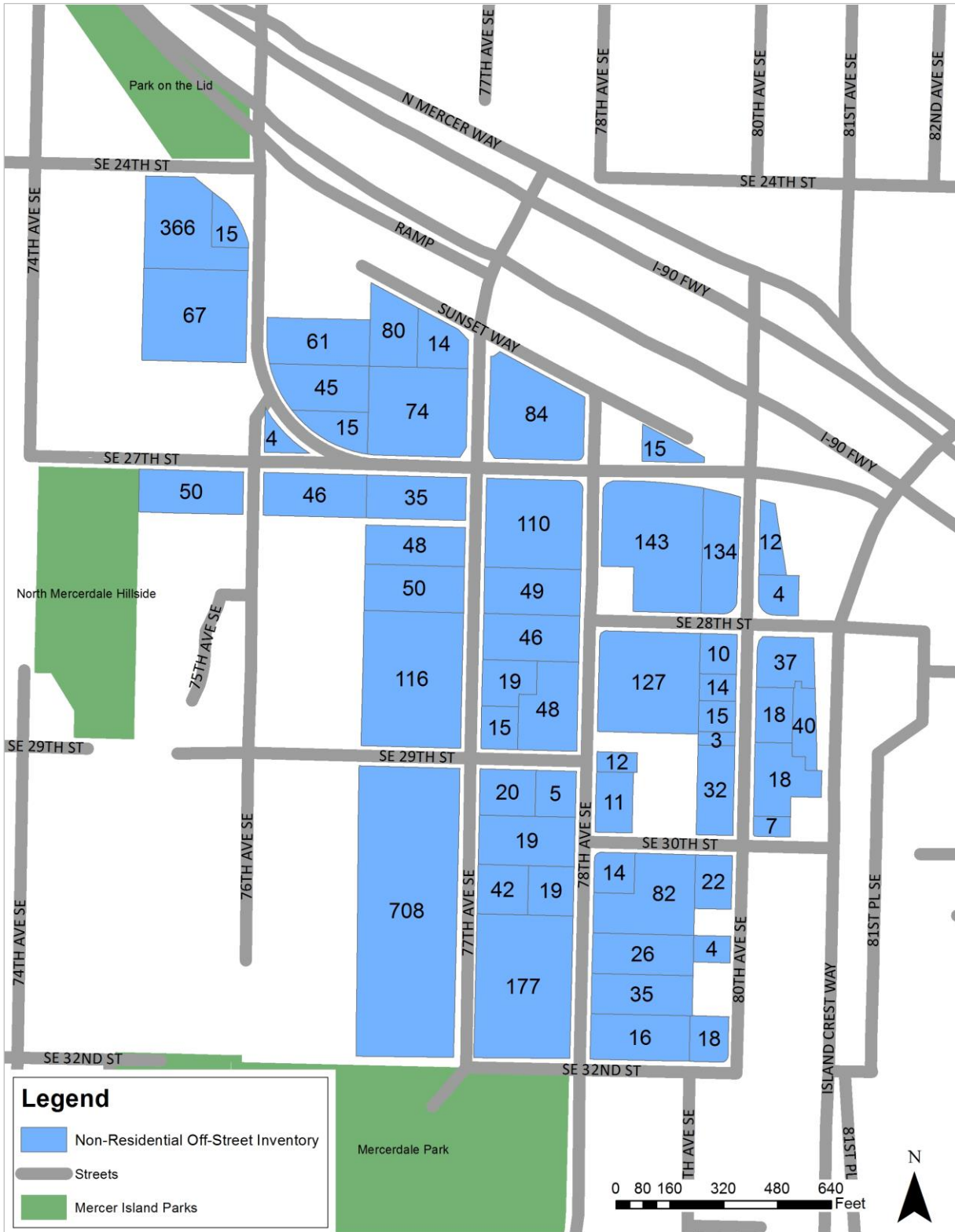
Note: New parking in ongoing development is expected to become available. Parking inventories for projects currently under development are not available at this time. Some on-street parking may have been restricted due to being in the vicinity of a construction site and were not included in the inventory or parking counts.

Source: BERK, 2016.

Exhibit 3 provides a map of off-street parking inventories by parcel. Some developments include more than one parcel. Therefore, the parking inventory and occupancy data may be assigned to only a select number of parcels in the development.

Exhibit 4 provides a map of on-street parking inventories by block.

Exhibit 3. Non-Residential Off-Street Parking Inventory in Mercer Island Town Center



Source: BERK, 2016; King County Assessor, 2015.

Exhibit 4. On-Street Parking Inventory



Source: BERK, 2016; Kimley-Horn, 2016; King County Assessor, 2015

Note: On-Street Parking lines show the general location of parking along block faces. Figures indicate the number of on-street parking spaces along each block face.

Another metric used to assess the amount of parking is the ratio of parking stalls to 1,000 square feet (sq ft) of non-residential floor area, which is often used for parking regulations to determine minimum and maximum parking requirements. The amount of non-residential gross floor area in the Town Center is approximately 846,000 sq ft and the off-street parking supply is approximately 3,308 parking stalls. Therefore, the built parking ratio is approximately 3.9 stalls per 1,000 gross sq ft (see Exhibit 5).

Exhibit 5. Built Parking Ratio

Off-Street Supply	Non-Residential Square Feet	Built Parking Ratio
3,308	846,000	3.9 Stalls/1,000 sq ft

Source: King County Assessor, 2016; BERK, 2016.

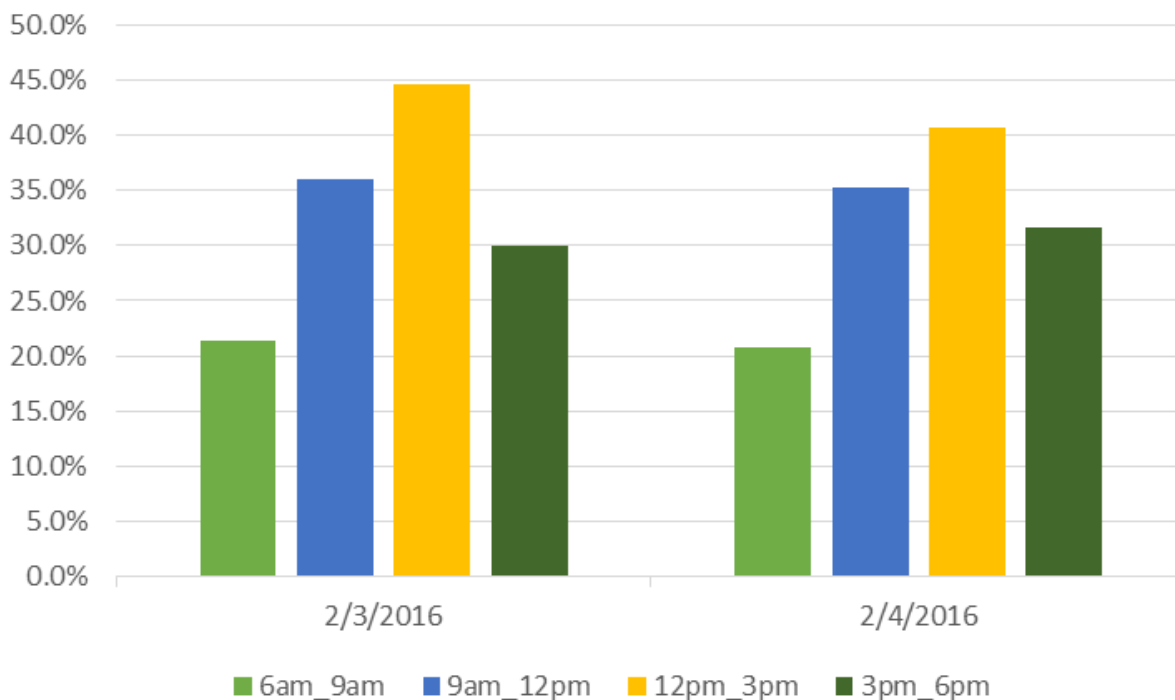
PARKING DATA COLLECTION

Field data collection was conducted on February 2nd and 3rd 2016 for both on- and off-street non-residential parking areas. Four counts in three hour increments were conducted on each day for the off-street parking areas. An hourly count was conducted on each day for the on-street parking areas. Occupancy and vehicle duration were collected for each count. Occupancy refers to the percent of parking stalls occupied and duration refers to the amount of time a vehicle stays in the same parking space.

Off-Street Parking

The highest observed off-street parking occupancy occurred between 12 pm and 3 pm on February 3, 2016 at 44.6%. The number of available off-street parking stalls at peak occupancy was approximately 1,834 stalls.

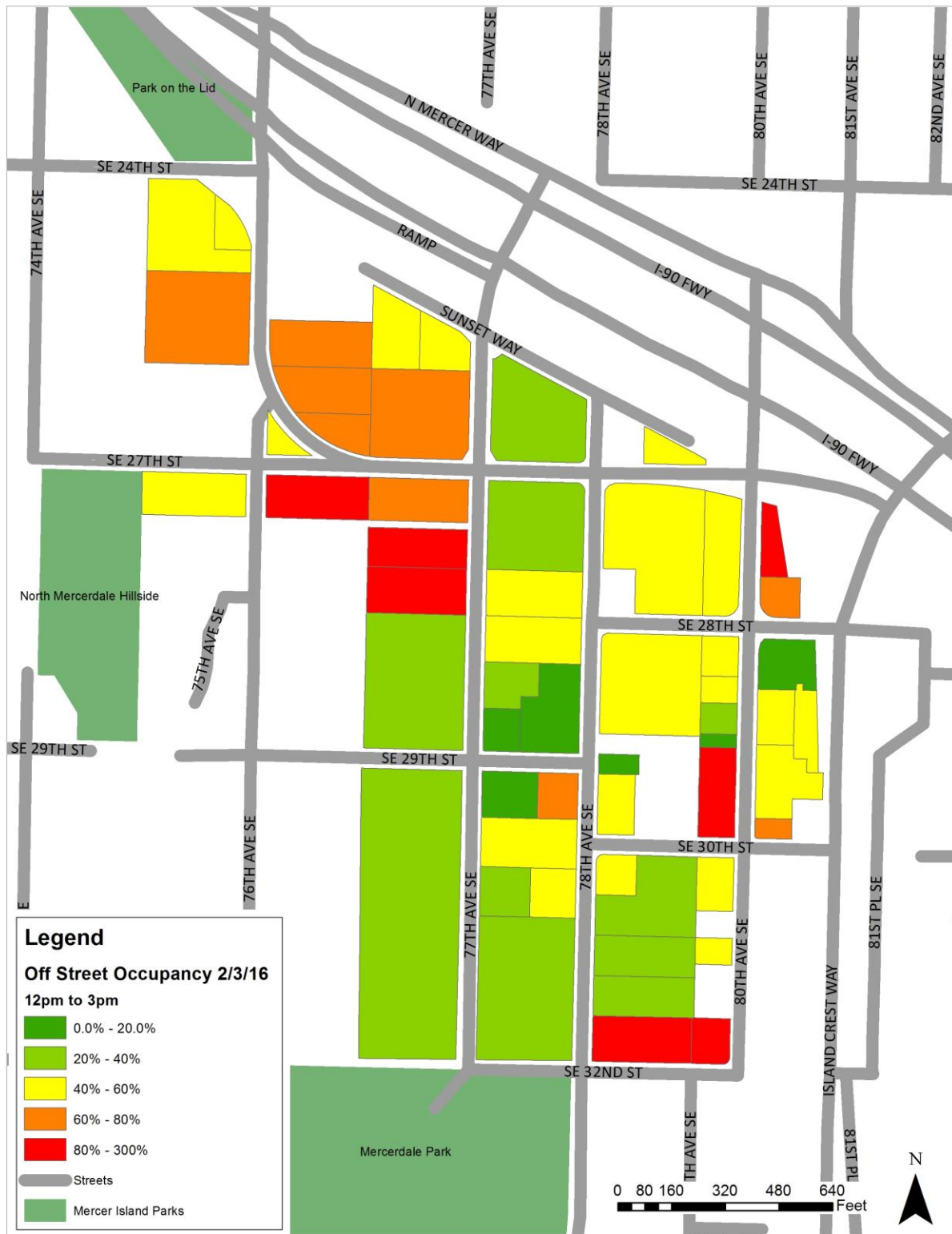
Exhibit 6. Off-Street Parking Occupancy



Source: BERK, 2016; Kimley-Horn, 2016.

Exhibit 7 shows the occupancy by parcel on February 3, 2016 between 12 pm and 3 pm, which was the highest observed occupancy for the off-street counts. A few parcels had an occupancy above 80%, but overall the utilization was much lower at 44.6%. All other off-street counts had lower occupancy.

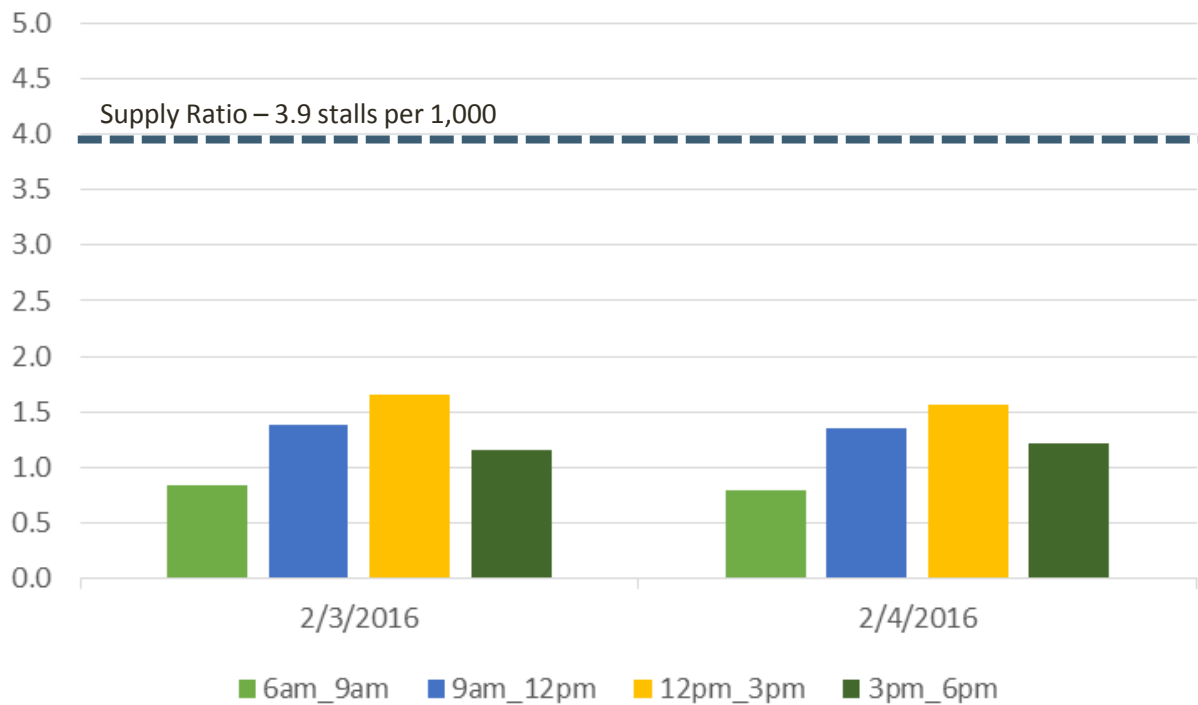
Exhibit 7. Peak Off-Street Occupancy – 12 pm to 3 pm on 2/3/16



Source: BERK, 2016; Kimley-Horn, 2016.

Exhibit 8 provides the off-street parking occupancy ratio of occupied stalls to 1,000 sq ft of non-residential floor area. The chart shows the difference between the observed parking occupancy ratio for the field counts on February 3rd and 4th as well as the built ratio of parking stalls to non-residential floor area in the study area.

Exhibit 8. Off-Street Parking Occupancy Ratio (# of occupied stalls per 1,000 sq ft)



Source: BERK, 2016; Kimley Horn, 2016; King County Assessor, 2016.

Mercer Island parking regulations require a certain number of parking stalls per 1,000 sq ft of building floor area based on the land use. For example, between 3 and 5 stalls per 1,000 square feet are required for retail uses in the Town Center. As shown in Exhibit 9 the built parking ratio is 3.9 stalls per 1,000 sq ft while the highest observed utilization was 1.7 stalls per 1,000 square feet between 12 pm and 3 pm on both February 3, 2016. The gap between the supply ratio and the highest observed ratio is therefore 2.2 stalls per 1,000 sq ft (see Exhibit 9).

Exhibit 9. Built Supply Ratio vs. Utilization Ratio

Built Parking Supply Ratio	Highest Observed Utilization Ratio (1 pm to 3 pm)	Utilization Gap
3.9 Stalls/1,000 sq ft	1.7 Stalls/1,000 sq ft	2.2 Stalls/1,000 sq ft

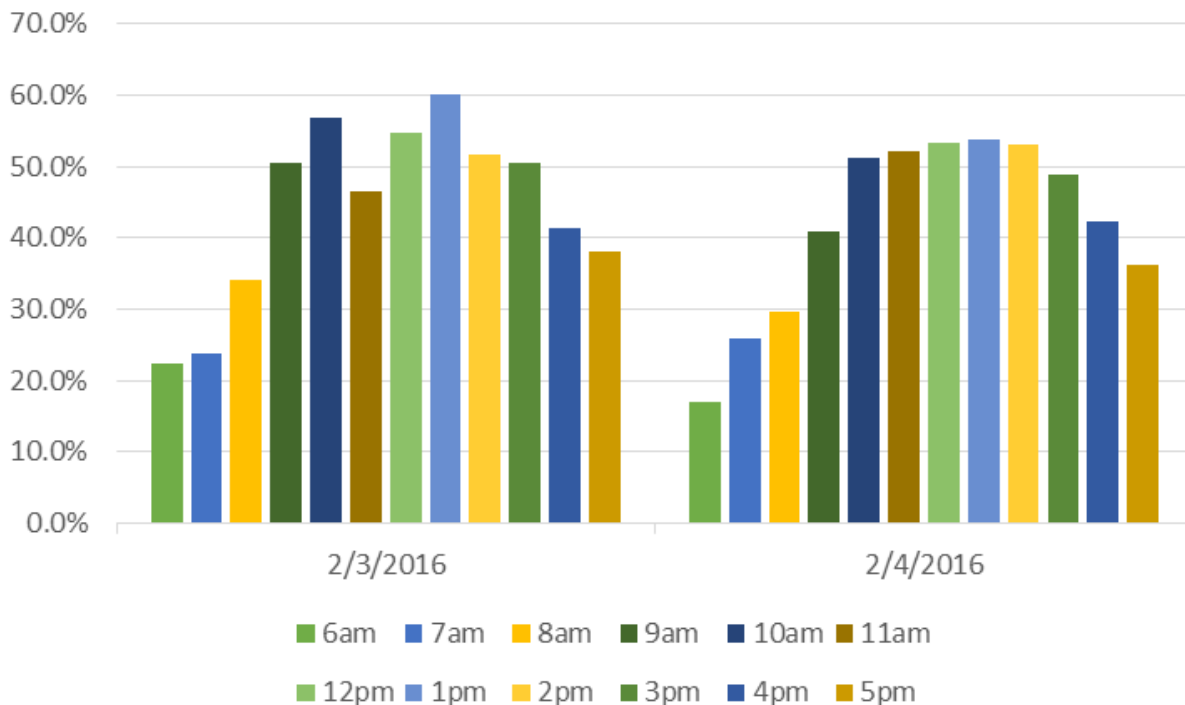
Source: BERK, 2016.

On-Street Parking

The Town Center has a limited number of on-street parking stalls as many of the streets in Town Center do not provide on-street parking. The highest observed occupancy (percent of occupied stalls) of the on-street stalls was 60.0% at 1 pm on February 3, 2016. At peak occupancy 157 of the 258 stalls were occupied leaving 101 stalls available. Occupancy below 85% is generally considered acceptable. If occupancy

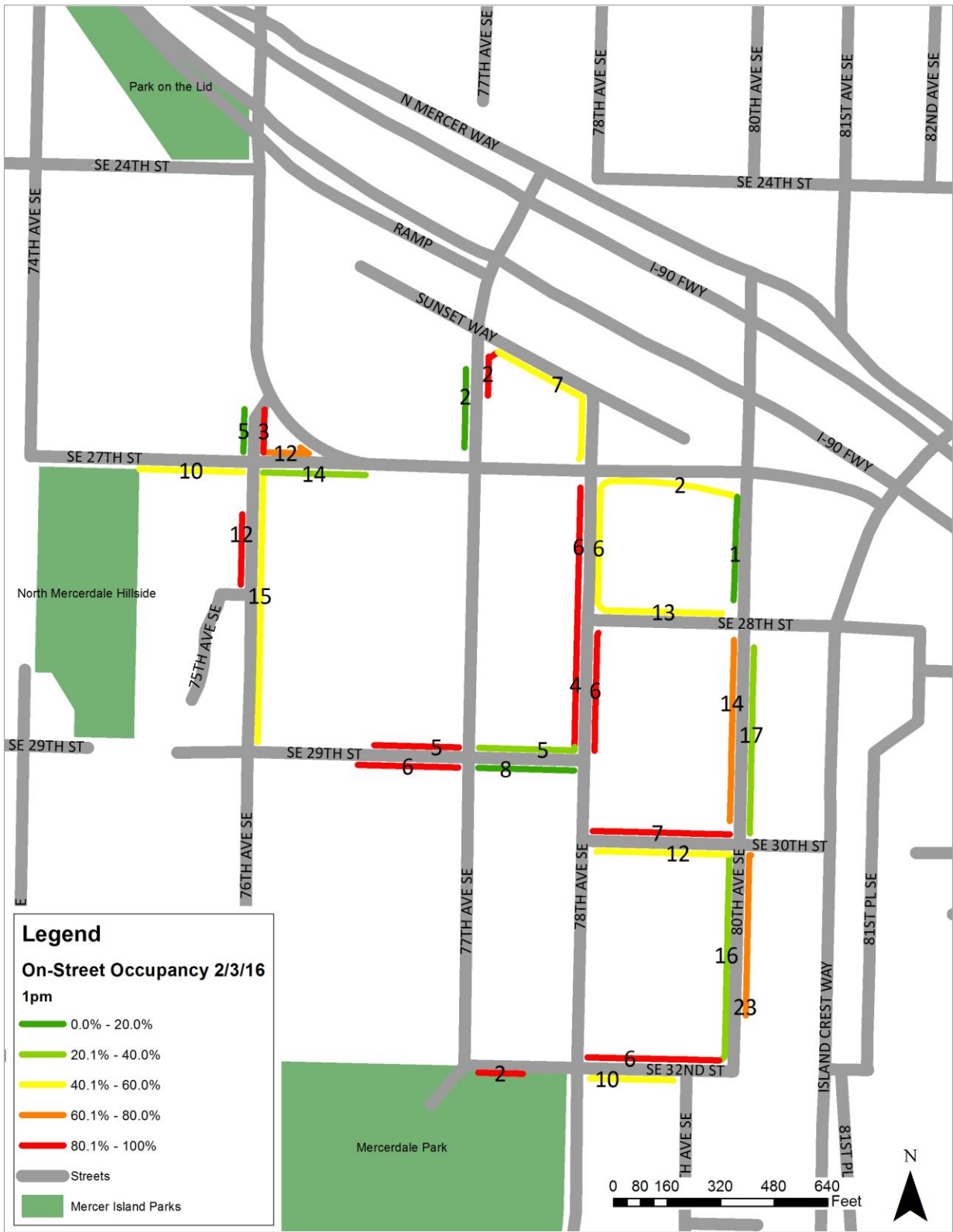
exceeds 85% further demand management strategies such as additional time limits or pricing should be considered to ensure adequate vehicle turnover and parking availability. Exhibit 10 shows the hourly parking occupancy of on-street spaces in the study area for February 3rd and 4th and Exhibit 11 shows the on-street occupancy for peak parking at 1 pm on February 3, 2016.

Exhibit 10. On-Street Occupancy



Source: BERK, 2016; Kimley-Horn, 2016.

Exhibit 11. On-Street Peak Occupancy – 1 pm on 2/3/16



Source: BERK, 2016; Kimley-Horn, 2016.

Note: On-Street Parking lines show the general location of parking along block faces. Figures indicate the number of on-street parking spaces along each block face.

Another metric used to assess parking is the duration of stay. This represents the average amount of time that a vehicle is present in the same parking space. Exhibit 12 shows the average duration of stay for the two on-street field count days. The duration of stay is generally consistent with current on-street parking management with time limited two-hour parking. However, these figures also include some unregulated parking without any time restrictions. Therefore, the current duration of stay is acceptable and doesn't indicate there are significant violations of the current time limits.

Exhibit 12. On-Street Parking Duration

Date	Duration
2/3/2016	2.2 hours
2/4/2015	2.4 hours

Source: BERK, 2016; Kimley-Horn, 2016.

LAND USE

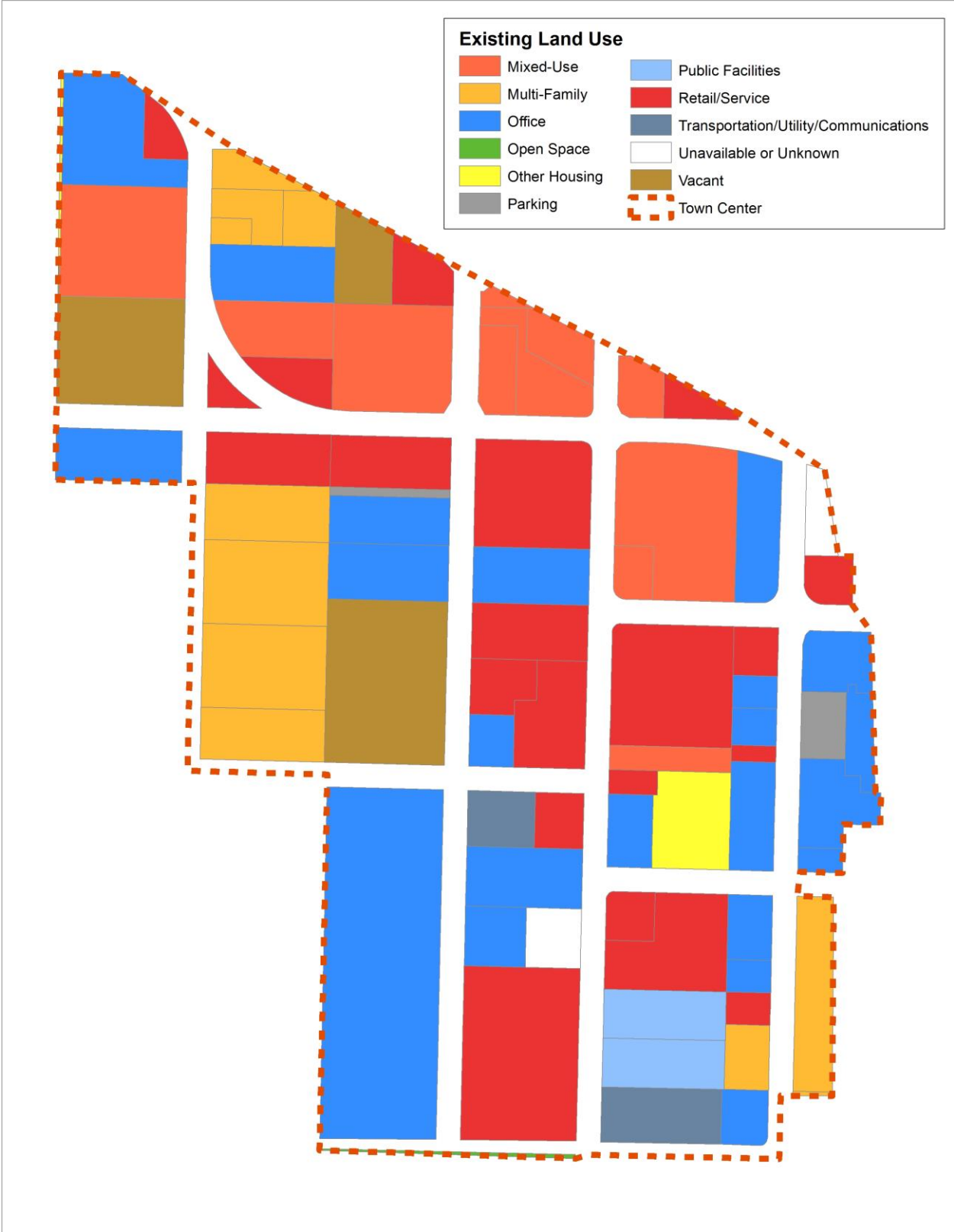
Land use has implications for parking supply and demand as the use of land is closely tied to the way people use on and off-street parking. As such, parking requirements, permitting, and other restrictions are often tied to land use and zoning.

The majority of Mercer Island's Town Center is devoted to commercial uses, with some newer mixed use developments on the north end of the study area. Most of the commercial uses are locally-serving uses, such as bank branches, grocery stores, and restaurants. There is one notable larger employer, Farmers Insurance, also located in the Town Center that has 708 off-street parking spaces or 21% of the total non-residential off-street parking supply. Condos and apartments are also present, and are predominantly located in mixed use structures and on the east and west edges of the Town Center.

Exhibit 13 shows the existing land use within the Town Center study area, which is mainly dominated by retail and office, as well as the mixed-use structures to the north. These uses all generate demand for parking, with varying expected peak hours and turnover rates. Land use categories indicate the predominant land use for the parcel.

As density increases and more mixed-use development occurs there may be further opportunities to reduce parking requirements and increase shared parking to manage the overall parking supply more efficiently. For example, sharing parking between residential and commercial use can significantly reduce the overall amount of parking that is needed to accommodate the collective parking demand. Residential demand is lowest during the day when many commercial uses experience peak demand. As the Town Center continues to develop the City should continue to support shared parking opportunities and consider reducing the current off-street parking requirements in response to changing development patterns.

Exhibit 13. Mercer Island Town Center Land Use



Source: BERK, 2015; King County Assessor, 2015.

As the Town Center transitions to more mixed-use development, opportunities for shared parking may increase. Shared parking works best between land uses that have peak parking demand at different times. For example, as residents leave for work, the same parking is available for employee or customer parking during the day at office and retail uses.

Mixed-use walkable environments like the Town Center often have greater supplies of shared parking than in typical suburban environments. Shared public parking can be very efficient and flexible because it allows parking for a variety of uses at different times. The Town Center currently has limited public parking available, but has incentives in place to encourage private property owners to provide public parking (See Exhibit 14 for more detail).

PARKING REGULATIONS AUDIT

Parking regulations guide the quantity and quality of parking for new development through setting parking minimums, design standards, environmental regulations, and more. As part of the existing conditions analysis in the parking inventory, an audit of the existing code and a comparison to other cities in the region was done. The audit is useful for considering potential regulatory changes. See Exhibit 14 for the detailed code audit.

Code Audit Key Findings

The following are the key findings from the code audit:

- The City's off-street parking requirements in the Town Center appear to be significantly higher than observed demand.
- The Town Center parking regulations provide limited reductions for shared parking (up to 20%). Higher-density mixed-use development provides opportunities for shared parking reductions greater than 20%.
- The residential parking requirement of between 1 and 3 stalls per unit provides a wide range of off-street parking requirements that may lead to parking being overbuilt for residential use, particularly if shared parking is not incorporated into the project.
- The City's policy that all off-street parking should be shared as public parking supports efficient parking management.
 - Other incentives in addition to the reduced retail frontage requirements may be more effective at increasing the supply of shared public parking such as reduced parking requirements.
- Maintaining parking as a permitted or conditional use allows for greater opportunities for shared off-street parking.
- Current on-street parking management strategies are working effectively to manage demand and provide adequate vehicle turnover.

Exhibit 14. Parking Regulations Audit and Comparison

Regulation type	Mercer Island Town Center	Kirkland Downtown	Bothell Downtown
Parking as a Principal Use	<ul style="list-style-type: none"> • Parking is a Conditional Use in all Town Center District Focus Area subareas except Mid-Rise Office and Auto-Oriented, where it is a permitted use (19.11.020) 	NA	<ul style="list-style-type: none"> • For the downtown core, surface lots are only permitted in the rear of a building; parking structures that are wrapped are permitted; and, underground or partially submerged parking structures are permitted (12.64.101)
Off-Street Parking Requirements	<ul style="list-style-type: none"> • Retail – General – 3 to 5 stalls per 1,000 sq ft • Retail – Food – 1 to 11 stalls per 1,000 sq ft • Retail – Hotel – 1 per hotel room plus 2/3 employee on shift and 5 per 1,000 sq ft of retail/office • Office – Financial – 3 to 5 per 1,000 sq ft • Office – Health and beauty – 4 to 5 per 1,000 sq ft • Office – Other – 3 to 5 per 1,000 sq ft • Residential – 1 to 3 per unit • Residential – Senior - .3 to 1 per unit • Public Buildings – 3 to 5 per 1,000 sq ft • Assembly or Meeting Spaces – 1 space per 3 to 5 seats, plus 2 space for every 3 employees • Unspecified Uses – determined by the code official 	<ul style="list-style-type: none"> • Retail – food – 1 space per 125 sq ft (8 stalls per 1,000 sq ft) • Residential – varies from 1 to 1.8 stalls per unit • All other uses – 1 space per 350 sq ft (3 stalls per 1,000 sq ft) 	<ul style="list-style-type: none"> • No minimum parking requirements for ground floor retail uses fronting Main Street (12.64.101) • Retail – pedestrian oriented – 1 per 400 sq ft (2.5 stalls per 1,000 sq ft) • Civic & Cultural – 1 per 500 sq ft (2 stalls per 1,000 sq ft) • Office – 1 per 500 sq ft (2 stalls per 1,000 sq ft) • Lodging – .75 per bedroom • Residential - .75 stalls per bedroom minimum; 1 vehicle space per bedroom maximum
Permits	<ul style="list-style-type: none"> • Valid Mercer Island parking permits are required for any vehicle parked on any city street or in off-street parking that has posted restrictions requiring a permit • Parking is not guaranteed to those holding parking permits 	NA	<ul style="list-style-type: none"> • Permit parking only applies to residential streets (10.45)

AB 5174
Exhibit 3

Regulation type	Mercer Island Town Center	Kirkland Downtown	Bothell Downtown
	<ul style="list-style-type: none"> • Parking with permits is not authorized for more than 72 consecutive hours in one location • Permits do not exempt a permit holder from observing other parking regulations • The Town Center Parking Permit can be obtained by a noncommercial Mercer Island resident whose vehicle is registered to a Mercer Island address • Fees for permits are set by the director of finance or their designee and are collected on a biennial system of permit renewal and fee collection • The City Council sets monetary penalties for parking violations in permit-restricted areas and any unauthorized transfer of a permit to any unauthorized vehicle or to any vehicle which is not eligible for a Town Center Restricted Parking District permit (MICC 10.74) 		
On-street Restrictions	<ul style="list-style-type: none"> • The Town Center has time-restricted parking with: <ul style="list-style-type: none"> ○ two hour limits ○ no time limits – unrestricted ○ permit-only time windows • Parking is restricted to vehicles with valid Mercer Island Town Center Restricted Parking District permit between 7 am and 9 am on Monday through Friday on the following four streets: <ul style="list-style-type: none"> ○ SE 29th Street – Both sides between 77th and 78th Avenue SE ○ SE 30th Street – Both sides between 78th and 80th Avenue SE ○ 78th Avenue SE – Both sides between SE 28th and SE 29th Street 	<ul style="list-style-type: none"> • No parking areas (with various restrictions by day and time) • No overnight parking (with various restrictions by day) • Loading Zone (with various restrictions by day and time) (12.45.230) • Time-restricted parking with: <ul style="list-style-type: none"> ○ 30-minute parking ○ Two hour parking ○ Three hour parking from (AM to 5 PM ○ Four hour parking 	<ul style="list-style-type: none"> • Time restricted parking: <ul style="list-style-type: none"> ○ Two hour limits

Regulation type	Mercer Island Town Center	Kirkland Downtown	Bothell Downtown
	<ul style="list-style-type: none"> ○ 80th Avenue SE – Both sides between SE 28th and SE 30th Street 		
Shared Parking	<ul style="list-style-type: none"> • Mixed use projects may be permitted to use shared parking on the same or adjoining sites through reducing required parking stalls by up to 20 percent as long as no substantial impact can be demonstrated • Adjoining properties are encouraged to use shared parking stalls • Public Parking is encouraged through relaxed retail frontage requirements (19.11.020.C) 	NA	<ul style="list-style-type: none"> • Shared parking allows for a 10% reduction for non-eating establishment pedestrian oriented retail, civic and cultural uses, offices, and residential (12.64.101) • All new surface parking lots shall be publically shared (12.64.401) • On-site (or off-site within 800 feet for some uses) is required for downtown core parking, or cash-in-lieu. In-lieu fees are based on current real cost of constructing a parking space in an exposed above-ground structure or in off-site locations (12.64.101 & 402)
Paid Parking	NA	<ul style="list-style-type: none"> • Paid parking on nights and weekends • \$1.00 per hour • Park & Main Lot • Mon – Fri, 6 pm – 9 pm • Sat, 9 am – 9 pm 	NA

Source: BERK, 2016; Mercer Island City Code; Kirkland Municipal Code; Bothell Municipal Code

PARKING LOT DESIGN STANDARDS

The City of Mercer Island has standards for parking lot designs that address requirements for stall sizes and aisle widths based on different configurations of parking (parallel, angled, perpendicular). These standards are contained in Appendix A of Unified Land Development Code in Title 19 of the Mercer Island City Code. The standard stall size of 8.5' x 18.5' is within the range of a typical stall size, but on the lower end of the spectrum, particularly for short-term parking. The Washington Department of Transportation (WSDOT) recommends larger stalls of 9' to 10' for short-term parking with turnover of five or more cars per day.

The aisle widths required between stalls varies depending on the type of parking configuration and the angle of the parking spaces. The City's current minimum aisle width for two-traffic with perpendicular, angled or parallel parking is 20.' This is below the 24' minimum aisle width recommended by the Washington Department of Transportation (WSDOT) that is based on industry standards (WSDOT, 2003). WSDOT recommends an aisle width of 18' for one-way traffic with 60 degree angled parking while Mercer Island requires only 15'.

Dimension	WDOT Manual	City of Redmond	Mercer Island
Aisle Width – 90 Degree Two-Way Traffic	24'	25.5'	20'
Aisle Width – 60 Degree One-Way Traffic	18'	20'	15'
Stall Width	8.5' for longer-term use 9' to 10' for short-term use	8.5' to 10'	8.5' Standard 8' Compact

Source: Mercer Island, 2016; WSDOT, 2003; City of Redmond, 2016

Findings

The following are the key findings regarding the City of Mercer Island's parking lot design standards:

- Stall widths appear to be below those recommended by WSDOT and in comparison to other cities.
- Aisle widths appear below those recommended by WSDOT and in comparison to other cities.
- The City's stall dimension requirements do not differentiate between standards for short and long-term parking.
- The City's aisle width standards are relatively uniform and don't account for different parking lot configurations. For example, a 20' aisle width is required for two-way traffic regardless of the parking stall angle.

RESIDENTIAL PARKING

The current off-street parking requirement for residential units is between 1 and 3 stalls per unit with the Code Official making the final decision. A range of 1 to 3 stalls is a substantial range, especially when the requirements are not based on the size of the units or number of bedrooms. As an example, for a 100 unit apartment building the parking requirement ranges from between 100 to 300 stalls. For below-grade structured parking at an estimated cost of \$30,000 to \$50,000 per stall the cost of providing 200 additional

stalls above the base requirement of 100 stalls would be approximately \$6 to \$10 million dollars. Therefore, the costs of providing additional parking can be substantial and adds to the overall cost of housing.

King County Metro completed the Right Size Parking Project in 2015, which assesses parking demand in multi-family developments throughout King County. The project includes an interactive website that estimates actual multi-family parking demand based on field data counts and other variables that were used to develop a statistical model to predict demand. The parking calculator estimates that actual demand for a multi-family development in the Town Center is 1.15 stalls per unit, which is on the lower end of the range of Mercer Island’s residential parking requirement.

Residential Data Collection

Residential parking counts were conducted at three multi-family sites in the Town Center. The Mercer Apartments was included in King County Metro’s Right Size Parking Project and counts were conducted in 2012 and summarized below. The observed utilization ratio (vehicles per occupied residential unit) ranged from between 0.8 vehicles per unit to 1.3 vehicles per unit. The total utilization ratio based on combined data for all four sites is 1.1 vehicles per unit. As described above, the Right Size Parking Calculator estimates parking demand in the Town Center to be approximately 1.15 stalls per unit for a typical development.

Exhibit 15. Residential Field Counts

Site	Vehicles Observed	Occupied Units	Utilization
Island Square	225	226	1.0
Islandian Condos	17	21	0.8
Aviara*	209	159	1.3
The Mercer (2012)	156	147	1.1
Total	607	553	1.1

Source: BERK, 2016; King County Metro, 2012

*Note: Vehicles observed based on residential parking permit data from the property manager

FUTURE NON-RESIDENTIAL PARKING DEMAND

Based on the field parking counts the peak non-residential demand observed was 1.7 stalls per 1,000 sq ft of gross floor area for the Town Center as a whole. However, parking demand varied by location and land use.

Exhibit 16. Parking Demand vs. Supply at Key Locations

Site	Land Use	Parking Supply Ratio	Observed Peak Demand Ratio	Difference
QFC Grocery Store	Retail	4.4	2.5	2.1
McDonalds	Restaurant	9.9	5.2	4.7
Walgreens	Retail	2.9	1.0	1.9
Tabit Village Square	Mixed-Use Retail/Restaurant	2.2	1.7	0.5
Windermere	Office	3.25	3.0	0.25
Farmers Insurance	Office	4.6	1.6	3.0
Islandia Shopping Center	Mixed-Use Retail/Restaurant	3.5	1.3	2.2
Starbucks	Restaurant	8.0	7.0	1.0

Source: BERK, 2016; Kimley-Horn, 2016; King County Assessor, 2015

Note: Ratios based on parking stalls or observed vehicles per 1,000 sq ft of gross floor area

Based on current conditions it is estimated that the future parking demand for retail parking, office, and mixed-use sites to be between 2 and 3 stalls per 1,000 sq ft of gross floor area, which is significantly less than the current requirements of between 3 and 5 stalls per 1,000 sq ft.

Town Center has few standalone restaurants as most of the restaurants on mixed-use sites. Therefore, it's difficult to estimate actual demand for restaurants. However, the observed peak demand at McDonalds was significantly less than the parking supply. The current range of requirements for restaurants is between 1 and 11 stalls per 1,000 sq ft. For a standalone restaurant the estimated future demand is between 2 and 10 stalls per 1,000 sq ft.

Several factors could result in reduced parking demand in the future some of which the City has control over and others that are more difficult to predict. The City should consider the following in planning for future parking demand in the Town Center:

- **Additional On-Street Parking:** The Town Center currently has a small supply of on-street parking relative to the overall street network. On-street parking is an efficient way to provide short term parking for customers that can reduce the overall amount of off-street parking needed to accommodate demand. On-street parking also supports pedestrian comfort and mobility by providing a buffer between traffic and pedestrians.
- **Shared Parking:** The City currently has a cap on a shared parking reduction of 20%. If the 20% cap is removed the amount of new parking needed to accommodate new development could be reduced if existing underutilized parking becomes shared parking.
- **Transit Improvements:** Improved transit access to the Town Center may decrease the overall amount of parking needed to accommodate demand.

- **Increased Density and Mixed-use Development:** Increased density and mixed-use development expands opportunities for shared parking that increases the efficiency of the parking system and reduces the overall amount of parking needed to accommodate demand.
- **Carshare:** Carsharing services such as ZipCar and Car2Go can decrease parking demand by lowering vehicle ownership and increasing shared transportation options.
- **Rideshare:** Ridesharing services such as Uber and Lyft provide on demand transportation services that have the potential to significantly reduce parking demand and vehicle ownership.
- **Autonomous Vehicles:** The future of autonomous vehicles is unclear, but widespread use of on demand transportation service may significantly reduce the amount of parking that is needed in the Town Center. Ridesharing services such as Uber have plans to use autonomous vehicles in the future.

PROJECT FINDINGS

Based on the research, data collection, and analysis the following are the key project findings that are the basis for the project recommendations.

- **The Town Center has sufficient on and off-street parking to meet current non-residential parking demand. The highest observed off-street occupancy was 44.6% between 12 pm and 3 pm on February 3, 2016. At peak occupancy approximately 1,834 non-residential off-street parking stalls were available.**
- **The current off-street non-residential parking ratio is approximately 3.9 stalls per 1,000 sq ft of floor area. The highest observed occupancy ratio was 1.7 stalls per 1,000 sq ft of floor area leaving a gap of 2.2 stalls per 1,000 sq ft of floor area.**
- **Public on-street parking is limited in the Town Center, with a supply of approximately 258 on-street stalls. Most streets in the Town Center do not have on-street parking. Despite the limited supply, the peak occupancy observed was 60.0% at 1 pm on February 3, 2016, leaving approximately 101 stalls available at peak occupancy. The average duration of stay for vehicles in on-street spaces was approximately 2.3 hours based on data collection on February 3rd and 4th 2016.**
- **The City's non-residential off-street parking requirements in the Town Center appear to be significantly higher than observed demand.**
- **The Town Center parking regulations provide limited reductions for shared parking (up to 20%) for both residential and non-residential uses.**
- **The residential parking requirement of between 1 and 3 stalls per unit provides a wide range of off-street parking requirements that may lead to parking being overbuilt for residential use, particularly if shared parking is not incorporated into the project.**
- **The City's parking lot design standards for residential and non-residential parking areas require parking stall sizes and aisle widths are not consistent with WSDOT recommendations or compared to another jurisdiction.**

RECOMMENDATIONS

Based on the project findings the following recommendations are intended to improve parking regulations, management, and monitoring in the Town Center:

1. **Reduce Off-Street Parking Requirements**
 - a. **Retail/Office/Mixed-Use (including restaurants):** Between 2 and 3 stalls per 1,000 sq ft
 - b. **Standalone Restaurant:** Between 5 and 10 stalls per 1,000 sq ft
 - c. **Residential:** Between 1 and 1.4 stalls per unit. Allow site specific deviations for parking less than 1 stall per unit based on a detailed parking analysis and with approval of the Code Official.
 - d. **Eliminate parking requirement for small scale pedestrian oriented retail:** For retail uses 5,000 sq ft or less eliminate the off-street parking requirement. 5,000 sq ft and below is generally considered a pedestrian oriented retail space size.
2. **Modify the 20% limit on Shared Parking:** Allow up to 100% of the parking requirement to be accommodated through shared parking. A 100% reduction is only feasible through off-site shared parking agreements.
3. **Maintain Existing On-Street Parking Management:** The on-street system appears to be functioning well at this time and resulting in sufficient vehicle turnover and parking availability. No changes are recommended at this time. As demand increases in the future, the City may consider adding timed restrictions to more streets within the Town Center.
4. **Revised Parking Lot Design Standards**
 - a. Increase aisle widths to 24' for two-way traffic for parking angled at 45 degrees or above.
 - b. Increase aisle widths to 18' for one-way traffic for parking angled at 60 degrees or above.
 - c. Require larger parking stalls for short-term use (9' to 10' wide) with turnover of 5 or more vehicles per day.
 - d. Increase the standard parking stall size to 9' x 18'. Allow stalls at 8.5' width for compact and long-term use (turnover of 1 to 2 vehicles per day).
5. **Increase On-Street Parking Supply:** Many streets in the Town Center could accommodate additional on-street parking to support short term use and a greater supply of shared public parking. On-street parking also improves the pedestrian experience by providing a buffer between pedestrians and traffic.
6. **Increase Shared Off-Street Public Parking**
 - a. The City should consider agreements with private property owners to manage underutilized parking for shared public parking. Agreements should be short-term to not prohibit future redevelopment opportunities.
 - b. Based on the data contained in this report the City should consider facilitating the use of underutilized parking as shared parking between individual developments. Shared parking may support increased amenities and other goals in the Town Center that are desired by residents by reducing the costs of providing parking.
 - c. The City should also consider establishing permanent off-street public parking lots that could accommodate existing and future parking demand through shared public parking.
7. **Continue to Monitor Parking in the Town Center:** The City should continue to monitor parking in the Town Center through updated field data collection at a minimum of every three years.

Memorandum

To: Scott Greenberg, City of Mercer Island**From:** Michael Lapham and John Davies, KPG**Date:** 3/15/2016**Re:** Traffic Analysis for the Proposed Changes to Town Center Housing Capacity

As part of the proposed 2015 update to Transportation Element of the Comprehensive Plan, KPG analyzed existing and future projected 2035 traffic conditions on Mercer Island. The 2035 analysis used the employment and housing forecasts developed for the Land Use and Housing Elements. These forecasts assumed that the majority of growth on the island would occur within the Town Center, where the greatest capacity is available.

As part of its' work on updating the Town Center vision and development code, the City provided two revised land use alternatives for the Town Center. Both alternatives would reduce housing capacity by changing the allowable building heights on selected parcels within the Town Center. Alternative A was proposed as part of the 2015 Town Center Stakeholders Group process and Alternative C is a further reduction in allowable building heights under consideration by the Planning and Design Commissions.

The Buildable Lands methodology was used to calculate the number of housing units based on Town Center height limits. Compared to current height limits, it was determined that Alternative A would reduce housing capacity by 61 units and Alternative C would reduce housing capacity by 180 units. Table 1 summarizes the changes to Town Center housing units that would occur with Alternatives A and C. The Town Center employment forecast is assumed to remain the same with both Alternatives A and C.

Table 1. Modifications to Town Center Housing Capacity

	Proposed Capacity (Housing Units)	Change (Housing Units)
Current Height Limits	786	--
Alternative A	725	-61
Alternative C	606	-180

Source: City of Mercer Island and Buildable Lands methodology.

Future Traffic Volumes

The 2035 employment and housing forecasts were converted to traffic volumes using standardized rates per unit of development. The analysis used for the Transportation Element forecasted 1,073 new vehicle trips in the Town Center from 2014 to 2035, based on the Comprehensive Plan's proposed land use map and current development standards. This is a 35 percent increase in Town Center traffic volumes compared to 2014 existing conditions.

Table 2 shows the number of new vehicle trips projected in the Town Center by 2035 for the three alternatives. Alternative A is forecast to result in 1,047 new Town Center vehicle trips, a 3 percent reduction compared to current height limits. Alternative C is forecast to result in 997 new Town Center vehicle trips, an 8 percent reduction compared to current height limits.

Table 2. New Town Center Vehicle Trips from 2014 to 2035 – Afternoon Peak Hour

	New Vehicle Trips	Change in New Vehicle Trips from Current Height Limits
Current Height Limits	1,073	--
Alternative A	1,044	-29 (-3%)
Alternative C	988	-85 (-8%)

Source: KPG and Trip Generation 9th Edition, Institute of Transportation Engineers



**BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND, WA**

**AB 5175
May 2, 2016
Regular Business**

PERIODIC COMPREHENSIVE PLAN UPDATE

Proposed Council Action:

No action necessary. Provide input regarding additional information needs and issues to address in future meetings on the proposed, revised and updated Comprehensive Plan.

DEPARTMENT OF

Development Services Group (Scott Greenberg)

COUNCIL LIAISON

n/a

EXHIBITS

1. Proposed, Revised and Updated Mercer Island Comprehensive Plan
2. Comprehensive Plan Update Scope of Work
3. Memorandum from the Planning Commission to the City Council, dated November 19, 2014
4. Planning Commission Findings of Fact and Conclusions of Law
5. Discussion Topics and Questions of Staff Presented to the City Council on 6/18/2015 (updated 5/2/16)

APPROVED BY CITY MANAGER

AMOUNT OF EXPENDITURE \$ n/a

AMOUNT BUDGETED \$ n/a

APPROPRIATION REQUIRED \$ n/a

SUMMARY

BACKGROUND

Pursuant to Chapter 36.70A.040 of the Revised Code of Washington (RCW), the City of Mercer Island is required to plan under the Washington State Growth Management Act (GMA). Per RCW 36.70A.130(1), the City of Mercer Island shall take legislative action to review and, if needed, revise its Comprehensive Plan and development regulations to comply with the requirements in the GMA, which are found in Chapter 36.70A RCW. The update must also be consistent with the Countywide Planning Policies and other regional planning documents. RCW 36.70A.130(5) establishes a continuing evaluation and review process by mandating that the City update its Comprehensive Plan every eight years. The deadline for adopting periodic revisions to the Comprehensive Plan was June 30, 2015.

The first step of the City’s Comprehensive Plan periodic update process commenced on February 3, 2014 when the City Council reached consensus to move forward with the proposed scope of work and timeline for updating the City’s Comprehensive Plan. On July 21, 2014, the Council formally accepted the scope of work as part of the Planning Commission’s 2014 Work Plan (Exhibit 2; see also AB 4984, Exhibit 2).

The Council requested a “review light” of the Plan to reduce staff time and dollars spent on the update. The scope of work encouraged minimal changes by focusing predominantly on updating data and information

throughout the Comprehensive Plan. Policy changes were proposed only where necessary to maintain or achieve consistency with State, regional, and countywide policies. Detailed below are proposed policy-based amendments.

PROCEDURAL REQUIREMENTS

A Comprehensive Plan amendment is a legislative action as set forth in Mercer Island City Code (MICC) Section 19.15.010(E). Applicable procedural requirements for a legislative action are contained within MICC 19.15.020, including the Planning Commission conducting an open record public hearing and forwarding a recommendation to the City Council. The decision criteria by which a Comprehensive Plan amendment request is evaluated are contained in MICC 19.15.020(G)(1). As the decision making authority for legislative actions, the City Council subsequently conducts a public meeting and takes final action.

The City issued a Public Notice of Application and Open Record Hearing, which was published in the City's weekly permit bulletin on October 6, 2014. The Notice was also published in the Mercer Island Reporter on October 29, 2014. The initial public comment period ran from October 6, 2014 through 5:00 P.M. on November 12, 2014. The City received no written comments concerning the proposed Comprehensive Plan amendment during the comment period.

A State Environmental Policy Act (SEPA) review for a non-project action as defined by WAC 197-11-704(2)(b)(ii) is required for a proposed Comprehensive Plan amendment. A SEPA checklist was prepared for this proposal. The SEPA Responsible Official determined that this proposal would not have a probable significant adverse impact on the environment, and a SEPA Determination of Non-Significance (DNS) was issued on November 17, 2014.

PLANNING COMMISSION REVIEW (2014)

The Planning Commission held eight public meetings and one open record public hearing to consider the draft Comprehensive Plan changes. Formal review of the proposed Comprehensive Plan revisions by the Planning Commission began on July 16, 2014 and continued through November 5, 2014. The Planning Commission held an open record public hearing on November 19, 2014 on the proposed periodic Comprehensive Plan updates. No members of the public requested to speak during the open record public hearing. The Planning Commission recommended approval of the staff proposed updated Comprehensive Plan as amended. The Planning Commission also included a cover memorandum (Exhibit 3) and adopted findings of fact and conclusions of law to support their recommendation (Exhibit 4).

CITY COUNCIL REVIEW (2015)

As described above, the City Council is the final decision making authority on legislative actions within the City. Two readings of Ordinance No. 15C-08 to consider the Planning Commission's recommendation on the periodic Comprehensive Plan updates were initially scheduled in front of the City Council. The first reading was held on May 4, 2015. Prior to and during the first reading, Councilmembers raised questions that were addressed in Exhibit 5 to this agenda bill. A second reading was anticipated to be held on June 15, 2015.

During the 2015 Comprehensive Plan update process, the City initiated a separate Town Center Visioning and Development Code Update to review and update its Town Center development and design guidelines. Agenda Bill 5174, which is also on the May 2, 2016 City Council Meeting Agenda and part of this packet, addresses the Town Center Visioning and Development Code Update. During discussion of the Comprehensive Plan update, the Council expressed concern that the periodic Comprehensive Plan update did not reflect the emerging concepts resulting from the Town Center work.

On May 18, 2015, the City Council directed staff to prepare a resolution to delay the Comprehensive Plan update pending the completion of the Town Center Visioning and Development Code Update. The delay would allow the updated Town Center vision to be reflected in the updated Comprehensive Plan, and ensure

that the updated Town Center development and design guidelines would be consistent with the updated goals and policies of the Comprehensive Plan.

Resolution No. 1500 was approved by the Council on June 1, 2015 (see AB 5075). This Resolution described the City's substantial progress towards fulfillment of the requirements of the 2015 State mandated periodic Comprehensive Plan update and delayed the Comprehensive Plan update to allow for completion of the Town Center Visioning and Development Code Update. The City Council's action essentially remanded the Town Center-related policies of the Comprehensive Plan update back to the Planning Commission for consideration.

ROLE OF THE JOINT COMMISSION (2015-2016)

In the fall of 2015, the City Council asked the City's Planning and Design Commissions to meet together as a "Joint Commission" to continue the Town Center Visioning and Development Code Update and move forward with the drafting of updated Town Center-related Comprehensive Plan goals and policies, as well as Town Center development and design guidelines. The Joint Commission held 15 public study sessions to draft and review updated Town Center vision, Comprehensive Plan policies and development and design guidelines. The Joint Commission hosted three public hearings in addition to the study sessions to provide opportunities for public testimony throughout the policy and code drafting. The Town Center Visioning and Development Code Update is more fully described in companion Agenda Bill 5174 as part of this packet.

On April 27, 2016, the Joint Commission completed its work on a draft Town Center vision, Comprehensive Plan goals and policies, as well as development and design guidelines, to recommend to the City Council. The Planning Commission is the official body designated to provide a recommendation to the City Council for legislative actions. Therefore, the Design Commission's motion was offered as a recommendation to the Planning Commission. The Planning Commission's recommendations are reflected in Exhibit 1.

PROPOSED AMENDMENTS AND UPDATES

The scope of work approved by the City Council emphasized a general de minimis update to the Comprehensive Plan to revise background information and incorporate current data, except for the Town Center work described above. Below is a summary of substantive proposed changes to the City's Comprehensive Plan by element.

Table of Contents and Introduction

- Updated background information.
- Added new Community Value of "Fiscal responsibility."

Land Use Element

- Updated background information, including data and maps.
- Updated housing and employment growth targets and zoned capacity.
- Added a new Town Center vision statement.
- Updated policies guiding regulatory controls and design standards in the Town Center.
- Added sustainability information and policies.
- Added new policy advocating for more limited future growth targets.

Housing Element

- Revised element to acknowledge the role of Accessory Dwelling Units (ADUs) in helping to achieve housing goals.
- Updated housing growth targets and zoned capacity.
- Updated data regarding housing units permitted since 2006.
- Added a new policy to support housing options for seniors, low income, and other special needs populations.
- Added a new policy encouraging the allowance of one innovative housing project.

- Added a policy to encourage energy efficiency and sustainability in housing.

Transportation Element

- Updated background information, including data and maps.
- Added a policy to encourage Transportation Demand Management (TDM) strategies.
- Added a policy to prioritize investments in the Town Center.
- Added a policy to promote a multi-modal transportation system.
- Added a policy to comply with state climate change initiatives.
- Added a policy to coordinate with other agencies to develop strategies to protect and recover from disasters.
- Changed the City's minimum Level of Service (LOS) from "C" to "D."

Utilities Element

- Updated background information, including data and maps.
- Added a policy to encourage wireless providers to increase the battery life of large cell sites.

Capital Facilities Element

- Updated background information, including data and maps.
- Added sustainability information.
- Added policies to encourage City operations to minimize their carbon footprint and be more energy efficient.
- Added a new policy to implement proposed projects in the City's Pedestrian and Bicycle Facilities Plan.

Shoreline Element

- The shoreline element was adopted as part of the Shoreline Master Program in 2014. The element is included to provide the Council with the entire Comprehensive Plan. However, no changes can be made during this update due to special procedural requirements of the Shoreline Management Act. No updates are proposed.

DISCUSSION TOPICS

The discussion topics identified in Exhibit 5 were brought forward by the City Council for deliberation in May 2015 and deferred until the Town Center Visioning and Development Code Update was complete. The original page numbers on Exhibit 5 have been updated to reflect current pagination of the draft Comprehensive Plan. The City Council agreed to revisit the following:

1. Population Growth: Land Use Element, Action Plan, Policy 1.6–

Mercer Island has consistently accepted and planned for its fair share of regional growth, as determined by the GMPC and the King County CPPs. Build out of the City is approaching, and could occur by 2035 or shortly thereafter. In the future, therefore, the City will advocate for future growth allocations from the GMPC which reflect its community vision, as reflected in the Comprehensive Plan and development regulations; environmental constraints; infrastructure and utility limitations; and its remaining supply of developable land."

- a. What are implications of accepting population growth to 25,200 persons by 2030?
- b. Should we adopt as part of our Comprehensive Plan a statement that the City can no longer plan for continuous population growth increases due to our geography?
- c. The second sentence (dealing with build out by 2035) is important and we need to understand:
 - i. What does it mean?
 - ii. Is it correct?
 - iii. How have other cities dealt with this?
 - iv. What are our options are for dealing with this?

2. Town Center Purpose: Land Use Element, Economic Development, Policy 14.6–

Create a healthy economic environment where downtown Town Center businesses can serve the needs of Mercer Island residents as well as draw upon broader retail and commercial market areas.

- a. Should the Town Center have as one of its purposes to draw consumers from other areas of Puget Sound?

7. Level of Service: Transportation Element, Transportation Goals and Policies, Policy 10.1–

The City of Mercer Island Level of Service (LOS) shall be a minimum of “D” for the City’s transportation level of service standard at arterial street intersections.

- a. Do we want to go to a LOS D standard at some or all intersections?
- b. What is the significance of going to LOS D and what does it mean to drivers?
- c. Which intersections now operate at LOS D or lower?
- d. Does keeping LOS C permit us to charge higher impact fees?
- e. Can we state that LOS C remains our aspirational goal but LOS D would be acceptable when necessary?
- f. If Section 10.3 is intended to give the City some flexibility if the LOS standard cannot be maintained, why not keep Sect. 10.1 at LOS C? Otherwise, 10.3 would seem to give us an excuse to go to LOS E in some areas.

The Planning Commission’s recommended version of the Comprehensive Plan update is included as Exhibit 1 of this agenda bill.

NEXT STEPS

After the May 2 meeting, staff will respond to Council questions and requests for information that could not be answered at the meeting. It should be noted that the current Town Center development moratorium ends on June 15, 2016. The following is a tentative schedule for City Council deliberation and action on the Planning Commission-recommended Comprehensive Plan, as well as the Town Center Development Code Update that would allow action and implementation of the proposed new regulations prior to the moratorium expiration:

- May 9 (6:00 pm): City Council public hearing on Town Center-related Comprehensive Plan policies and Town Center Development Code
- May 16: City Council discussion and 1st reading of ordinances
- June 6: City Council discussion and 2nd reading and adoption of ordinances

At the May 2 meeting, staff will describe how the updated Comprehensive Plan can be adopted and effective prior to expiration of the moratorium.

RECOMMENDATION

Development Services Director

No action necessary. Provide input regarding additional information needs and issues to address in upcoming meetings.



2015 - 2035



Planning for Generations

CITY OF MERCER ISLAND COMPREHENSIVE PLAN



ACKNOWLEDGEMENTS

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I. INTRODUCTION

Background

In 1960, the newly created City of Mercer Island adopted the city's Comprehensive Plan. At that time the issues facing the community reflected those of a city in its infancy:

- ♦ to encourage the most appropriate use of land;
- ♦ to develop a circulation system that will provide safety and convenience;
- ♦ to install public facilities adequate to meet the demands of the population; and,
- ♦ to preserve the unique physical setting of the island.

Since 1960, the city has evolved into a mature community within the rapidly growing Puget Sound region. The 1990 Growth Management Act provided an opportunity for the community to update its original Comprehensive Plan. By 1994, the issues facing the community were different from those in 1960.

The 1994 Comprehensive Plan identified the essential issues facing the City while reinforcing our community values in relationship to the region. The Plan focused on how to revitalize the city's Town Center, comply with regional requirements for clean water and transportation, meet local needs for affordable housing and maintain reliability in public facilities and utilities.

The 2004 Comprehensive Plan update ~~will build~~ built upon the efforts begun in the previous decade. Some change has occurred. Improvements to Town Center streets and the adoption of new design regulations have helped spawn new mixed-use and commercial development in the

Town Center. However, most of the key issues and the overall vision identified in 1994 Comprehensive Plan continue to be relevant for this community.

Currently, the island is almost fully developed, consistent with the long term goals of maintaining a single family residential community within a unique physical setting. The City is served with an adequate and convenient circulation system. Parks, open space, public facilities and utilities are available, consistent with the needs of the citizenry. The City and private parties have made a considerable investment in the redevelopment of the Town Center with new buildings, a more vibrant streetscape and pedestrian-friendly environment.

The City's efforts to focus growth and revitalize the Town Center through targeted capital improvements and design standards to foster high quality development are now bearing fruit. ~~At the time the 2004 amendments were adopted, two mixed-use projects had been constructed, two large mixed-use projects were in various stages of construction and three additional mixed-use and residential developments had received design approval and are expected in 2005-2007. Between 2004 and 2014, eight mixed use projects were constructed in the Town Center, consisting of approximately 850 housing units.~~

The Vision Statement, following this Introduction, details how the community's values will be manifested in future years. The issues addressed in this Comprehensive Plan concern how best to revitalize the city's Town Center, comply with regional requirements for clean water and transportation, meet local needs for

affordable housing and maintain reliability in public facilities and utilities.

The challenge in this process will continue to be in translating the requirements of the Growth Management Act into a meaningful planning process for Mercer Island. Every effort has been made to concentrate first on the most pressing issues of the community, while still complying with the other requirements of the Act.

Overview

The Comprehensive Plan is organized into the ~~five-six~~ elements ~~mandated by the Growth Management Act~~: **Land Use, Housing, Transportation, Utilities, and Capital -Facilities, and Shorelines**. Each of the elements contains the following:

- information on existing conditions;
- explanation of how the element integrates with other plans and programs including the requirements of the Growth Management Act;
- a statement of policy direction; and
- an action plan.

Technical and background information is contained in a separately bound appendix document.

Implementation

Adoption of the Comprehensive Plan is the first step toward achieving the City's goals for the future of the community. The Plan will only be effected when implemented through a number of actions. These actions include a broad range of requirements including the adoption of new city code provisions, revised zoning and design guidelines, city participation and representation in regional forums and re-investment in capital facilities.

The Plan should be viewed as a dynamic document and subject to change as community values, conditions and needs change. To this end, the city will perform periodic reviews of the plan and amendments as changing conditions require and citizen involvement dictates. The Growth Management Act requires that the Plan be comprehensively reviewed and updated every seven years. Periodic updates may not occur more than once a year, except as allowed under RCW 36.70A.130.

II. VISION STATEMENT

INTRODUCTION

The Growth Management Act, Vision 2020, Destination 2030 and related policies have ushered in a wide range of new planning options, challenges and opportunities. Like other jurisdictions throughout the region, Mercer Island must periodically engage in a comprehensive review of its policies and their relationship to state and regional planning mandates. This process provides the opportunity to identify and reaffirm the community's long held values. It also offers a forum for policies to be updated and assimilated to function as a whole.

A Vision Statement is an essential ingredient in successful comprehensive community policy planning. Essentially, the statement should reaffirm time-tested policies or values that are generally held as positive "community trademarks" and identify others deemed relevant. Moreover, a Vision Statement should be a reflection of community aspirations. Through periodic review and refinement, it is intended to set parameters for future community activities.

The following Vision Statement is essentially the compilation of several long standing policies embodied in several existing planning documents including the Land Use Plan, Town Center Plan, and Park and Open Space Plan. Reexamining these policies implies a reexamination of the City's overall policy base.

This Vision Statement should satisfy (at least) the following three purposes: 1) City Boards, Commissions and Staff will use the Council's explicit guidance in determining the priority and degree of evaluation of existing elements in the City's Growth Management Act Policy & Planning Work Plan; 2) City employees will be guided in the provision of quality municipal services; 3) Most importantly, the Council, its advisory bodies and the community-as-a-whole will proceed with a common understanding of the quality of life values or themes that will shape our community for years to come.

"Islands can seem rather special, but then so can islanders...most people who remove themselves to islands regard themselves as having entered paradise.... Classically, a person goes to an island in much the same spirit as a person heads into exile--seeking simplicity, glorying in a world that is still incomplete and therefore full of possibilities."

Paul Theroux

COMMUNITY VALUES

Mercer Island is not an island unto itself. The community is part of a regional complex that affords housing, human services, jobs, transportation, cultural and recreational opportunities. As a partner in the ever changing world of environment, economics and politics, Mercer Island has and will continue to be an active player in regional issues. However, within this framework, Mercer Island will continue to maintain local control of all significant policy issues. Likewise, active community participation and leadership are fundamental for protecting and enhancing the values and characteristics that have shaped the quality of life and ~~liveability-~~ livability of Mercer Island.

In relative terms, Mercer Island is a young community. However, the City adheres to a collection of intrinsic values and has a desire to shape its own future as well as be an effective regional partner. While values can change over time, they do provide the basic foundation for a host of community actions and generally reflect the “heart and soul” of the community. The values listed below are among the community's most important and therefore deserve special attention.

Residential Community

Mercer Island is principally a single-family residential community, supported by healthy schools, religious institutions and recreational clubs.

Quality Municipal Services

Mercer Islanders need and expect safety, efficiency and continuously improving municipal services.

Fiscal responsibility

Mercer Islanders expect fiscal responsibility from ~~its-~~ their municipal services in light of limited resources and heightened competition for revenues.

Education is the Key

The community and its public and private institutions are committed to provide excellence in education.

~~Liveability-Livabilty~~ is Paramount

Our community's values are reflected by safety and freedom from fear, physical and environmental attributes, and the cultural and recreational opportunities of our Island. This translates into the feeling that Mercer Island is "the nicest of places for everyone to live."

Cherish The Environment

Island residents see themselves as "stewards" of the island environment. In considering community decisions, protection and enhancement of trees, open spaces, clean water and air, neighborhood quiet and environmentally sensitive lands will be given high priority.

Sustainable Community

Mercer Island strives to be a sustainable community: Meeting the needs of the present while preserving the ability of future generations to meet their own needs. We consider the relationship between the decisions we make as a community and their long-term impacts before committing to them. We understand that our strength is dependent on an open decision-making process that takes into account the economic, environmental and social well-being of our community.

HOW THE VALUES ARE MANIFESTED

Values often are characterized by specific actions or combinations of actions. Over time these actions become local community trademarks that have a profound influence in shaping a wide range of private and public decisions. Specific actions that will continue to exemplify Mercer Island's values include:

Quality Services
Liveability
Livability
Stewardship

Representative Government
Strong Leadership
Citizen Involvement

Regional Role

- The community clearly links its interests in regional matters through involvement in transportation, education, human services, domestic water, air traffic noise, marine patrol, public health and safety, and pollution abatement. Participation will continue through individual citizens, interest groups and elected officials.

Community Leadership

- Mercer Island is committed to representing its citizens through its elected and appointed officials. A longtime producer of resourceful and professional leaders, Mercer Islanders will continue to exert strong and active leadership in local and regional affairs.
- Active participation by the Island's citizens in civic events and issues is essential to representative self-government. As one of its "trademarks", the community continues to place a high value on the opportunity to participate at all levels of decision-making.

Leadership
Stewardship
"Green Equity"
Destiny Control
Citizen Involvement

Environment

- The City is committed to implementing policies aimed at preserving and enhancing the Island’s physical characteristics. Regulatory tools such as the Zoning Code, Subdivision Ordinance, Critical Lands Regulations, Shoreline Master Program, Tree Ordinance and Design Standards continue to serve as the underpinning for protection of environmental values.
- Open space (trees and green spaces) preservation continues to be a primary activity for attaining the community's quality-of-life vision. City leaders will continue to search for effective new tools and standards to protect and enhance the environment.

Community Scale
Bounded
Residential
Quality Services

Town Center

- The Town Center will continue to be located within its current boundaries and will be bordered by residential uses. Mixed-use development that includes residential units shall be encouraged within this zone. Businesses should continue to develop at a scale compatible with other community values and should provide a range of retail, office and residential opportunities. The community-scaled business district will primarily cater to the needs and desires of Island residents and employees.
- Ongoing attention to urban design principles, pedestrian needs, traffic considerations and green spaces is essential.

Pride & Spirit
Excellence in Education
Recreational & Cultural Opportunities

Community Services

- Mercer Island will continue to provide a wide range of education, cultural and municipal services for the community's varied population. Balanced and flexible programs will be necessary to meet the community's evolving needs in education, recreation and cultural enjoyment. The community will maintain its broad range of quality basic services, including public safety, human services, physical development and utilities. At the same time, community leaders recognize that delivery of these services will take place in an arena of limited resources and heightened competition for tax revenues.

Residential
 Most
 Liveable Livable
 Environmental
 Stewardship
 Leadership
 Citizen
 Involvement
 Neighborhood
 Pride

Residential Land Use

- Mercer Island is principally a low density, single-family residential community. The community will continue to seek ways to enhance its image as Puget Sound's "most ~~liveable~~-livable residential community." Supporting these efforts, City leaders will maintain the integrity of existing approved land use policies.
- The community, through its ongoing consideration of public and private projects, will continue to seek ways of enhancing the Island's quality of life through open space preservation, pedestrian trails and well-designed and functional public and semi-public facilities.
- As a single-family residential community with a high percentage of developed land, it is not necessarily appropriate that the community provide all types of lands uses. Certain activities will be viewed as incompatible with prevalent land uses and environmental values. Examples include certain recreational uses, cemeteries, zoos, airports, land fills and correctional facilities.
- Civic, recreation, education and religious organizations are important and integral elements of the community character and fabric. Their contribution and importance to the established community character should be reflected and respected in land use permit processes.

Residential
 Pride & Spirit
 Responsive
 Housing
 Opportunities

Housing

- The single-family character of the community will continue to generate the need for a variety of housing. A mix of residential housing opportunities in and around the Town Center and other existing multi-family areas will be an important element in maintaining the diversity of the Island's population.
- To understand and preserve the quality ~~and diversity~~ of the Island's housing stock, periodic reviews of housing policies will be undertaken. With that end in mind, methods will be sought to encourage ~~diversity and~~ reinvestment in existing neighborhoods and homes.

Regionally
Linked

Liveability
Livability

Safety

Leadership

Transportation

- The geography, employment and lifestyle characteristics of Mercer Island demands good permanent access to and from Interstate 90. This will require continued participation in regional transportation matters.
- Local land use policies will be coordinated with transportation plans in order to provide safe, functional surfaces for vehicles, bikes and pedestrians while avoiding local "gridlock." Local transportation planning will continue to emphasize a semi-rural setting for various arterial and collector streets. Pedestrian walks linking activities will continue to be a high community priority.

Pride & Spirit

Excellence
in Youth

Housing
Opportunities

Recreational &
Cultural
Services

Population

- As with virtually all facets of the community fabric, population changes will occur. Mercer Islanders can expect to see their population grow [from 23,310 in 2014](#) to an estimated (PSRC, approximate) ~~26,000 persons by 2020~~ [24,000 persons by 2030](#).
- Within that population base, the Island will see changes in age profiles, along with their respective needs and expectations for municipal services. The provision of human services and facilities must be updated with changes in the community's racial, age, income and lifestyle make-up. This diversification will continue to be encouraged. The standard for providing excellent services for the Island's youth will be applied to all public services and across all ages.

III. CITIZEN PARTICIPATION

Introduction

At its March, 1992 retreat, the City Council decided to seek professional assistance in reviewing the City's existing public involvement practices. As envisioned, the review was to include an analysis of citizen participation as it relates to specific issues facing the Council and community as well as to look at the role of City boards and commissions in public input processes. Ultimately, the Council was interested in the identification of strategies and techniques that would enhance City decision-making in general, and how citizen participation is conducted on Mercer Island in particular.

Upon completion of the review, the City adopted its Public Participation Strategy (August, 1992). The strategy included Objectives and Principles which help to guide the crafting of future public involvement plans for future public issues. At the time of adoption, the Council committed to applying its new Strategy to its two most important and immediate concerns: Downtown Revitalization and development and implementation of the (GMA-required) Comprehensive Plan.

The Objectives and Principles are described below, followed by the specific public involvement strategies adopted and implemented for the Downtown Revitalization and Comprehensive Plan processes.

Commitment to Public Involvement

Mercer Island City government is committed to good public process. That commitment is reflected in efforts to enhance and optimize the way in which City decisions are made to include the broadest possible range of Island

residents. The City's mission and values are understood by the Council and serve as the unifying principles that guide its decisions.

As the City undertakes its initiative to enhance its overall public participation framework, the following specific objectives have been defined:

- Increased openness and responsiveness of City government to its constituents.
- Better City decisions considering expert opinion as well as a full range of citizen perspectives and information.
- Informed consent of various stakeholder groups in decision-making processes, recognizing that conflict will exist and must be resolved.
- Streamlined decision making with broadened public input and participation, visible public acceptance and support for Council decisions.

Public Participation Principles

- Public participation should be driven by the specific goals and objectives of the program, in consideration of the specific groups of potentially affected interests or stakeholders, NOT by a random collection of public participation techniques.
- Public participation should take place as early as possible in a decision process, preferably at the scoping or option identification stage. It should include specific activities as well as informal, "keeping an ear to the ground" efforts,

and should focus on opportunities for two-way communication and responsiveness by the public.

- The decision-making entity should commit in advance to the planned level of public involvement and how it will use the public input that is received to make its decision. People must be brought to realize that the City is always listening to their concerns, even though it may not always agree with what it hears or implements.
- Appropriate techniques range from simply informing citizens to involving them through opportunities for direct participation in decision making. The guiding principle is to select the fewest number of the simplest techniques that will meet the objectives.
- Public input must be fully integrated and sequenced with technical work and the decision process in order to be useful in raising and resolving emerging issues.
- Providing feedback to public participants is critical to confirming their input, demonstrating that it is valued and in maintaining their interest in participating in City processes.

Citizen Participation & the Comprehensive Plan

Foreseeing the need to initiate "early and continuous citizen involvement" for the Comprehensive Plan, the City focused its expanded model for public participation on development of the Central Business District (CBD) Vision -- the place where nearly all of Mercer Island's Growth Management issues are focused. In August, 1992, the City

launched the Town Center "visioning" process that relied upon the broadest range of community "stakeholders". Over 80 active participants worked between October, 1992 and June, 1993 to develop the document entitled "Your Mercer Island Citizen Designed Downtown". A newsletter mailing list of over 150 persons was built to maintain continual communication to interested individuals.

August, 1993 marked another major step in the Council's commitment to the role of public participation in the implementation of the Town Center vision and preparation of the Comprehensive Plan. The City Council created the GMA Commission to serve as the primary citizen body to oversee the drafting of the draft plan.

Consistent with the adopted public involvement strategy, the GMA Commission consisted of citizen "stakeholders", representing standing City boards and commissions, citizens, downtown property owners, and business community groups. The GMA Commission oversaw and coordinated the preparation of all comprehensive plan elements, ultimately passing them on the City Planning Commission for formal review and public hearings.

Prior to making formal recommendations to the City Council, the Planning Commission will conduct meeting, hearings and/or workshops to obtain further public input. Providing another avenue for public input, environmental review of the draft plan's impacts is integrated into the Planning Commission's hearing and review process.

The Land Use Element of the Comprehensive Plan was adopted by the City Council in

December, 1993 after GMA Commission review and discussion, Planning Commission review and approval, SEPA review and City Council workshops and public hearings. Adoption of the remaining four planning elements occurred in October, 1994.

Between 1994 and 2015/2016, the 2005 update was the only substantial update.

The City continues to be committed to public participation in its ~~2004~~ 2015/2016

Comprehensive Plan Update. The City held ~~more than a dozen~~ several meetings, and an open house, to discuss proposed amendments to the Comprehensive Plan ~~and related Critical Lands Regulations amendments~~ prior to City Council Public Hearings ~~meetings~~. ~~Public involvement included the use of a stakeholder group composed of citizens representing a range of interests.~~

AMENDING THE COMPREHENSIVE PLAN

~~The Comprehensive Plan is a dynamic document because it is based on community values and an understanding of existing and projected conditions and needs, all of which continually change. The city should plan for change by establishing formal procedures for regularly monitoring, reviewing and amending the Comprehensive Plan.~~

~~The Comprehensive Plan also represents an integrated statement of policies, consistent with regional plans and based on a broad perspective developed over many months of wide spread public involvement. Amendments to the plan should be done carefully with a view toward maintaining the internal consistency and integrity of the document.~~

~~WAC 365-195-630 requires that each jurisdiction establish a process for amending the Comprehensive Plan. It also states that plan amendments cannot be considered more frequently than once a year except in an emergency, and that all proposed amendments in any year must be considered concurrently so that the cumulative effect of the changes can be considered.~~

Process for Amending the Comprehensive Plan

- ~~1. In January of each calendar year~~ After the January City Council Planning session, the Planning Commission shall prepare an annual report to the City Council on the status of the plan and progress made in implementation proposed Planning Commission annual work program.
- ~~2. Any requests for a Comprehensive Plan amendment shall be submitted to the Planning Commission by June of each year and action taken by the City Council by the end of the calendar year.~~
- ~~3. Amendments to the Comprehensive Plan shall follow the notice and hearing requirements specified for adoption of the plan.~~

Land Use



City of Mercer Island

Comprehensive Plan

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LAND USE ELEMENT

I. INTRODUCTION

Mercer Island prides itself on being a residential community. As such, most of the Island's approximately 6.2 square miles of land area is developed with single family homes. The Island is served by a small Town Center and two other commercial zones which focus on the needs of the local population. Mixed-use and multi-family developments are located within the Town Center. Multi-family development also rings the Town Center and the western fringe of the smaller Commercial Office Zone.

Parks, open spaces, educational and recreational opportunities are highly valued and consume a large amount of land. The Island has ~~over 467~~ 472 acres of park and open space lands including small neighborhood parks and trails as well as several larger recreational areas, including Luther Burbank Park and the Lid Park above the Interstate 90 tunnel. One hundred and fifteen acres of natural-forested land are set aside in Pioneer Park and an additional 150 acres of public open spaces are scattered across the community. There are three elementary schools, one middle school and a high school owned and operated by the Mercer Island School District. In addition, there are several private schools at the elementary and secondary education levels.

The community strongly values environmental protection. As a result, local development regulations have sought to safeguard land, water and the natural environment, balanced with private property rights. To reflect community priorities,

development regulations also attempt to balance views and tree conservation.

For many years, Mercer Island citizens have been concerned about the future of the community's downtown. Past business district revitalization initiatives (e.g. Project Renaissance in 1990) strove to overcome the effects of "under-capitalization" in the Town Center. These efforts sought to support and revitalize downtown commercial/retail businesses and devised a number of recommendations for future Town Center redevelopment. Growing out of previous planning efforts, a renewed interest in Town Center revitalization emerged in 1992 -- one looking to turn the 33 year old downtown into the vital economic and social center of the community.

In 1992 the City of Mercer Island undertook a major "citizen visioning" process that culminated in a broad new vision and direction for future Town Center development as presented in a document entitled "Town Center Plan for the City of Mercer Island", dated November 30, 1994. The City used an outside consultant to help lead a five day citizen design charrette involving hundreds of island residents and design professionals. This citizen vision became the foundation for new design and development standards within the Town Center and a major part of the new Comprehensive Plan that was adopted in the fall of 1994. At the same time, the City invested about \$5 million in street and streetscape improvements to create a

central pedestrian street, along 78th Avenue and route the majority of vehicular trips around the core downtown onto 77th and 80th Avenues. Specific new design and development standards to implement the Town Center vision were adopted in December of 1995. The Mercer Island Design Commission, city staff and citizens used these standards to review all Town Center projects until 2002.

In 2002, the City undertook a major planning effort to review and modify Town Center design and development guidelines, based on knowledge and experience gained from the previous seven years. Several changes were made in the existing development and design standards to promote public-private partnerships, strengthen parking standards, and develop public spaces as part of private development. Another goal of the revised standards was to unify the major focal points of the Town Center including the pedestrian streetscape of 78th Avenue, an expanded Park-and-Ride and Transit Facility, the public sculpture garden, and the Mercerdale Park facility. As a result, the following changes were made to the design standards:

- Expanding sidewalk widths along the pedestrian spine of 78th Avenue between Mercerdale Park on the south and the Sculpture Garden Park on the north,
- Identifying opportunity sites at the north end of 78th for increased public spaces,
- Requiring that new projects include additional public amenities in exchange for increased building height above the two-story minimum, and
- Increasing the number of visual interest design features required at

the street level to achieve pedestrian scale.

The changes to the design and development standards were formulated by a seven member Ad Hoc Committee composed of citizen architects, engineers, planners and several elected officials. Working for three months, the Ad Hoc Committee forwarded its recommendations to the Planning Commission, Design Commission and City Council for review. The revised Town Center Development and Design Standards (Mercer Island City Code Chapter 19.11) were adopted by City Council in July 2002 and continue to implement the Town Center vision.

The effects of the City's efforts to focus growth and revitalize the Town Center through targeted capital improvements, development incentives and design standards to foster high quality development are now **bearing fruit**, materializing. ~~As of June 2005, 86 new units had been constructed, 394 units were in various stages of advanced construction, and 420 units were in the permitting pipeline. A total of 112,000 square feet of commercial will be added to the Town Center as a result of projects built since 2001, under construction or in the permitting pipeline.~~ Between 2001 to 2007, 510 new housing units, and 115,922 square feet of commercial area was were constructed in the Town Center. Between 2007 and August 2014, 360 new housing units, and 218,015 square feet of new commercial area was constructed. In 2014, the city began a process to review the vision, Comprehensive Plan polices and development and design guidelines for the Town Center. The new vision includes an

extensive public process, and may result in changes to the Town Center Plan. The Land Use Element specific to the Town Center will be reviewed and updated as appropriate following this process. This effort involved several stakeholder groups, 15 joint meetings of the Planning and Design Commissions and hundreds of public comments.

During 2004, the City engaged in a major effort to develop new design standards for all non-single family development in zoning districts outside the Town Center. This effort also used an Ad-Hoc process of elected officials, design commissioners, developers, and architects. The design standards for Zones Outside of Town Center were adopted in December 2004. These standards provide new direction for quality design of non-residential structures in residential zones and other multi-family, commercial, office and public zones outside the Town Center.

Updates to this document were made in 2014 to comply with the Countywide Planning Policies, including updated housing and employment targets.

~~In 2014, the city began a process to review the vision for the Town Center. The new vision includes an extensive public process, and may result in changes to the Town Center Plan. The Land Use Element specific to the Town Center will be reviewed and updated as appropriate following this process.~~

In 2006, a grassroots effort of Island citizens led the City to modify the vision statement in its comprehensive plan to include language embracing general sustainability,

and in May 2007 the Council committed to a sustainability work program as well as a specific climate goal of reducing greenhouse gas emissions by 80% from 2007 levels by 2050, which was consistent with King County and Washington State targets. Later in 2007, the Council set an interim emissions reduction goal (often called a “milepost”) for City operations of 5% by 2012.

From 2010 to 2014, with the entire community’s sustainability in mind, the City has implemented a wide range of outreach programs, efficiency campaigns, alternative energy initiatives, land-use guidelines, and other natural resource management measures designed to minimize the overall impacts generated by Island residents, for the benefit of future generations. Due to the 20-year horizon envisioned by this comprehensive plan, it is especially appropriate to include measures that address the long-term actions needed to reduce greenhouse gas emissions, ideally in collaboration with other local governments. Actions that the City will take in the management of its own facilities and operations are addressed in the Capital Facilities Element of this plan.

These measures, and others under consideration, are identified in more detail in a rolling 6-year Sustainability Plan, to be adopted in 2015, which will guide the City’s internal and external actions while taking into account the interrelated issues of climate change, population change, land use, public infrastructure, natural resources management, quality of life, public health, and economic development.

II. EXISTING CONDITIONS AND TRENDS

Town Center

The Town Center is a 76-acre bowl-shaped area that includes residential, retail, commercial, mixed-use and office-oriented businesses. Historically, convenience businesses -- groceries, drugstores, service stations, dry cleaners, and banks -- have dominated the commercial land uses; many of them belonging to larger regional or national chains. Retailers and other commercial services are scattered throughout the Town Center and are not concentrated in any particular area. With a diffused development pattern, the Town Center is not conducive to "browsing", making movement around the downtown difficult and inconvenient for pedestrians, physically disadvantaged persons and bicyclists.

Mercer Island's downtown is located only 3 miles from Seattle and 1 mile from Bellevue via I-90. I-90 currently provides critical vehicular, bicycle and pedestrian access to the Town Center as well as the rest of the Island. Regional transportation plans anticipate future development of a high capacity transit system in the I-90 corridor. In light of recent and potential future public transportation investments in the I-90 corridor and in keeping with the region's emerging growth philosophy, redevelopment and moderate concentration of future growth into Mercer Island's Town Center represents the wisest and most efficient use of the transportation infrastructure.

As required by the Growth Management Act of 1990, the Land Use Element presents

a practical and balanced set of policies that address current and future land use issues. An inventory of existing land uses (Table 1 and 2 below) and a forecast of future development and population trends (Section III.) provide a backdrop for issues and policies. Subsequent sections IV and V address major land use issues and policies for the Town Center and non-Town Center areas.

Table 1. Town Center Land Uses & Facts Snapshot (~~December 2004~~ May 2015)

Total Land Area	76.5 acres
Total Net Land Area (excludes public right-of-way)	62.2 <u>61.1</u> acres
Total Floor Area (includes all uses)	1,657,482 <u>2,385,723</u> square feet (27 <u>20</u> % office, 22 <u>15</u> % retail, and 49 <u>65</u> % residential, 2% <u>public</u>)
Total Floor Area – Ratio	0.6 <u>0.90</u>
Total Housing Units	796 <u>1532</u>
Total Net Residential Density	13-25 units/acre (Approx. 60-75 units/acre on sites with residential uses)
Total Employment	4,300 <u>3,993</u> ¹

Notes: This table includes ~~two~~one mixed-use projects currently under ~~were under~~ construction as of ~~June 2005~~May 2015 (i.e. ~~Island Market Square and Building A of The Mercer-Hadley~~). ~~Several additional significant projects are in the development pipeline and are tentatively expected to begin construction on or before 2007.~~

¹This information is provided by the PSRC and is derived from Census data.

Areas Outside the Town Center

Single family residential zoning accounts for ~~90~~88% of the Island's land use. There are ~~3,705~~534 acres zoned for single family residential development. This compares to ~~776~~ acres in the Town Center zones, 19 acres for Commercial Office zone, and ~~10399~~ acres in multi-family zones (Table 2). City Hall is located in a Commercial Office zone, while other key civic buildings such as the Post Office and the Main Fire Station are located in the Town Center and City Hall. Many of the remaining public buildings, schools, recreational facilities and places of religious worship are located in residential or public areas zones.

Approximately 95% of all residential land on Mercer Island is currently developed. Over the last thirty years, most public facilities have been re-constructed, or have planned additions, in sufficient quantities to serve current and projected populations. This category includes schools, parks and recreation facilities, streets and arterials, municipal offices and fire stations. Future re-investments in these facilities will primarily improve the reliability and function of the community's "infrastructure" rather than adding significant new capacity. [Refer to the Capital Facilities Element for a more in-depth discussion of public facilities.]

Single family residential zones designate a number of different lot sizes and densities including 8,400 sq. ft., 9,600 sq. ft., 12,000 sq. ft. and 15,000 sq. ft. Of the ~~3,300~~534 acres in these zones, approximately 145 remain unimproved. Most unimproved lots are small parcels and/or are platted building lots within previously developed neighborhoods. Some additional capacity

exists in larger lots which can be subdivided. However, during the planning horizon, the City expects an average of roughly six subdivisions a year, the majority of which will be short plats of four or fewer lots.

The most densely developed neighborhoods are found on the Island's north end. This includes East Seattle and First Hill as well as neighborhoods immediately north and south of the I-90 corridor and areas along the entire length of Island Crest Way.

The least densely populated neighborhoods are ones with the largest minimum lot size and are designated as Zone R-15 (15,000 sq. ft. minimum lot size). These neighborhoods, generally located along East and West Mercer Way, contain the greatest amount of undeveloped residential land and often contain extremely steep slopes, deep and narrow ravines and small watercourses. Because environmentally sensitive areas often require careful development and engineering techniques, many of these undeveloped lands are difficult and expensive to develop.

Generally, Mercer Island's oldest neighborhoods are situated on a fairly regular street grid with homes built on comparatively small lots 40 to 60 years ago. Interspersed among the older homes are renovated homes and new homes that are often noticeably larger. Newer developments tend to consist of large homes on steeply pitched, irregular lots, with winding narrow private roads and driveways. Many residential areas of Mercer Island are characterized by large mature tree cover. Preservation of this greenery is an important community value.

Most Mercer Island multi-family housing is located in or on the borders of the Town Center. However, two very large complexes straddle I-90 and are adjacent to single family areas. Shorewood Apartments is an older, stable development of ~~nearly 600~~ 646 apartment units. It was extensively remodeled in 2000. North of Shorewood and across I-90 is the retirement community of Covenant Shores. This development ~~will have~~ has a total of ~~255~~ 237 living units, ranging from independent living to fully assisted living.

There is one Commercial/Office (CO) zone outside the Town Center. It is located along the south side of the I-90 corridor at East Mercer Way and contains several office buildings, including the Mercer Island City Hall. In the summer of 2004, the regulations in the CO zone were amended to add retirement homes as a permitted use with conditions.

Table 2. Land Uses Outside Town Center (2004) Zones and Acreage (2014)

ZONE	ACREAGE
<u>Business - B</u>	<u>2.85</u>
<u>Commercial Office - CO</u>	<u>19.45</u>
<u>Multifamily - MF-2</u>	<u>42.03</u>
<u>Multifamily - MF-2L</u>	<u>7.73</u>
<u>Multifamily - MF-3</u>	<u>53.73</u>
<u>Public Institution - P</u>	<u>284.31</u>
<u>Planned Business - PBZ</u>	<u>13.89</u>
<u>Single Family - R-12</u>	<u>77.44</u>
<u>Single Family - R-15</u>	<u>1277.04</u>
<u>Single Family - R-8.4</u>	<u>779.36</u>
<u>Single Family - R-9.6</u>	<u>1399.98</u>
<u>Town Center - TC</u>	<u>77.16</u>

Zone	Land (Acres)
Single Family R-8.4	830
Single Family R-9.6	1,494
Single Family R-12	77
Single Family R-15	1,304
Multi-Family MF-3	54
Multi-Family MF-2L	8
Multi-Family MF-2	37
Planned Business - PBZ	15
Commercial Office - CO	19
Business - B	3
Public Institutions - P	184

Note: Figures above include adjacent right-of-way.

For land use and transportation planning purposes, Mercer Island has not been designated as an Urban Center in the Puget Sound Regional Council's Vision 2020. As such, Mercer Island will not share in the major growth of the region, but will continue to see new employment and residential development, most of which will be concentrated in the Town Center. Employment will continue to grow slowly and will be significantly oriented towards serving the local residential community. Transit service will focus on connecting the Island to other metropolitan and sub-regional centers via Interstate 90 and the region's high capacity transit system

III. GROWTH FORECAST

Residential and Employment 20-year Growth Targets

The King County Countywide Planning Policies (CPPs) establish growth targets for all of the jurisdictions within King County. The CPPs were initially adopted in 1992, and have been amended several times since then. Elected officials from King County, the Cities of Seattle and Bellevue, and the Suburban Cities Association meet as the Growth Management Planning Council (GMPC). This Council makes recommendations to the County Council, which has the authority to adopt and amend the CPPs. During ~~2012-2031~~~~2003~~, the GMPC worked with an inter-jurisdictional team of King County Planning Directors to determine an equitable distribution of the growth targets throughout the County. It was agreed that the City of Mercer Island would plan to accommodate ~~2,000~~~~1,437~~ new housing units and ~~1,000~~~~800~~ new jobs ~~over the 2001–2022 planning period~~~~between 2006 and 2031~~. GMA requires jurisdictions to plan for 20 years of forecasted growth, so the growth target time horizon was extended out to 2035. (See Table 3).¹

Employment and Commercial Capacity

According to the ~~2002 Puget Sound Regional Council, as of March 2010 Eastside Economic Forum Report~~, there are approximately ~~7,8836,622 total jobs~~ on Mercer Island¹ (~~Hebert Research, Inc.~~). ~~Based on estimates done by the Suburban Cities Association and the City of Mercer Island, there are approximately 4,292 jobs in the Town Center alone. The City’s analysis completed to inform the 2014 King County Buildable Lands Report shows that According to the 2002 King County Buildable Lands Report, Mercer Island has the capacity for a total of 2,373 new jobs; well in excess of the 1,160 growth target for which Mercer Island must have sufficient zoned land to accommodate. 1,248 new jobs, with an additional 228 jobs from planned developments. Approximately 25,000 sq. ft. of new commercial space was completed in 2002–2005. In addition, approximately 59,000 sq. ft. of new commercial space was under construction with an additional 28,000 sq. ft. of commercial development currently in the entitlement process.~~

Table 3 - Growth Targets

Housing Growth Target (in units)

Original growth target, 2006-2031 2022 GMPC Targets	2,000
Adjusted growth target, 2006-2035 Housing Target	2,320 1,437 additional housing units
Job Target	800 additional jobs

Employment Growth Target (in jobs)

Original growth target, 2006-2031	1,000
Adjusted growth target, 2006-2035	1,160

¹ Housing Analysis Appendix, Exhibit J-1, page A-17.

Residential Growth

The Comprehensive Plan contains three types of housing figures: a capacity estimate, a growth target, and a housing and population forecast. Each of these housing numbers serves a different purpose.

Housing Capacity

As required in a 1997 amendment to the Growth Management Act (RCW 36.70A.215), recent growth and land capacity in King County and associated cities have been reported in the ~~2014~~2002 King County Buildable Lands Report.

The capacity estimate identifies the number of new units that could be accommodated on vacant and redevelopable land under current zoning. The capacity estimate is not a prediction of what will happen, merely an estimate of how many new units the Island could accommodate based on our current zoning code, the number and size of vacant properties, and some standard assumptions about the redevelopment potential of other properties that could accommodate additional development.

According to the ~~2014~~2002 Buildable Lands Report, the City of Mercer Island has the capacity for ~~2,271~~2,004 additional housing units on properties designated for residential uses through new development on vacant lands and/or through redevelopment of underutilized lands. Based on zoning and redevelopment assumptions done in ~~2012~~2002 for the Buildable Lands Report, about ~~1,279~~614 new housing units could be accommodated in single family zones, ~~143~~41 new housing units could be accommodated in multifamily zones and

~~1247~~641 units could be accommodated in ~~mixed use zones~~the Town Center.

~~The housing capacity numbers, particularly in the mixed use zones (Town Center), are currently under review. Based on recently permitted projects and closer observation of redevelopment factors, the City is analyzing the current Town Center capacity estimates and believes capacity in the Town Center may be more than originally thought. Redevelopable land in the Town Center was determined based~~

~~Based on a preliminary analysis of those parcels which currently have an improvement to land value ratio of .5 or less and are not in public or utility ownership, Additionally, townhomes and condominium properties were not considered redevelopable, and only those properties allowing 2.5 residential units or more are included in the analysis, the City believes that there may be capacity in the Town Center for as many as 1300 additional multifamily units. Future assumed densities for this preliminary figure were based on the density of recently permitted projects (2/3 mixed-use, 1/3 commercial only). This methodology used in the 2014 Buildable Land Analysis is the same a similar methodology used in the 2007 Buildable Lands Report. This capacity is in addition to those projects which are currently under construction.~~

~~The City is revising the capacity estimates based on recent construction and development trends in the Town Center and concerns about critical area limitations in single family zones. The City will provide new official capacity estimates for all portions of the Island in the next Buildable Lands Report in 2007.~~

Housing Targets

As mentioned above, the City has a King County Growth Management Planning Council (GMPC) ~~2035~~~~22~~~~2022~~ housing target of ~~2,320~~ ~~1,437~~ new units. The housing target represents the number of units that the City is required to plan for under the Growth Management Act. The housing target is not necessarily the number of units that will be built on Mercer Island over the next two decades. Market forces, including regional job growth, interest rates, land costs, and other factors will have a major influence on the number of actual units created.

Housing and Population Forecast

The third type of housing figure contained in the Comprehensive Plan is a local housing forecast. Table ~~43~~ contains a housing unit and population forecast for 2010 ~~through 2030 and 2020~~ conducted by ~~City planning staff~~ the Puget Sound Regional Council (PSRC), using a parcel-based land use model called UrbanSim, based on existing zoning and land use designations. The City conducted this preliminary forecast in response to new construction and development interest that is higher than was anticipated when the GMPC growth targets were established in 2002.

~~The City~~ PSRC anticipates an increase in housing units at an average annual growth rate of approximately ~~0.25~~ ~~1.0~~ between ~~2010~~~~00~~~~2000~~ and ~~2042~~~~2020~~, for a total ~~housing unit increase of approximately 21% over this 20-year period.~~ This represents an increase of approximately ~~1,856~~ ~~453~~ housing units and ~~1,495~~ ~~4,193~~ people over ~~30~~ ~~20~~ years. ~~The City forecasts 10,662 total housing units and a total population of 26,229 by 2020. The rate of population~~

~~growth is expected to be slightly less than housing growth over the same period due to the expected continued decrease in household size.~~

The Housing Unit and Population forecasts are informed estimates based on several factors, such as growth trends for new single family and accessory dwelling units over the last several years, Puget Sound Regional Council forecasts of future household size, ~~Town Center development under construction and in the development pipeline, and a closer examination of redevelopment potential on the Island based on local knowledge and property data analysis. In particular, the City looked closely at improvement to land value ratios and sites known to be under consideration by development interests, transportation systems and demand modeling, and real estate market fluctuations.~~

Given the uncertainty of future market forces, periodic reviews of housing and population forecasts should be made to evaluate the future growth assumptions. Adjustments to this forecast will also be necessary if the projections on household size and population growth vary significantly from those forecasted. Planning staff predict that PSRC's multifamily unit growth estimates for the period through 2030 are likely to be surpassed as early as 2020. This prediction is based on the established pattern of larger, mixed use developments adding 100-200 units at a time to the City's multifamily housing supply and projects that are now in the development pipeline. Planning staff predicts that PSRC's multifamily unit growth estimates in particular are likely to be surpassed as early as 2020, based on current pipeline development in the Town Center in addition

~~to the pattern of larger, mixed use developments adding 100-200 units at a time to the City's multifamily housing supply. However, based on all available information, the City will likely meet our established 20-year growth target, perhaps as early as 2016 if this forecast is accurate.~~
The City will continue to monitor housing unit, population growth and market trends, and adjust land use, transportation, and capital facilities planning as necessary prior to the next major Comprehensive Plan update in ~~2023~~2011.

Housing Density

The average allowed density in the City of Mercer Island is more than 6.2 dwelling units per acre. This figure is based on the proportional acreage of each land use designation (or zones) that allows residential development, the densities permitted under the regulations in place today for that zone, and an assumption that the average practical allowed density for the Town Center is ~~99.1684~~ units per acre. Since there is no maximum density in the Town Center and density is controlled instead by height limits and other requirements, the figure of ~~99.1684~~ units per acre represents the ~~average density~~overall achieved net density of the ~~last four recently approved~~ mixed-use projects in the Town Center constructed since 2006. ~~Even if the land area and density of the Town Center is not included, the average Island-wide allowed density would still be approximately 4.8 dwelling units per acre.~~

Table 4 – 2010-2020/2020 Housing Unit and Population Forecast

Year	Overall Household Size (1)	SFR Units (2)	Mult Multi-family Units (3)	Total Increase in units per decade	Total Housing Units	Population
1990-2010 (Census)	2.4859	6,8737 02	2,2364, 619	N/A	8,3219,1 09	22,699020,8 16
202000 (CensusFo recast)200 0-(Census)	2.54858	7,2016, 840	2,2574, 813	485349	9,4588,8 06	24,053222,0 36
20310201 0 (Forecast)	2.53151	7,3490 02	2,266,5 23	959157	9,6159,7 65	24,355510

Notes:

Forecasts of average household size were obtained from Puget Sound Regional Council (2003); 2010 household size data obtained from the 2010 Census. All other data is from PSRC, using their 2013 Forecast- parcel-based land use model using Urban Sim.

- ~~1. Forecasts of Single Family Residential (SFR) Units are based on the trend of net new single family home (new construction minus demolitions) building permits for the last six years. Actual SFR construction may be higher if select known large acreage sites are put on the market during the planning period or due to other change in market factors.~~
- ~~2. Forecasts of Multifamily Units are based on a conservative set of factors and assumptions. These include projects currently under construction, in the development pipeline, and parcels with a high likelihood of redevelopment based on known developer interest and very low improvement to land value ratios. Assumed densities were determined from a sample of six recently completed or permitted projects (4 mixed-use and 2 commercial). Please contact Development Services Group for more information.~~
- ~~3. Forecasts of Accessory Dwelling Units (ADUs) are based on a trend line projection of ADU permits issued since 1995.~~

IV. LAND USE ISSUES

Town Center

1. The Town Center land designated for commercial retail, service and office uses is much larger than the local population can support. This has contributed to a historical pattern of relatively low private investment in downtown properties. Consequently, the Town Center consists of ~~principally many~~ one story strip centers, surrounded by vast parking lots (FAR of only 0.23); a typical suburban sprawl-like development.
- ~~2. Few business developments interact with one another. Some R-retail and office buildings are free standing, often isolated, without a coherent, concentrated core area conducive to walking and browsing. The lack of a downtown center or core has likely been a significant impediment to private investments in the Town Center.~~
- ~~32.~~ In 1994, the City made significant street improvements in the Town Center, which have resulted in a more pedestrian-friendly environment. However, more needs to be done on the private development side to design buildings with attractive streetscapes so that people will have more incentive to park their car and walk between shopping areas.
- ~~43.~~ The Town Center is poorly identified. The major entrance points to the downtown are not treated in any special way that invites people into the business district.

Outside the Town Center

1. The community needs to accommodate two important planning values -- maintaining the existing single family residential character of the Island, while at the same time planning for absorbing a relatively small amount of population and housing growth.
2. Accessory housing units are allowed by City zoning regulations, and offer a new way to add housing capacity to single family residential zones without disrupting the character.
3. Commercial Office and PBZ zones must serve the needs of the local population while remaining compatible with the overall residential character of the community.
4. Ongoing protection of environmentally sensitive areas including steep slopes, ravines, watercourses, and shorelines is an integral element of the community's residential character.
5. View protection is important and must be balanced with the desire to protect the mature tree growth.
6. Within the bounds of limited public resources, open space and park land must be preserved to enhance the community's extraordinary quality of life and recreation opportunities.
7. There is a lack of pedestrian and transit connections between the Town Center, the Park and Ride, and Luther Burbank Park.

V. LAND USE POLICIES

Town Center

Mercer Island's business district vision as described in "Your Mercer Island Citizen-Designed Downtown" was an important step in galvanizing community support and understanding for future Town Center development. It is the basis for much of what is new in the comprehensive plan. This common vision is essential for revising the Town Center land use policies and for updating the Zoning Code with new standards and guidelines for development.

The following focus areas have been established for the Town Center: Gateway Focus Area, Mixed Use Focus Area, Mid-Rise Office Focus Area, Residential Focus Area and Auto-Oriented Focus Area.

~~Gateway Focus Area: The purpose of the gateway focus area is to provide the broadest mix of land uses in the Town Center, oriented towards pedestrian connections and regional transit access along I-90.~~

~~Mixed Use Focus Area: The purpose of the mixed use focus area is to provide mixed retail, office, and residential uses at a level of intensity sufficient to support transit service.~~

~~Mid-Rise Office Focus Area: The purpose of the of the mid-rise office focus area is to provide an area for office use with ground floor retail in close proximity to transit and the I-90 corridor.~~

~~Residential Focus Area: The purpose of the residential focus area is to encourage low-~~

~~rise, high-density housing in the Town Center. Three residential focus areas have been established (Northwest, Central and South) with varied height restrictions to allow a better transition to the single-family residential to the south.~~

~~Auto-Oriented Focus Area: The purpose of the auto-oriented focus area is to provide a location for commercial uses that are dependent on automobile intensive uses.~~

~~The Town Center focus areas may be revised after completion of the 2015 Town Center Visioning process.~~

TOWN CENTER VISION:

MERCER ISLAND TOWN CENTER SHOULD BE...

1. THE HEART of Mercer Island, where residents want to shop, eat, play and relax together.
2. ACCESSIBLE to people of all ages and abilities.
3. CONVENIENT to enter, explore and leave with a variety of transportation modes.
4. WELL DESIGNED with public spaces that offer attractive settings for entertainment, relaxation and recreation.
5. DIVERSE with a range of uses, building types and styles that acknowledge both the history and future of the island.
6. LOCAL providing businesses and services that meet every day needs on the island.
7. HOME to a variety of housing options for families, singles and seniors.

SAMPLE ONLY—

NOT MERCER ISLAND (this is Overlake)



**MERCER ISLAND TOWN CENTER
2035**

SAMPLE ONLY—

NOT MERCER ISLAND (this is Overlake)

GOAL 1 Create a mixed-use Town Center with pedestrian scale and connections.

1.1 A walkable mixed-use core should be located adjacent to a regional transit facility and be of sufficient size and intensity to create a focus for Mercer Island.

LAND USE AND DEVELOPMENT

Goal 2: Create a policy and regulatory structure that will result in a diversity of uses that meets Islanders’ daily needs and helps create a vibrant, healthy Town Center serving as the City’s business, social, cultural and entertainment center.

2.1 Use a variety of creative approaches to organize various land uses, building types and heights in different portions of the Town Center.

Goal 3: Have a mixture of building types, styles and ages that reflects the evolution of the Town Center over time, with human-scaled buildings, varied height, set-backs and step-backs and attractive facades.

3.1 Buildings taller than two stories may be permitted if appropriate public amenities and enhanced design features are provided.

3.2 Locate taller buildings on the north end of the Town Center and step down building height through the center to lower heights on the south end, bordering Mercerdale Park. See Figure TC-1.

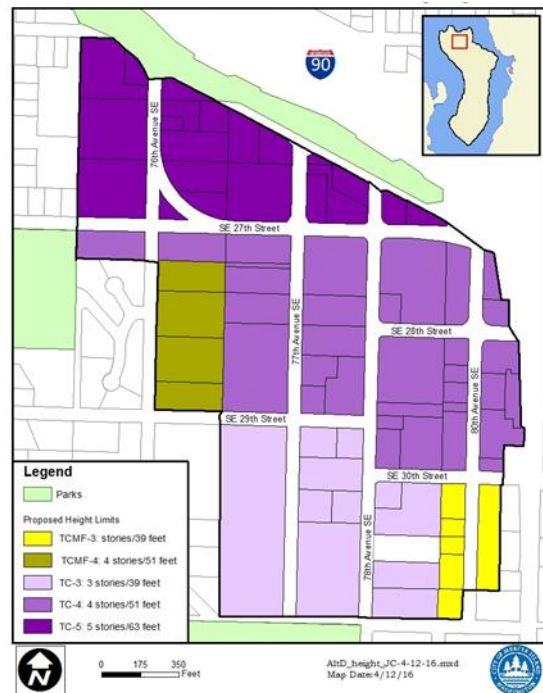


Figure TC-1: Town Center subareas and height limits

3.3 Calculate building height on sloping sites by measuring height on the lowest side of the building.

3.4 Mitigate the “canyon” effect of straight building facades along streets through use of

upper floor step-backs, façade articulation, and similar techniques.

3.5 Buildings on larger parcels or with longer frontage should provide more variation of the building face, to allow for more light and create the appearance of a smaller scale, more organic, village-like development pattern. Building mass and long frontages resulting from a single user should be broken up by techniques such as creating a series of smaller buildings (like Island Square), providing public pedestrian connections within and through a parcel, and use of different but consistent architectural styles to create smaller building patterns.

3.6 Building facades should provide visual interest to pedestrians. Street level windows, minimum building set-backs, on-street entrances, landscaping, and articulated walls should be encouraged.

Goal 4: Create an active, pedestrian-friendly retail core.

4.1 Street-level retail, office, and service uses should reinforce the pedestrian-oriented circulation system.

4.2 Retail street frontages (Figure TC-2) should be the area where the majority of retail activity is focused. Retail shops and restaurants should be the dominant use, with personal services also encouraged to a more limited extent.



Figure TC-2: Required Retail Frontage Types

Goal 5: Encourage a variety of housing forms, including townhomes, apartments and live-work units attractive to families, singles, and seniors at a range of price points.

a. Land uses and architectural standards should provide for the development of a variety of housing types, sizes and styles.

b. Encourage development of low-rise multi-family housing in the TCMF subareas of the Town Center.

c. Encourage the development of affordable housing within the Town Center.

d. Encourage the development of accessible housing within the Town Center.

e. Encourage options for ownership housing within the Town Center.

CIRCULATION AND PARKING

Goal 6: Be convenient and accessible to people of all ages and abilities, including pedestrians, bicyclists, transit users and motorists.

Goal 7: Town Center streets should be viewed as multiple-use facilities, providing for the following needs:

- Access to local businesses and residences
- Access for emergency vehicles
- Routes for through traffic
- Transit routes and stops
- On-street parking
- Pedestrian and bicycle travel
- Sidewalk activities, including limited advertising and merchandising and restaurant seating.
- Occasional special events and outdoor entertainment

7.1 All Town Center streets should provide for safe and convenient multi-modal access to existing and future development in the Town Center.

7.2 Design streets using universal design principles to allow older adults and individuals with disabilities to “stroll or roll”, and cross streets safely.

7.3 78th Avenue SE should be the primary pedestrian corridor in the Town Center, with ample sidewalks, landscaping and amenities.

7.4 77th Avenue SE should serve as the primary bicycle corridor connecting the regional bicycle network along I-90 and the planned light rail station with Mercerdale

Park and the rest of the Island south of the Town Center.

Goal 8: Be pedestrian-friendly, with amenities, tree-lined streetscapes, wide sidewalks, storefronts with canopies, and cross-block connections that make it easy to walk around.

8.1 Provide convenient opportunities to walk throughout Town Center.

8.2 Create safe pedestrian routes that break-up larger city blocks.

Goal 9: Have ample parking, both on-street and off, and the ability to park once and walk to a variety of retail shops.

9.1 Reduce the land area devoted to parking by encouraging structured and underground parking. If open-air, parking lots should be behind buildings.

9.2 Encourage improved access to transit, bicycle, pedestrian and shared parking facilities to reduce trip generation and provide transportation alternatives, particularly for secondary trips once users reach the Town Center.

9.3 Consider a range of regulatory and incentive approaches that can increase the supply of public parking in conjunction with development proposals.

9.4 On and off-street parking should be well-lit, convenient and well-signed so that drivers can easily find and use parking.

9.5 Develop long-range plans for the development of additional commuter parking to serve Mercer Island residents.

9.6 Prioritize parking for Mercer Island residents within the Town Center.

Goal 10: Prioritize Town Center transportation investments that promote multi-modal access to regional transit facilities.

Goal 11: Promote the development of pedestrian linkages between public and private development and transit in and adjacent to the Town Center.

PUBLIC REALM

Goal 12: Have inviting, accessible outdoor spaces with seating, greenery, water features, and art that offer settings for outdoor entertainment and special events as well as for quiet contemplation.

12.1 Outdoor public spaces of various sizes in Town Center are important and should be encouraged.

12.2 Encourage the provision of on-site open space in private developments but allow development agreements and payment of a calculated amount of money as an option to dedication of land. In addition, encourage aggregation of smaller open spaces between parcels to create a more substantial open space.

12.3 Investigate potential locations and funding sources for the development (and acquisition if needed) of one or more significant public open space(s) that can function as an anchor for the Town Center's character and redevelopment. Identified "opportunity sites" are shown in Figure TC-3 and described below. These opportunity sites should not preclude the identification

of other sites, should new opportunities or circumstances arise.

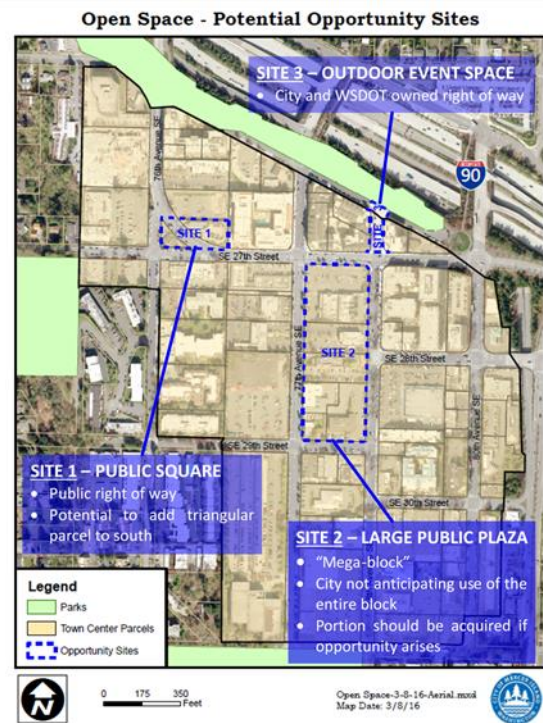


Figure TC-3: Possible locations for significant public open space

SUSTAINABILITY

GOAL 13: Town Center buildings should meet a high standard of energy efficiency and sustainable construction practices as well as exhibiting other innovative green features, above and beyond what is required by the existing Construction Code.

~~1.2 The following pedestrian-oriented land uses should continue to develop over time in the Town Center: retail shops, professional offices, restaurants, services, lodging, residences, and community/ recreational facilities.~~

~~1.3 Street level retail, office, and service commercial uses should reinforce encourage the a pedestrian-oriented~~

circulation system. Site improvements should enhance streets and sidewalks.

1.4 Building facades should provide visual interest to pedestrians. Street level windows, minimum building set backs, on street entrances, landscaping, and articulated walls should be encouraged.

1.5 A minimum floor area ratio should be established which provides the economic incentives for redevelopment; provides sufficient intensity to support transit, bicycle and pedestrian facilities; and creates a focus for social, cultural and commercial activities and supports the design elements of the plan.

1.6 A base building height should be established in the Town Center in order to encourage community values such as pedestrian scale Town Center designs, respect for views, creation of visual interest and identity and incorporation of important public amenities. Additional stories up to a maximum of five (5) stories should be allowed when site development provides for amenities such as ground floor retail spaces, art, public gathering spaces, underground parking, affordable housing units, pedestrian connections, special landscaping and site design features, special building form/design features and transit oriented design features.

The land area devoted to parking should be reduced by encouraging structured and underground parking for higher intensity uses. Improved access to transit, bicycle, pedestrian and shared parking facilities should be encouraged

to reduce trip generation and provide transportation alternatives, particularly for secondary trips once users reach the Town Center. However, the City recognizes that the automobile may remain the primary mode of transportation for most Town Center trips. The City will continue to require new development to meet minimum parking ratios and provide adequate facilities to meet expected demand by auto users.

1.7 Parking structures should not dominate the street frontage. Retail uses should be encouraged on the first floor of street edges of parking structures to improve the visual effect and interest.

1.8 Building and street designs as well as other public facilities should accommodate the needs of physically disadvantaged persons, remaining consistent with the goals and objectives of the Americans with Disabilities Act.

GOAL 2 — Create a prominent Encourage further development and enhancement of the Gateway Focus Area within the Town Center.

2.1 A Gateway Focus Area developed through a public-private partnership should be located within the northerly portion of the Town Center, near the I-90 corridor.

2.2 The Gateway Focus Area should reinforce the mixed-use area by creating a place suitable for informal gathering or public events, such as community events, celebrations, and concerts.

~~2.3—The form of the Gateway Focus Area should be coherent and memorable. It should include seating areas and be enhanced by such features as trees and flower displays, fountains, art and open spaces.~~

~~2.4—Pedestrian access should be provided from the Gateway Focus Area to the surrounding areas. Buildings should be oriented toward street and public spaces.~~

~~2.5—Uses supportive of the needs and interests of youths, families, senior adults and physically challenged persons should be encouraged in the Gateway Focus Area.~~

GOAL 3—Establish a Encourage further development in Mid-Rise Office Focus Area in close proximity to retail and transit.

~~3.1—Future demand for office space development should utilize the land located in the Town Center and the Commercial Office zone.~~

~~3.2—Safe and accessible underground parking areas and parking garages should be encouraged or placed to the rear of buildings to maintain pedestrian scale at the street level.~~

~~3.3—A maximum building height of five (5) stories should be established which meets the same objectives for building height as in the core area. Special care should be given to landscaping, mass and roof forms of buildings to provide visual interest from residential areas located on the hillside surrounding the downtown.~~

GOAL 4—Encourage development of low-rise, high-density housing in the Residential Focus Areas of the Town Center.

~~4.1—A higher concentration of residences should be located within the Town Center boundaries and provide for the major focus of residential growth within the community.~~

~~4.2—The higher density residential uses should provide a mix of housing types, including townhouses, condominiums, and apartments and should be attractive to the needs of a variety of housing markets including current Mercer Island homeowners.~~

~~4.3—A range of multi-family residential densities should be allowed within the Town Center. Higher density and bulk should be allowed where the topography can accommodate such conditions without negatively affecting surrounding residential neighborhoods.~~

~~4.4—Maximum achievable building heights should be five (5) stories in the Town Center in the Gateway, Mixed Use, Mid-Rise Office, and Residential-Northwest areas. Maximum building heights should be four (4) stories in the Residential-Central area of the Town Center three (3) stories in the Residential-South area of the Town Center, and two (2) stories in the Auto-oriented Focus area. Additional stories above an established base height should be allowed when site development provides for public amenities such as ground floor retail spaces, art, public gathering spaces, underground parking, affordable~~

housing units, pedestrian connections, special landscaping and site design features, special building form/design features and transit-oriented design features.

~~4.5 The streetscape should be enhanced by articulating building facades, orienting entrances to the street, and through the provision of landscaping and art.~~

~~4.6 Residential garages should be positioned to reduce their visual impact on the street.~~

~~GOAL 5 Direct uses which rely solely on auto trips to locate in the Auto-Oriented Focus Area on the periphery of the Town Center.~~

~~5.1 New auto-oriented uses should be encouraged outside the commercial core on the periphery of the Town Center and parallel to the major Island arterial, Island Crest Way.~~

~~5.2 While all uses that are allowed in other Town Center Focus Areas should be allowed in this area, auto-intensive uses including drive-in banks, service stations and automotive repair services should be encouraged.~~

~~5.3 Landscaping should be provided to soften and screen the visual impact of parking lots and service areas.~~

~~5.4 Uses should respect the neighboring residential uses in terms of aesthetics, noise and automobile traffic.~~

Economic Development Policies

ECONOMIC DEVELOPMENT

GOAL ~~6~~14: Continue to encourage vitality and growth through the support of economic development activities on Mercer Island in the Town Center.

~~6~~14.1 Establish the Town Center as an active and attractive commercial node, including the use of gateways, wayfinding and signage, and links to transit.

~~6~~14.2 Maintain a diversity of downtown land uses ~~designations.~~

~~6.3~~ ~~6~~14.3 Support economic growth that accommodates the required Mercer Island's share of the regional employment growth target of 1,228 new jobs from 2006-2035, with recognition of regional growth targets, by maintaining adequate commercial zoning capacity, infrastructure, and supportive economic development policies. Create an environment for private investment that relies on economic incentives as the primary mechanism for achieving the Downtown Vision.

14.4 Investigate formation of a business improvement area (BIA), or other mechanism authorized by state law, to help promote Island businesses, to support Town Center activities, and to finance improvements and amenities. Identify a staff person who will help coordinate economic development activities.

14.5 Support public and private investment in existing properties, infrastructure, and marketing to help maintain

longstanding businesses and attract new ones.

~~6.4 Create a center, accessible for vehicles but with an emphasis on the needs of pedestrians, including the needs of senior citizens, youths and physically-challenged persons.~~

~~6.5 Integrate residential, retail, civic and transit uses in the downtown area Town Center.~~

~~6.6 Create a memorable and desirable downtown for Mercer Islanders, visitors and shoppers to enjoy.~~

~~6.7~~14.6 Create a healthy economic environment where downtown Town Center businesses can serve the needs of Mercer Island residents as well as draw upon broader retail and commercial market areas.

~~6.8 Look at ways to streamline permits for business renovations that do not include substantial redevelopment, such as tenant improvements.~~

~~6.9 Actively work with the Chamber of Commerce, Mercer Island Rotary Club, Mercer Island Lions Club, and other community groups to identify ways the City can support the local business environment.~~

~~6.10 Support and encourage home-based businesses in the City, provided that signage, parking, storage, and noise impacts are compatible surrounding uses.~~

~~6.11 Work to enhance transportation, parking, electronic, and other~~

~~infrastructure for business development on Mercer Island.~~

~~6.12 Coordinate with other agencies and jurisdictions to encourage business retention.~~

Land Use Policies Outside the Town Center

GOAL 715: Mercer Island should remain principally a low density, single family residential community.

715.1 Existing land use policies, which strongly support the preservation of existing conditions in the single family residential zones, will continue to apply. Changes to the zoning code or development standards will be accomplished through code amendments.

715.2 Residential densities in single family areas will generally continue to occur at 3 to 5 units per acre, commensurate with current zoning. However, some adjustments may be made to allow the development of innovative housing types, such as accessory dwelling units and compact courtyard homes at slightly higher densities as outlined in the Housing Element.

715.3 Multi-family areas will continue to be low rise apartments and condos and duplex/triplex designs, and with the addition of the Commercial/Office (CO) zone, will be confined to those areas already designated as multi-family zones.

~~7~~15.4 As a primarily single family residential community with a high percentage of developed land, the community cannot provide for all types of land uses. Certain activities will be considered incompatible with present uses. Incompatible uses include land fills, correctional facilities, zoos and airports. Compatible permitted uses such as education, recreation, open spaces, government social services and religious activities will be encouraged.

GOAL 816 Achieve additional residential capacity in single family zones through flexible land use techniques.

816.1 Use existing housing stock to address changing population needs. Accessory housing units and shared housing opportunities should be considered in order to provide affordable housing, relieve tax burdens, and maintain existing, stable neighborhoods.

816.2 Through zoning and land use regulations provide adequate development capacity to accommodate Mercer Island's projected share of the King County population growth over the next 20 years.

816.3 Promote a range of housing opportunities to meet the needs of people who work and desire to live in Mercer Island.

816.4 Promote accessory dwelling units in single-family districts subject to specific development and owner occupancy standards.

816.5 ~~Encourage infill~~Infill development on vacant or under-utilized sites ~~should occur that are~~ outside of critical areas and ensure that the infill is compatible with the surrounding neighborhoods.

GOAL 917: With the exception of allowing residential development, commercial designations and permitted uses under current zoning will not change.

917.1 The Planned Business Zone uses on the south end of Mercer Island are compatible with the surrounding single family zone needs. All activities in the PBZ are subject to design review. Supplemental design guidelines have been adopted.

917.2 Commercial uses and densities near the I-90/East Mercer Way exit and SE 36th Street are appropriate for that area. All activities in the CO zone are subject to design review and supplemental design guidelines may be adopted.

917.3 Inclusion of a range of residential densities should be allowed when compatible in the Commercial Office (CO) zones. Through rezones or changes in zoning district regulations, multi-family residences should be allowed in all commercial zones where adverse impacts to surrounding areas can be minimized. Housing should be used to create new, vibrant neighborhoods.

917.4 Social and recreation clubs, schools, and religious institutions are

predominantly located in single family residential areas of the island. Development regulation should reflect the desire to retain viable and healthy social, recreational, educational, and religious organizations as community assets which are essential for the mental, physical and spiritual health of Mercer Island.

Natural Environment Policies

GOAL 108: The protection of the natural environment will continue to be a priority in all Island development. Protection of the environment and private property rights will be consistent with all state and federal laws.

~~1018.1~~ The City of Mercer Island shall protect environmentally sensitive lands such as watercourses, geologic hazard areas, steep slopes, shorelines, wildlife habitat conservation areas, and wetlands. Such protection should continue through the implementation and enforcement of critical areas and shoreline regulations.

~~1018.2~~ Land use actions, storm water regulations and basin planning should reflect intent to maintain and improve the ecological health of watercourses and Lake Washington water quality.

~~1018.3~~ New development should be designed to avoid increasing risks to people and property associated with natural hazards.

~~1018.4~~ The ecological functions of watercourses, wetlands, and habitat conservation areas should be maintained and protected from the potential impacts associated with development.

~~1018.5~~ The City shall ~~consider-utilize~~ best available science during the development and implementation of critical areas regulations. Regulations will be updated periodically to incorporate new information and, at a minimum, every ~~seven-eight~~ years as required by the Growth Management Act.

~~1018.6~~ Encourage low impact development approaches for managing stormwater and protecting water quality and habitat.

~~1018.7~~ Services and programs provided by the City with regards to land use should encourage residents to minimize their own personal carbon footprint, especially with respect to energy consumption and waste reduction.

~~1018.8~~ The City's development regulations should encourage long term sustainable stewardship of the natural environment. Examples include preservation and enhancement of native vegetation, tree retention, and rain gardens.

~~1018.9~~ Outreach campaigns and educational initiatives should inform residents of the collective impact of their actions on local, county, and state

[greenhouse gas emissions reduction goals.](#)

Parks and Open Space Policies

GOAL ~~1119~~: Continue to maintain the Island's unique quality of life through open space preservation, park and trail development and well-designed public facilities.

~~1119~~.2 More specific policy direction for parks and open space shall be identified in the Parks and Recreation Plan and the Pedestrian and Bicycle Facility Plan. These plans shall be updated periodically to reflect changing needs in the community.

~~1119~~.3 Acquisition, maintenance and access to public areas, preserved as natural open spaces or developed for recreational purposes, will continue to be an essential element for maintaining the community's character.

~~1119~~.4 View preservation actions should be balanced with the efforts to preserve the community's natural vegetation and tree cover.

~~1119~~.5 Future land use decisions should encourage the retention of private club recreational facilities as important community assets.

~~1119~~.6 Provide recreation and leisure time programs and facilities that afford equal opportunities for use by all Mercer Island residents while considering the needs of non-Mercer Island residents.

~~1119~~.7 Provide a system of attractive, safe, and functional parks, and park facilities.

~~1119~~.8 Preserve natural and developed open space environments and trails for the benefit of all existing and future generations.

~~1119~~.9 Provide a broad representation of public art through cooperation with the Mercer Island Arts Council.

~~1119~~.10 Funding for existing facilities should be a top priority and should be provided at a level necessary to sustain and enhance parks, trails and open space consistent with the Parks and Recreation Plan, the Trails Plan and the Capital Facilities Element.

~~1119~~.11 Promptly investigate open space acquisition opportunities as they become available.

~~1119~~.12 Pursue state and federal grant funding for parks and open space improvements.

VI. ACTION PLAN

GOAL 1 To implement land use development and capital improvement projects consistent with the policies of the comprehensive plan.

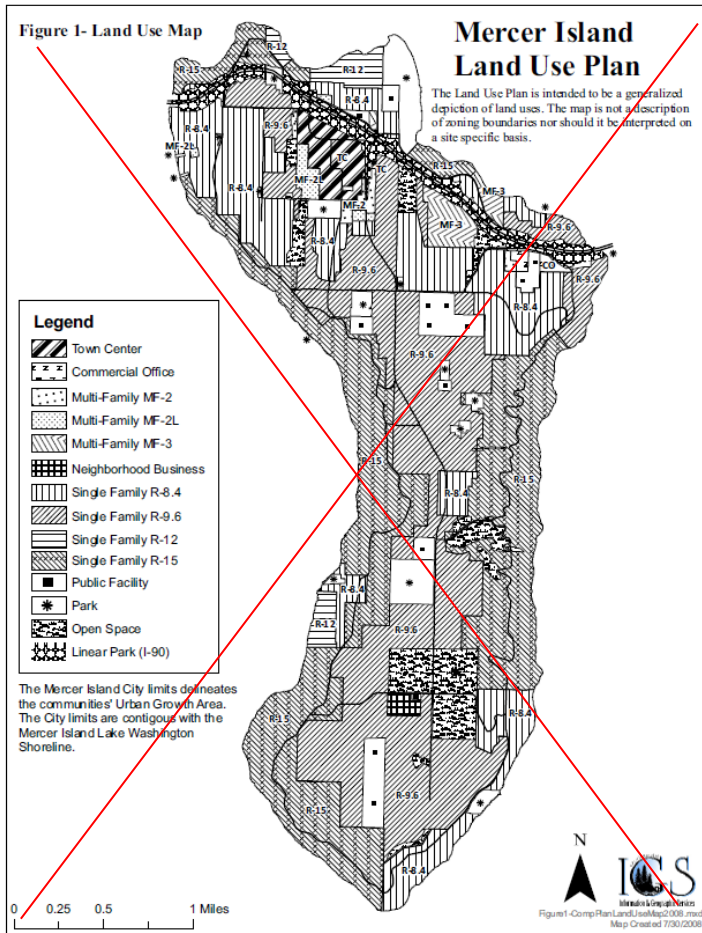
- 1.1 To focus implementation of the Comprehensive Plan on those issues of highest priority to the City Council and community: Town Center development, storm drainage, critical lands protection, and a diversity of housing needs including affordable housing.
- 1.2 To create opportunities for housing, multi-modal transportation, and development consistent with the city's share of regional needs.
- 1.3 To make effective land use and capital facilities decisions by improving public notice and citizen involvement process.
- 1.4 To continue to improve the development review process through partnership relationships with project proponents, early public involvement, reduction in processing time, and more efficient use of staff resources.
- 1.5 To continue to improve the usability of the "Development Code" by simplifying information and Code format; eliminating repetitious, overlapping and conflicting provisions; and

consolidating various regulatory provisions into one document.

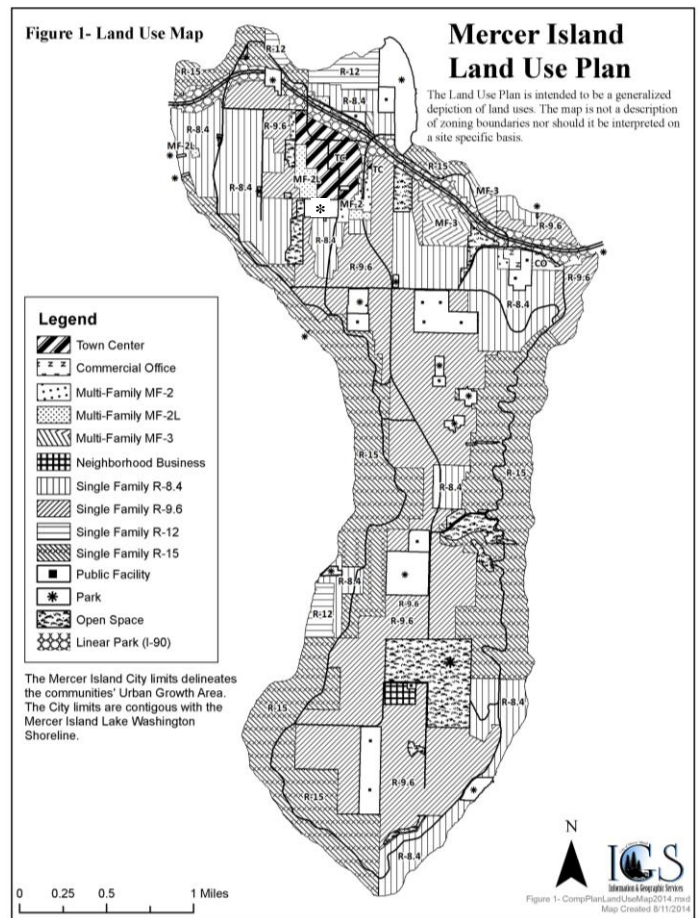
1.6 Mercer Island has consistently accepted and planned for its fair share of regional growth, as determined by the GMPC and the King County CPPs. Build out of the City is approaching, and could occur by 2035 or shortly thereafter. In the future, therefore, the City will advocate for future growth allocations from the GMPC which reflect its community vision, as reflected in the Comprehensive Plan and development regulations; environmental constraints; infrastructure and utility limitations; and its remaining supply of developable land."

Town Center Streetscape Master Plan

~~In 1994, a master plan was developed for the Town Center downtown streetscape after active citizen input in the visioning process. The master plan resulted in wider sidewalks along 78th Avenue, and placement of planters and street furniture on a pedestrian friendly scale. The plan also requires any new projects over the minimum 2-story height, to include public amenities in its design.~~



Current Map (to be replaced)



Updated Map

Figure 2 - Town Center Map

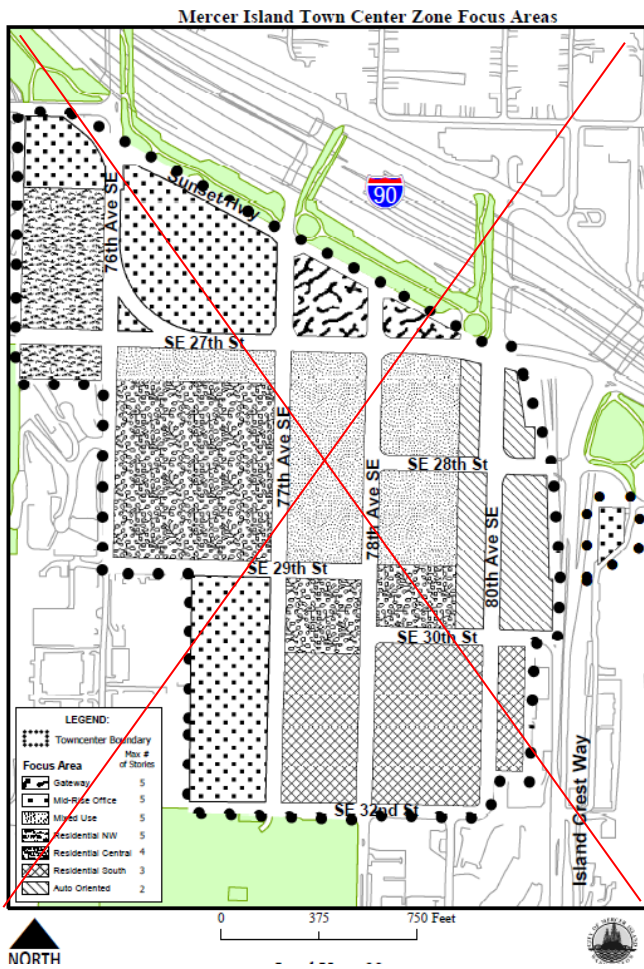
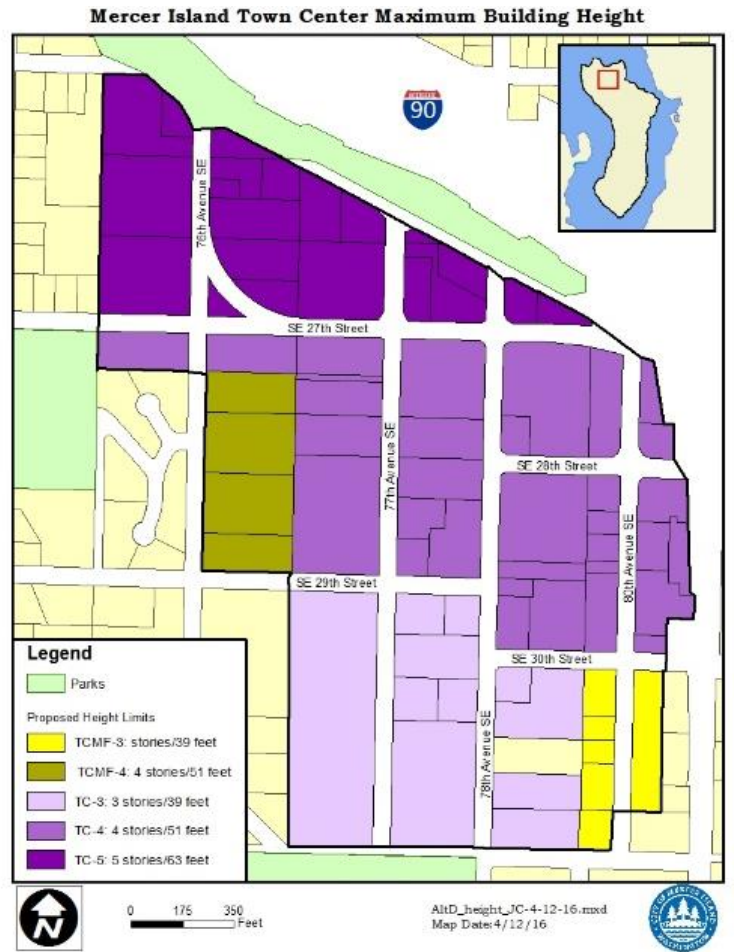


Figure 2 – Town Center Map



Current Map (to be replaced)

Updated Map

Figure 3 - Town Center Development and Businesses

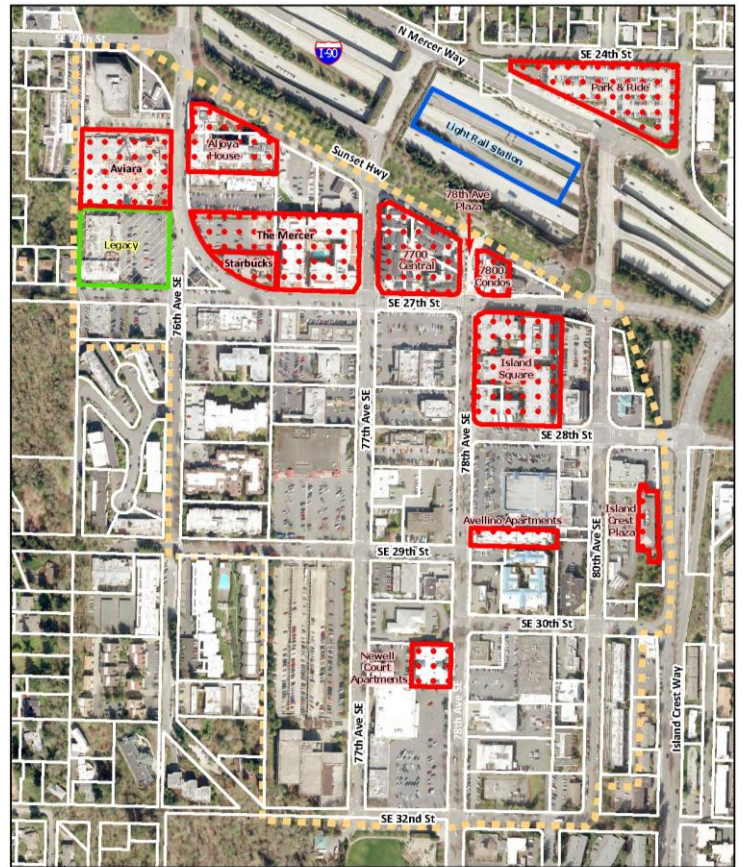


Figure 3: Town Center Development & Business- 2014

Town Center Boundary
 Formally Submitted
 Completed
 Under Construction

Map Version: 09/23/2014
Aerial Photo: April 2012
Town Center Development 2014.mxd

[Current Map \(to be replaced\)](#)

[Updated Map](#)

Housing



City of Mercer Island

Comprehensive Plan

HOUSING ELEMENT

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HOUSING ELEMENT

I. INTRODUCTION

The housing element highlights the goals and needs of Mercer Island housing in four areas. Neighborhood quality discusses the need to balance the vitality of existing housing stock and neighborhood character with the changing housing needs of Island residents. The Housing Supply section covers changing demographic needs and both existing housing stock and projected goals for providing future housing. The section on Housing Options addresses housing needs for people of all economic segments as well as those with special housing needs. Implementation and Tracking outlines strategies for accomplishing all the City's housing goals.

II. PLANNING CONTEXT

Growth Management Act

The Growth Management Act (GMA) requires the City to create a 20 year planning document. This plan must include a housing element that makes provisions for existing and projected housing needs. The State's GMA ~~goal~~ housing goal is to

"Encourage the availability of affordable housing to all economic segments of the population of this state, promote a variety of residential densities and housing types, and encourage preservation of existing housing stock. ~~s for housing are as follows:~~

- ~~• Ensure housing for all economic segments of the population of this state~~
 - ~~• Participate in making available a fair share of affordable housing, including affordable housing for people with special needs~~
 - ~~• Promote zoning classifications which allow a variety of residential densities and housing types~~
 - ~~• Encourage preservation of existing housing stock~~
- ~~Assure that housing complies with local, state, and federal fair housing laws"~~

In order to accomplish ~~these goals~~ this goal, Mercer Island must promote secure and well maintained residential single family and multi-family areas, while ~~searching for~~ capitalizing on opportunities to increase the supply and diversity of housing. The Mercer Island Municipal Code allows for accessory dwelling units to be integrated into single-family neighborhoods, increasing the housing supply and diversity of housing types while maintaining neighborhood character. In much of the Town Center, development can be four or five stories tall, provided significant amenities or major site features are integral to the site design. These two policies are examples of how Mercer Island's policies support the state's housing goal.

~~Policies to allow new innovative and single-family compatible housing types have been proposed for single family neighborhoods. The Town Center and CO zoning districts have also been targeted as an area for additional multi-family housing opportunities.~~

Countywide Planning Policies

The King County Growth Management Planning Council (GMPC) has also established housing policies that affect the City. In addition to establishing projected growth targets (see Land Use Assumptions section) the King County Countywide Planning Policies (CPPs) provide a framework to plan for and promote a range of housing choices. ~~require that new housing should provide a mix of affordability. The CPPs state:~~

Overarching Goal: The housing needs of all economic and demographic groups are met within all jurisdictions.

~~“All jurisdictions shall provide for a diversity of housing types to meet a variety of needs and provide for housing opportunities for all economic segments of the population. All jurisdictions shall cooperatively establish a process to ensure an equitable and rational distribution of low income and affordable housing throughout the County in accordance with land use policies, transportation, and employment locations.”~~

The countywide need for housing by percentage of area median income is shown in Table 1, located in Section IV. Housing Supply: Housing Affordability & Availability. The CPPs also specify the amount of affordable housing jurisdictions should plan for:

~~“Each jurisdiction shall plan for a number of housing units affordable to households with incomes between 50 and 80 percent of the County median household income that is equal to 17 percent of its projected net household growth. In addition, each jurisdiction shall plan for a number of housing units affordable to households with~~

~~incomes below 50 percent of median income that is either 20 percent or 24 percent (24 percent for Mercer Island) of its projected net household growth.”~~

~~While these goals are aggressive, they reflect the countywide income mix of all households.~~

Mercer Island has a very limited supply of undeveloped, buildable residential land. That fact and high land values make it more difficult to provide affordable housing on the Island. The Housing Affordability and Availability section of this element ~~(Section IV(b))~~ describes Mercer Island’s strategies and progress in meeting affordable housing targets addressing the need for housing affordable to households at all income levels.

In an effort to provide affordable housing on a regional level ~~In support of affordable housing development and preservation on a regional level,~~ the City is a member of A Regional Coalition for Housing (ARCH), an intergovernmental agency that works to preserve and increase the supply of housing for low- and moderate-income Eastside households.

Land Use Assumptions II. Accommodating Growth

Land Use Assumptions

Mercer Island has historically served as a residential community, and the majority of the Island's land use is ~~in~~ single family dwellings on relatively large lots. Mercer Island residents strongly value their community for its quality family neighborhoods and accessible local services. The Island is served by Mercer Island's Town Center, which allows for diverse commercial and non-commercial land uses, and two smaller commercial areas. These commercial areas focus on the needs of the local population.

There are three general types of residential areas in Mercer Island: Single family residential neighborhoods, which is the Island's predominate land use; Town Center multifamily residential and mixed use development; and multifamily areas surrounding the Town Center.

The Housing Element is coordinated with the Land Use element and land use map, recognizing the City's ~~20-year growth target of 1,437 original growth target of 2,000 new housing units (2006- 2031)~~ set by the Growth Management Planning Council, ~~and a local 20-year forecast of 1,856 new housing units.~~ Because the Growth Management Act requires jurisdictions to plan for 20 years of growth, the planning horizon and the growth target was extended to 2035 with the units to accommodate increasing to 2,320.

[Planning to accommodate the City's growth target of 2,320 units by 2035 through growth in the community's housing stock is](#)

[consistent with regional land use and transportation plans.](#)

[Between 2006 and 2012, 698 new housing units were constructed, counting against the growth target of 2,320 and resulting in 1,622 units that the City must plan to accommodate through 2035.](#)

The 20~~1402~~ Buildable Lands Report identifies capacity for 2,~~271~~ 2,004 additional new housing units on Mercer Island, which is sufficient to meet the ~~20-year~~ City's household growth target, ~~as well as the more recently generated housing forecast.~~ Current zoning will accommodate 614 single family units (30.6% of total capacity), 143 multifamily units (7.1% of total capacity), and 1,247 units (62.3% of total capacity) in mixed-use and multifamily developments in the Town Center.

~~However, due to recent development activity and trends as of 2005, the City is reviewing assumptions about multifamily capacity in the Town Center. It is expected that multifamily capacity is significantly higher than originally estimated.~~

~~Based on a preliminary analysis of those parcels which currently have an improvement to land valuation of .5 or less and are not in public or utility ownership, the City believes that there may be capacity in the Town Center for as many as 1300 additional multifamily units. Future assumed densities for this preliminary figure were based on the density of recently permitted projects (2/3 mixed-use, 1/3 commercial only). This capacity is in addition to those projects which are currently under construction.~~

~~Achieving Planning to accommodate the City's 20-year growth target of 1,437-2,320 households units by 2035 through growth in the community's housing stock is consistent with regional land use and transportation plans.~~

Targeted Housing Growth

One strategy of this housing element is to focus a significant percentage of the Island's ~~20-year~~ projected growth into the Town Center ~~and surrounding multifamily areas.~~ This strategy puts less growth pressure on existing single family neighborhoods; provides opportunities to address some of the community's changing demographics (e.g. more smaller households, aging population); and multifamily development can help meet the City's housing affordability goals.

~~Even if as predicted,~~ a significant portion of future housing permits are for multifamily housing, it would not significantly impact Mercer Island's existing nature of being a predominantly single family community. For example, if ~~two-thirds~~ 70 percent of the City's 20-year growth target was achieved ~~through~~ with multifamily units ~~as predicted in the 2014 Buildable Lands Report,~~ the overall proportion of single family housing would only decrease from about 72.7% to 65.7% of the City's total housing supply¹. The change in single family to multifamily proportion is minimal because projected growth will only be a relatively small part of the predominantly single family housing supply.

¹ Appendix, Exhibit L-1

~~This Housing Element plans for projected growth in ways that will mirror the City's existing residential character of single-family residential, multifamily residential in multifamily zones, and multifamily and mixed-use in the Town Center. ~~It includes new and infill development of traditional and, potentially on a more limited basis, innovative single family housing types (e.g. accessory dwelling units and compact courtyard homes) in single family areas; as well as rental and condominium multifamily housing in the Town Center and in multifamily areas that ring the Town Center and in CO and PBZ zoning districts.~~~~

Housing Characteristics

Of the ~~8,806~~ 9,930 housing units reported by ~~2000~~ the 2010 Census, ~~77.5%~~ 73.9% are single family and ~~22.5%~~ 26.1% are multifamily units. Between ~~1992 and 2002~~ 2006 and 2012, ~~38%~~ 74% of new permits issued in Mercer Island were for multifamily housing², consistent with the housing strategy since 2005 of focusing much of the housing growth in the Town Center and multifamily zones. ~~While Mercer Island has issued a lower proportion of multifamily permits than other cities in East King County (overall 63%), it is an increase from the previous decade when only about 22% of new permits in Mercer Island were multifamily.³ Mercer Island's housing stock includes 167 permitted accessory dwelling units, 139 persons in institutional care (nursing home), one federally subsidized Section 8 apartment complex with 59 units for seniors, and 68 units of retirement housing. There are no formal estimates of the~~

² 2014 Buildable Lands Report

³ In addition to the Point Cities, Newcastle (15% MF) and Sammamish (38% MF) were equal or less than Mercer Island (ARCH permit survey).

~~number of group homes, however, 2,279 people indicated that they lived in group quarters in the 2010 Census.~~

Mercer Island has consistently met its overall housing growth targets, and since 1992 almost 60% of that growth came from multi-family homes, or about the same percentage as King County overall³. This corresponds to the development of mixed-use multi-family housing in the town center. Consequently, single-family detached homes have declined as a share of the city's total housing stock, but are still greater than in most EKC cities.

The bulk of Mercer Island's housing was built during the 1950's and 1970's. Prior to 1959, 2,783 units existed. In the next two decades (1960-1979), 3,966 units were added. Another 1,655 housing units were added between 1980 and March 2000. By 1990, housing development had slowed and shifted from large subdivisions to infilling of already built neighborhoods. After Town Center regulations underwent a significant update in 2006 and the post-recession economic pickup in the late 2000's, several buildings were constructed in the Town Center. Between 2006 and 2012, 472 new multifamily units were constructed in the Town Center⁴, primarily in mixed-use buildings.

Generally, the oldest housing areas have a regular street grid pattern, and homes are on lots of 8,400 to 9,600 sq. ft. They are located on the most level terrain, including East Seattle and First Hill, north and south of I-90, and along Island Crest Way. The newer housing and the largest lot sizes

³ Appendix, Exhibit L-1

⁴ Mercer Island permitting activity prepared for the King County 2014 Buildable Lands Report 2014 Buildable Lands Report

(15,000 sq. ft. and up) are along the east and west sides of the Island on narrow, curving roads, many of which are private. These neighborhoods often contain steep slopes, deep, narrow ravines and small watercourses. Due to the environmentally sensitive nature of these areas, careful development and engineering requirements make this land difficult and expensive to develop.

Most multifamily housing ~~rings~~ is located in and around the Town Center. In addition, two large complexes straddle I-90 and abut single family neighborhoods.

II. ~~PLANNING CONTEXT~~

~~Growth Management Act~~

~~The Growth Management Act (GMA) requires the City to create a 20-year planning document. This plan must include a housing element that makes provisions for existing and projected housing needs. The State's GMA goals for housing are as follows:~~

- ~~• Ensure housing for all economic segments of the population of this state~~
 - ~~• Participate in making available a fair share of affordable housing, including affordable housing for people with special needs~~
 - ~~• Promote zoning classifications which allow a variety of residential densities and housing types~~
 - ~~• Encourage preservation of existing housing stock~~
- ~~Assure that housing complies with local, state, and federal fair housing laws.”~~

~~In order to accomplish these goals, Mercer Island must promote secure and well-maintained residential single-family and multi-family areas, while searching for opportunities to increase the supply and diversity of housing.~~

~~Policies to allow new innovative and single-family compatible housing types have been proposed for single family neighborhoods. The Town Center and CO zoning districts have also been targeted as an area for additional multi-family housing opportunities.~~

~~Countywide Planning Policies~~

~~The King County Growth Management Planning Council (GMPC) has also established housing policies that affect the City. In addition to establishing projected growth targets (see Land Use Assumptions section) the King County Countywide Planning Policies (CPPs) require that new housing should provide a mix of affordability. The CPPs state:~~

~~“All jurisdictions shall provide for a diversity of housing types to meet a variety of needs and provide for housing opportunities for all economic segments of the population. All jurisdictions shall cooperatively establish a process to ensure an equitable and rational distribution of low-income and affordable housing throughout the County in accordance with land use policies, transportation, and employment locations.”~~

~~The CPPs also specify the amount of affordable housing jurisdictions should plan for:~~

~~“Each jurisdiction shall plan for a number of housing units affordable to households with incomes between 50 and 80 percent of the County median household income that is equal to 17 percent of its projected net household growth. In addition, each jurisdiction shall plan for a number of housing units affordable to households with incomes below 50 percent of median income that is either 20 percent or 24 percent (24 percent for Mercer Island) of its projected net household growth.”~~

~~While these goals are aggressive, they reflect the countywide income mix of all households.~~

~~Mercer Island has a very limited supply of undeveloped, buildable residential land. That fact and high land values make it more difficult to provide affordable housing on the island. The Housing Affordability and Availability section of this element (Section IV[b]) describes Mercer Island's strategies~~

~~and progress in meeting affordable housing targets.~~

~~In an effort to provide affordable housing on a regional level, the City is a member of A Regional Coalition for Housing (ARCH), an intergovernmental agency that works to preserve and increase the supply of housing for low- and moderate-income Eastside households.~~

III. NEIGHBORHOOD QUALITY

Mercer Island is characterized by high quality neighborhoods that are well maintained and have a strong sense of pride.

There are three general types of residential neighborhoods in Mercer Island. First are single family neighborhoods which comprise the majority of the city's developed land area, and consist primarily of owner occupied housing. Second, is the Town Center and third the surrounding multifamily zones which consist of a mix of rental and ownership multifamily housing.

The single family neighborhoods are predominantly residential with scattered uses such as schools and religious buildings. Single family neighborhoods typically serve the needs only of its residents, and because of their lower density residents rely predominantly on automobiles.

The Town Center multifamily areas are intermixed with other commercial and office uses. The mix of residential and commercial uses in the downtown results in creating a neighborhood that serves the needs of

downtown area residents and residents from the broader community. The compactness of this area allows more opportunity for pedestrian access and transit use by residents.

Multifamily residential outside the Town Center tend to be more auto-dependent, with on-site or adjacent amenities such as open-space that primarily serves these neighborhoods. Residents in mixed use neighborhoods and multifamily residential areas often look for more amenities within walking distance of their housing and rely more on shared open spaces. When considering strategies and policies to address neighborhood character and quality, strategies can vary depending upon the type of neighborhood.

Some level of investment, and thus change, in existing neighborhoods is natural and an indication of a healthy, stable environment. Typical investments may include new additions and improvements on existing houses, as well as new houses that are built either on vacant lots or after a house is torn

down. One of the City's roles in promoting neighborhood quality is to facilitate healthy change within neighborhoods by providing for development that is compatible in quality, design, character and scale with existing land uses, traffic patterns, public facilities and sensitive environmental features. All neighborhoods in Mercer Island, but single family neighborhoods in particular, are largely dependent on cars as the primary transportation to jobs, transit stations, and commercial goods and services. Current and future provision and maintenance of roads, utilities and other public services are necessary to maintain residential access to all amenities.

Mercer Island single family neighborhoods pride themselves on their narrow, quiet streets and dense plantings. The City protects these neighborhoods through development regulations and other city codes which restrict the bulk and scale of buildings, control noise and nuisances, minimize the impact of non-residential uses and help preserve the natural environment. Parks, open spaces and trails also contribute to the neighborhood quality.

Through citizen boards, commissions and special task forces, the City encourages neighborhood participation in protecting and enhancing neighborhood quality. A matching grant program from the Beautification Fund encourages landscape plantings and other amenities.

~~Single family neighborhoods are dependent on cars as the primary transportation to jobs, transit stations, and commercial goods and services. Current and future provision and maintenance of roads, utilities and~~

~~other public services are necessary to maintain residential access to all amenities.~~

GOAL 1: ~~To ensure~~Ensure that single family and multi-family neighborhoods provide safe and attractive living environments, and are compatible in quality, design and intensity with surrounding land uses, traffic patterns, public facilities and sensitive environmental features.

- 1.1 Ensure that zoning and city code provisions protect residential areas from incompatible uses and promote bulk and scale consistent with the existing neighborhood character.
- 1.2 Promote single family residential development that is sensitive to the quality, design, scale and character of existing neighborhoods.
- 1.3 Promote quality, community friendly Town Center, CO and PBZ district residential development through features such as pedestrian and transit connectivity, and enhanced public spaces.
- 1.4 Preserve the quality of existing residential areas by encouraging maintenance and revitalization of existing housing stock.
- 1.5 Foster public notification and participation in decisions affecting neighborhoods.

1. 6 Provide for roads, utilities, facilities and other public and human services to meet the needs of all residential

areas. (~~See Appendix G – Mercer Island Human Services Strategic Plan 1999 – 2000~~)

IV. HOUSING SUPPLY

Demographic Changes

Mercer Island’s population changed very little (just 3%) from 2000 to 2010, but the number of households grew by 15%⁵. This implies smaller households, which is reflected in the city’s household types. A majority of Mercer Island households (61%) consist of only one or two persons. This compares to 58% in 2000 and 49% in 1980, and is consistent with overall smaller households in most parts of the County.⁶

What differentiates Mercer Island from other East King County (EKC) cities (aside from the Point Cities) is the relatively high percentage of married couples without children—35% of all households⁷. As in other “maturing suburbs” (typically incorporated before 1990, little or no annexation), the city has many empty nesters who continue to live where they raised their families. And unlike most of the rest of East King County, Mercer Island experienced an actual small decline in married couples with children.

Mercer Island has a larger proportion of school-age children and senior adults and lower percentages of younger (age 20 to 44) adults. Note that, according to the Mercer Island School District, more than 100 students now live in the Town Center, a demographic believed to be rising. In addition, the 34-to-44 age group fell in proportion, while the 55-to-64 age group rose.

⁵ Appendix, Exhibits A and B

⁶1980, 2000 and 2010 Census

⁷ Chart M-1, Needs Analysis Supplement and Appendix, Exhibit B

The Mercer Island population is expected to increase by about 10% to 19% between 2000 and 2020.⁸ In addition, the housing needs of some of Mercer Island residents may change significantly over the next twenty years. There was a 131% increase in the total number of seniors living on Mercer Island between 1980 (1,779 people over 65) and 2000, (4,114 people over 65) even though the total population increased only about 2%. In comparison, King County experienced a 40% increase in senior population between 1980 and 2000. Mercer Island’s percentage of seniors has gone from 8.3% (less than the countywide average) to over 18.5%, well over the countywide average and the highest percent in East King County.

From 1980 to 2000, Mercer Island has seen a significant decrease in population aged 21 to 35 (16.0% to 8.7%). The Countywide figures for the same time period show a decrease from 29.7% to 23.7%. This indicates that Mercer Island has historically had a relatively low percentage in the 25 to 35 age group that has become even more pronounced in the last twenty years. This trend can also be seen in the 35 to 45 age group. For this age group, Mercer Island has seen a shift from having a higher percentage compared to countywide averages in 1980 (16.7% vs. 12.6%), to having a lower percentage (15% vs. 17.8%).

Mercer Island does have a relatively high percentage of married households with children, but they comprise only 30% of all households. The total percentage of

⁸Puget Sound Regional Council, Residential Forecasts 12/18/03, City of Mercer Island local housing and population forecast 12/3/04.

~~households with children also decreased from 42% in 1980 to 35% in 2000 (30% MI households are married with children and 5% MI households are single parent with children). A majority of Mercer Island households (58%) consist of only one or two persons. This compares to 49% in 1980 and is consistent with overall smaller households in most parts of the County.⁹~~

[variety in lifestyle choice](#) for renters.

Simply stated, Mercer Island households were older and smaller in 2010 than they were 30 years before, and that trend is not expected to change. Mercer Island's challenge is to provide a variety of housing opportunities in a community that has limited capacity for new development and does not anticipate or desire any significant changes to its existing residential areas.

Several policies are outlined in subsequent sections of the housing element to address these changing needs. These include ~~allowing new multifamily housing in the downtown and surrounding multifamily zones,~~ encouraging the continued use of accessory dwelling units, providing opportunities for senior housing, and enabling innovative forms of single family housing. These forms of housing, both rental and ownership, may provide some alternatives for smaller households, including households looking to downsize from single family homes.

~~Innovative housing types, including compact courtyard homes and accessory units, are another way Mercer Island seeks to maintain its existing neighborhood quality while providing new opportunity.~~

An accessory unit built into an existing home can provide a separate living unit that provides additional income to the home owner as well as more affordable living [or](#)

⁹~~1980 and 2000 Census~~

Housing Affordability & Availability

Table 1.

Household Income Type	Percent of County Median Income	2010 King Co. Income Range (4-person HH)	Percent of County Population	Percent of Mercer Island Population
Very Low	Below 30%	Below \$25,680	12%	5%
Low	30% to 50%	\$25,680 to \$42,800	12%	5%
Moderate	50% to 80%	\$42,800 to \$68,480	16%	8%
Middle	80% to 120%	\$68,480 to \$102,720	19%	7%
Above Middle	Above 120%	Above \$102,720	41%	75%

Source: 2010 HUD Family Income Limits and 2010 American Community Survey 5-year Estimates

Household Income Type	Percent of County Median Income	2000 King County Income Range (4-person household)	Percent of County Population (2000)	Percent of Mercer Island Population (2000)
Low	Below 50%	Below \$32,900	21%	10%
Moderate	50% to 80%	\$32,900 – \$52,640	18%	10%
Median	80% to 120%	\$52,641 – \$78,960	20%	14%
Above Median	Above 120%	Above \$78,960	41%	66%

Source: 2000 Census, HUD 2000 Income Guidelines for King County, and ARCH

Mercer Island has the challenge of supplying housing affordable to all economic segments of the population. "Housing affordability" is relative to household income. Table 1 defines the most commonly used income groups as well as the percent of Mercer Island's and King County's population that fell into each category in 2000¹⁰.

It is an accepted standard that total housing costs should not exceed 30 percent of total gross household income. Typically, the lower the household income, the greater percentage of income paid to housing costs and vice-versa.

~~In Mercer Island in 2000, 58% of households earning \$35,000 per year or less paid more than 35% of their income toward housing costs. Conversely, over 60% of households earning more than \$75,000 paid less than 20% of their income for housing. Average rents on the Island rose 53% since 2000, taking Mercer Island from one of the more affordable places to rent in EKC to one of the most expensive¹¹. Virtually none of the city's multi-family housing built since 1994 was affordable to moderate-income households¹². Sixteen percent (16%) of the city's rental housing is still affordable to low-income households—slightly higher than the EKC average—but 62% are too~~

¹⁰2000 Census

¹¹ Appendix, Exhibit P-2

¹² Appendix, Exhibit N-2

expensive for moderate-income households, compared to 41% in EKC¹³.

While this pattern of low-income households overpaying for housing is typical throughout the region -- the problem is exacerbated in Mercer Island because of the limited number of multifamily units and the high values of owner occupied homes. Many owner occupied units are currently affordable to low and moderate income owners because mortgage payments are low or homes are owned outright. However, there are many homeowners in Mercer Island who would not be able to afford to buy their homes today with their current incomes.

Outside the Point Cities, only Sammamish had a higher median household income or proportion of incomes greater than 120% of median in 2011¹⁴. Nevertheless, “housing cost-burden”¹⁵ is more common (40%) among Mercer Island renters than the rest of EKC (37%). The same holds true at the higher level of “severe cost burden”¹⁶. Cost burden is lower among homeowners, but as in most cities, that rate increased significantly during the recent recession. As in other East King County cities, cost-burdened households are primarily lower-income and relatively young (under 25 years of age) or relatively old (65 or over). In Mercer Island, as in most communities in East King County, the vast majority of housing affordable to low and moderate income families is rental housing.

Over the past decade price increases for both rental and ownership housing on

¹³ Appendix, Exhibit M-2

¹⁴ Appendix, Exhibit F-1

¹⁵ See Section I, page I-10, for definitions of housing cost burden and severe cost burden.

¹⁶ Appendix, Exhibit H-4

Mercer Island have outpaced income increases. Between 2000 and 2010 average rents have increased over 53%, and average house values have increased 108%, while King County median income has increased only 30%¹⁷. More notable is that over this period, average rents went from being toward the low end of rents in cities located in East King County, to one of the highest average rents.

Average prices of homes that sold in Mercer Island dropped more than 60% from 2008 to 2012, but had gained almost 40% in 2012 (compared to a 21% decline, and 9% recovery, across all East King County cities)¹⁸. Ninety-seven percent (97%) of owner-occupied housing had a value greater than what is affordable for a median-income family. This compares to 90% for East King County¹⁹.

~~While this pattern of low-income households overpaying for housing is typical throughout the region -- the problem is exacerbated in Mercer Island because of the limited number of multifamily units and the high values of owner occupied homes. Many owner occupied units are currently affordable to low and moderate income owners because mortgage payments are low or homes are owned outright. However, there are many homeowners in Mercer Island who would not be able to afford to buy their homes today with their current incomes.~~

~~In Mercer Island, as in most communities in East King County, the vast majority of~~

¹⁷ 2000 and 2010 Census, Appendix Exhibits P-1 and P-2,

¹⁸ Appendix, Exhibit P-1

¹⁹ Appendix, Exhibit M-2

~~housing affordable to low and moderate income families is rental housing. In 2000, 46% of the City's rental housing was priced below \$1,000 per month and would be affordable to most moderate income families. Also, about 9% of rental housing was priced below \$500 per month and may be affordable to some low income families. However, rental units accounted for only 19% of Mercer Island's housing stock. Also, over the past decade price increases for both rental and ownership housing on Mercer Island have outpaced income increases. Between 1990 and 2000 average rents have increased 78%, and average house values have increased 71%, while King County median income has increased only 46%. More notable is that over this period, average rents went from being toward the low end of rents in cities located in East King County, to one of the highest average rents.~~

~~Between 1990 and 2002 Mercer Island has made significant contributions toward its affordable housing targets through preservation and direct assistance of low-income housing, e.g. the preservation of Ellsworth House Section 8 senior apartments, and by providing regulatory incentives to achieve moderate-income housing, e.g. Mercer Island's Accessory Dwelling Unit (ADUs) program. The Mercer Island ADU program permitted more than 167214 dwelling units between 1993 and 201202, more than twice the number of any other Eastside cityconsiderable more than any other East King County city.~~

~~Including the affordable housing that the city has helped fund outside of Mercer Island, the city has met 23% of its 2012 low-income affordable housing target, and 120% of its moderate-income target. (A majority of the latter are accessory dwelling units (ADUs) in Mercer Island.) Overall, 5%~~

~~of the city's housing units are affordable for low-income families (compared to 7% across EKC and 15% countywide) and an additional 6% for moderate-income families (compared to 17% in EKC and 20% countywide)²⁰. More recently, Mercer Island has adopted Town Center Development and Design Standards, which implements the adopted Land Use Element vision of increased multifamily development in the Town Center. The City also revised the Land Use Code to allow retirement homes in the CO Zone with revised development conditions.~~

~~F~~
~~Future strategies for achieving affordability and more diverse housing types may include incorporating innovative housing types in single family neighborhoods such as compact courtyard homes, preservation and direct assistance of existing affordable housing, and the addition of new mixed-use and multifamily residential projects in the CO and PBZ zoning districts.~~

Merger Island has adopted Town Center Development and Design Standards, which implements the Land Use and Housing vision of increased multifamily development in the Town Center. However, relatively high land costs and high construction costs in the Town Center make it more difficult to build housing affordable to households earning less than median income. Mercer Island may need to promote development of affordable housing by providing additional incentives or direct assistance.

~~During the 1970s and 1980s, Mercer Island's housing stock grew by over 40% as the last major tracts of undeveloped land were converted into single family neighborhoods. Between 1980 and 2000, Mercer Island saw~~

²⁰ Appendix, Exhibits M-1 and M-2

~~only a 13% increase in housing units. Current development patterns have shifted away from large subdivisions towards "infilling" on undeveloped lots within existing neighborhoods. During this same period of growth, the average household size has consistently declined from 3.22 persons per household in 1980, to 2.58 in 2000. Mercer Island's 1980 – 2000 population change showed a total increase of about 2%.~~

~~A major challenge presented by Growth Management is for Mercer Island to continue to provide housing for all economic segments of the population. Given the trend of land and housing values rising faster than income, some segments of the population are finding it harder to remain in the community. These include young adults, the elderly, single parents, and people with special needs. In 2000, the Island's housing consisted of 4% low income and 6% moderate income units for a total of 817 affordable units, compared to 1990 when the Island's housing included 1,183 affordable units²⁴.~~

~~One reason for this net loss of affordable units comes from a change in relative affordability in the Shorewood Apartments. Shorewood Apartments once accounted for a large percentage of the Island's affordable units. Loss of any existing affordable housing has a great impact on this limited resource. The City should actively work to preserve existing affordability, as seen in the successful preservation of the Ellsworth Senior Apartments.~~

The Town Center goals include a vision of new multifamily developments and mixed uses. Providing housing in commercial areas is essential to meet new housing unit goals. Mixed neighborhoods of

²⁴ 1990 and 2000 Census

residential/commercial will enhance the vitality of these areas and provide a pedestrian orientation and support for transit. The Town Center Development and Design standards seek to implement the policies established in the Land Use Element of this Comprehensive Plan. ~~Additional areas targeted for multifamily development, townhouses or small lot zoning include the Commercial Office (CO) zone along I-90, and the Planned Business (PBZ) zone on the south end of the Island.~~

A major challenge presented by the Growth Management Act and the Countywide Planning Policies is for Mercer Island to continue to provide housing for all economic segments of the population. Given the trend of land and housing values rising faster than income, some segments of the population are finding it harder to remain in the community. These include young adults, the elderly, single parents, and people with special needs.

While it is not likely that density or zoning will change in the single family neighborhoods, housing opportunities can be established there by allowing innovative housing types, including accessory housing units to be incorporated into residences through the addition of accessory dwelling units. Another way to create new housing opportunities is to enable development of innovative housing and smaller single family housing types on vacant or underutilized property such as compact courtyard homes, as a demonstration project. These units should be subject to strict guidelines that protect the character of the neighborhood. Accessory units can provide affordable housing and have the added benefit of helping those on a limited income remain in their homes. The City considered a cottage housing project on a city-owned

surplus lot on First Hill in 2008 but decided to sell the property to a home developer instead, who built conventional single family homes on the site. Nevertheless, the possibility of a demonstration project should be considered as a way to create new housing opportunities serving smaller households on the island. -

Jobs/Housing Balance - Regional Context

Until recently the Eastside cities primarily acted as bedroom communities -- providing housing for people who traveled to Seattle and elsewhere in the region for work. This trend has changed dramatically as the Eastside has attracted large and small businesses and significantly increased its employment base. An increased job sector brings economic vitality and demand for housing. More and more, Eastside jurisdictions are faced with balancing the need for jobs with the need for appropriate housing for the persons filling those jobs. The balance is referred to as a jobs/housing balance.

Chart 5 of the Needs Analysis Supplement shows that East King County's jobs-housing ratio has increased from well below 1.0 in 1970 to 1.3 in 2006. While Mercer Island's ratio has also increased during this period, it remains below 1.0, indicating that the supply of housing on the island exceeds demand generated by employment. Anticipated growth in Mercer Island through the year 2031 would slightly reduce its jobs-housing ratio, while the East King County ratio would continue to increase²².

Certain employment-related information about Mercer Island's work force could have housing implications. The community's

²² Appendix, Exhibit 1

employment mix is somewhat unusual compared to other cities its size in King County. In 2012, 20% of its workforce works in finance, insurance, or real estate (FIRE), the highest concentration of any EKC city²³. Nevertheless, the average private-sector wage in Mercer Island in 2010 was 67% of that across all East King County cities, mainly because nearly half of the community's occupations are lower-paying, service-sector jobs²⁴. A household at the average Services wage on the Island (\$39,722) would be able to afford housing costs of \$993 per month.

~~In 1990 Mercer Island had approximately 4,000 more housing units than demanded by the number of workers within the City limits. Unlike most other Eastside cities, Mercer Island has a housing to jobs surplus. In 2000, that housing to jobs surplus was less, about 3,600 more housing units than demanded by the number of workers within the City limits. Projections show that in 2022, housing growth should be slightly greater than job growth in Mercer Island, producing a 4,500 unit housing to jobs surplus. Although Mercer Island will continue to act as a bedroom community, it is important to recognize that the City will be impacted by the housing to jobs demand created by other Eastside cities and Seattle. The greatest issue facing Mercer Island may be providing housing opportunities affordable to local employees and responding to some of the housing demand created by regional trends.~~

GOAL 2: Provide a variety of housing types and densities to address the current and future needs of all Mercer Island residents.

²³ Appendix, Exhibit J-1

²⁴ Appendix, Exhibit J-2. The average does not include public-sector wages. See Section I, page I-12 for a description of jobs included in the Services sector.

- 2.1 Through zoning and land use regulations, provide adequate development capacity to accommodate Mercer Island’s projected share of the King County population growth over the next 20 years.
- 2.2 Promote a range of housing opportunities to meet the needs of people who work and desire to live in Mercer Island.
- 2.3 ~~In order to increase the supply of housing and the diversity of housing the City should emphasize~~Emphasize housing opportunities, including mixed-use development, affordable housing, and special needs housing, in the Town Center.
- 2.4 Encourage residential development in mixed use zones, through regulatory tools, infrastructure improvements and incentives. Track residential development over time to ensure policies are effective.
- 2.5 Use the addition of housing in the Town Center, PBZ and CO zones to create new, vibrant neighborhoods that complement the character of existing development. Consider ~~expanding the City’s recent Code revision allowing Retirement Homes in the CO Zone to allow other appropriate multifamily uses, maintaining compatibility with specific development conditions~~allowing additional types of multifamily housing in the CO zone.

- 2.6 Promote accessory dwelling units in single-family ~~districts~~zones subject to specific development and owner occupancy standards.
- 2.7 Encourage infill development on vacant or under-utilized sites that are outside of critical areas and ensure that the infill is compatible with the scale and character of the surrounding neighborhoods.
- 2.8 Promote the continued use of existing affordable apartments as a community asset which provides a substantial portion of affordable housing.

~~2.92-9 Strive to meet future affordable housing goals as dictated by GMA and King County (GMPC). Based on a 2001 – 2022 planning target of 1,437 new units:~~

- ~~◆ 344 units would be needed for those families with incomes under 50% of County median income (24% of new units)~~
- ~~◆ 244 units would be needed for those with incomes between 50 and 80% of County median income (17% of new units).~~

Through a mix of new construction and the preservation of existing units, strive to meet Mercer Island’s proportionate amount of the countywide need for housing affordable to households with moderate, low, and very low incomes, including those with special needs.

V. HOUSING OPTIONS

Housing Options

~~As previously noted,~~ Mercer Island's population is expected to increase ~~by as much as 19~~ about 8% ~~over the next 20 years~~ through 2031 depending on market factors and other conditions; perhaps more important are demographic and economic changes occurring in our community. The population of adults age 65 and over, accounting for over 19% of Mercer Island's 2000-2010 population will age and may have increased mobility limitations or health care needs; ~~and some people with mental and physical disabilities who were formally housed in institutions may wish to return to their community as the trend of closing institutions continues.~~ In 2010, 81% of the Island's population, 2,280 persons including nearly 27% of the senior population, were reported as disabled²⁵.

~~Relative to King County with 15% disabled population and other Eastside cities that average 12.5% disabled population²⁶, Mercer Island has proportionately fewer persons with special needs. One reason for this may be the lack of appropriate housing options.~~ Mercer Island can increase the opportunity for more diverse housing options by providing on-going housing services funding or other resources for developing housing. In addition, the City can continue to evaluate its land use regulations to assure that housing can be constructed which responds to the demographic changes and special housing needs within Mercer Island.

²⁵ 2010 Census

²⁶ 2000 Census

It is imperative that the community avoid displacing its current residents because of a lack of appropriate housing types. ~~Adult children~~ Young adults have little "starter housing" in which to build equity. Many residents are finding it difficult to move from their large home to a smaller home and remain in the community due to the local condo market being mostly "high-end". Single parent families have difficulty maintaining the family residence, and must leave the Island to find affordable housing. A substantial amount of the Island workforce cannot afford housing in this community.

Two currently underserved housing markets include: a) existing Mercer Island homeowners who wish to move to a smaller home while remaining in the community; and, b) young Mercer Islanders adults wishing to begin home ownership in the community where they grew up. The City should provide a mechanism to allow for a "turnover" of existing single family homeowners to new, and perhaps, younger, homeowners and ways to increase the variety of ownership opportunities for young families.

The Island has a need for more diverse housing types. These can be encouraged by several means. Density bonuses, flexible parking and development standards, or reduced development regulations or fees, might be allowed in exchange for the provisions of affordability or other public benefit. ~~Alternative zoning for smaller lots, cluster housing, compact courtyard homes and townhouses should be considered.~~ The

~~County requires that a minimum density be set for residential zones.~~ Proposed Identified Comprehensive Plan alternatives to provide greater housing options and affordability should be further examined in the City's Housing Strategy and Work Plan, and updates to the City's land use code. This Comprehensive Plan is a twenty year planning document, and these alternatives should be included in future review.

The private market is providing rental housing for those at greater than 80% of median income and ownership housing for those at greater than median income. It is not providing units at the low and low/moderate income levels. Special needs housing units are not being provided either.

The planning and provision of housing for all economic segments of a community is a complex issue requiring the cooperation of a wide range of governments, organizations, and institutions. In order to best serve the needs of its residents, the City should explore all possible means for cooperating at a regional level to address its housing needs. Adequate housing, for all economic segments of the population, is a basic need of King County's residents and an issue of countywide concern. Increasingly, city government is seen as a key player in addressing the housing needs of the community, especially in terms of low and moderate income families. The Growth Management Act requires communities to plan for housing for all economic segments of the community. Two key tools in this effort are local land use regulations and the local regulatory process.

Though there is increased local responsibility, housing needs and solutions cross between neighboring cities. If all

communities do not work together to address housing needs, then the region as a whole, and therefore all communities, will fail to meet their housing needs. In order to best serve the needs of its residents and local employees, the City should actively look for ways to participate in regional efforts, be it planning or leveraging regional and national housing resources. Also, by participating in regional discussions, the city may learn of programs and policies that could help meet the needs of its residents.

In evaluating its proper role in providing housing, the City should maximize the use of existing organizations. There are many capable organizations (both not-for-profit and for-profit) that are willing and capable of assisting, especially in the area of development and management of housing. In addition there are support organizations and other government agencies that can assist the City (e.g. ARCH, Washington State Dept. of ~~Community Commerce, Trade & Economic Development~~).

Local Resources for Housing

Local resources can be a critical part of developing or preserving affordable housing. This is especially true in housing for individuals and families who can not afford housing created through the private market. Local resources are often required as a match for other public (county, state, federal) and private funding sources, and therefore work to leverage a significant amount of funding into Mercer Island and the region that would otherwise not be available. Local resources go beyond just granted or loaned funds -- credit enhancements, City bonding, and donated land are all creative ways to support low cost housing developments. Surplus public

land is often cited as one of the key resources local government can use to encourage affordable housing.

Special Needs Housing / Fair Housing

Some members in a community may have special housing needs due to physical or mental disabilities, health, or other circumstances. Special needs housing can be provided in a variety of structures -- single family homes, multifamily dwellings, and/or institutional settings. Supportive services are typically provided on site by government or non-profit agencies or the private sector.

The provision of housing and services for the most needy residents is a regional problem whose solution typically transcends the boundaries of individual jurisdictions.

GOAL 3: Support the adequate preservation, improvement, and development of housing for ~~people of~~ all economic segments.

Affordable Housing Policies

- 3.1 Work cooperatively with King County, "A Regional Coalition for Housing", (ARCH) and other Eastside jurisdictions to assess the need for and to create affordable housing.
- 3.2 Continue membership in ARCH or similar programs to assist in the provision of affordable housing on the Eastside.

- 3.3 City housing goals and policies should be coordinated with regional growth, transit and employment policies.
- 3.4 Work cooperatively with and support efforts of private and not-for-profit developers, and social and health service agencies to address local housing needs.
- 3.5 Work to increase the base of both public and private dollars available on a regional level for affordable housing, especially housing affordable to very low income households. ~~(See Appendix G – Mercer Island Human Services Strategic Plan 1999 – 2000)~~
- 3.6 Consider supporting housing legislation at the county, state and federal levels which would promote the goals and policies of the Housing Element.
- 3.7 Continue to explore ways to reform regulations that would either provide incentives or reduce the cost to produce affordable housing.

Local Resources Policies

- 3.8 Use local resources to leverage other public and private funding when possible to build or preserve affordable housing on Mercer Island and in other Eastside cities, including housing for very low income households. ~~Use local resources to leverage other public and private funding when possible to build or preserve affordable housing that will serve Mercer Island residents.~~

including very low income households.

3.9 ~~Consider~~ Use regulatory and financial incentives in the Town Center and PBZ/CO districts such as density bonuses, fee waivers, and property tax reductions to encourage residential development for a range of household and ownership types and income levels.

3.10 Provide incentives for first-time and more affordable ownership housing opportunities to meet local needs, such as condominiums and compact courtyard homes.

3.11 Consider allowing the development of one innovative housing project, e.g. compact courtyard housing, attached single family housing or smaller lot housing, to examine the feasibility and desirability of additional housing options to address the changing demographics on Mercer Island. The demonstration project should include smaller single family units, common open space and other amenities, and be subject to strict design review. Following completion of the project, the City will engage in a policy discussion about expanding innovative housing opportunities.

~~Adopt an interim ordinance enabling a demonstration project that would allow the development of one innovative housing project, e.g. compact courtyard housing, attached single family housing, or smaller lot housing, in a single family neighborhood to examine the feasibility and desirability of allowing~~

~~additional housing options to address the changing demographics on Mercer Island. Such project should include smaller single family units, at slightly higher densities, which include common open space and other amenities, and are subject to strict design review. Following successful completion of a demonstration project, the City will engage in a policy discussion concerning extension of similar forms of housing to additional single family areas.~~

3.12 Consider establishing a means to provide non-cash subsidies such as credit enhancements and City bonding to support development of affordable housing.

3.13 If City-owned property is no longer required for its purposes, it shall be evaluated for its suitability for affordable housing.

3.14 Waive, defer, or reduce building, planning, or mitigation fees in exchange for a contractual commitment to affordable housing.

3.15 Continue to provide Community Development Block Grant (CDBG) funds for housing projects which serve low and moderate income households.

3.16 Housing developed or preserved using local public resources shall be maintained as affordable for the longest term possible.

3.17 Encourage self-help and volunteer programs which provide housing rehabilitation and development.

3.18 Support housing options, programs and services that allow seniors to stay in their homes or neighborhoods. Promote awareness of Universal Design improvements that increase housing accessibility.

3.19 Encourage energy efficiency and other measures of sustainability in new and preserved housing.

Special Needs / Fair Housing Policies

~~3.2018~~ Mercer Island shall periodically review and revise policies and regulations to assure the Zoning Code meets the requirements of the Federal Fair Housing Act and the State of Washington Fair Housing Law to provide equal access for people with special needs and

recognized protected classes (race, color, national origin, religion, sex, family status, disability).

~~3.2119~~ Zoning should provide appropriate opportunities for special needs housing. Support should be given to organizations that offer services and facilities to those who have special housing needs.

~~3.220~~ Support and plan for special needs housing using federal or state aid and private resources.

~~3.231~~ Encourage development of emergency, transitional, and permanent supportive housing with appropriate on site services for special needs populations.

~~3.242~~ Identify regulatory methods and coordinated assistance for improving housing opportunities for frail elderly and other special needs populations in Mercer Island.

VI. IMPLEMENTATION/TRACKING

Housing Strategies

The City acknowledges that goals alone will not increase the production of housing. The City must use its regulatory powers and resources to encourage future development of housing that meets all of the community's needs, programs and services. An organized strategic plan and work program, adopted by the City Council, provides the direction needed to determine which strategies will work most effectively in Mercer Island. A strategy plan provides Mercer Island with more adequate time to evaluate each strategy, thereby, increasing the likelihood of adopting policies and regulations that will be effective in Mercer Island.

It is important to evaluate and track the progress made by individual City actions. A wide array of information could be potentially collected for a data base, with key information presented in a bi-annual periodic report to the Council. ~~To the extent possible, existing information should be used (e.g. Central Puget Sound Real Estate Research Report).~~ Information that could be relevant for the data base includes:

- ◆ Number and types of residential building/demolition permits;
- ◆ Number and types of housing units assisted through public assistance;
- ◆ Surveys on market rents and home prices;
- ◆ Vacancy rates;
- ◆ Conversion of apartments to condominiums;
- ◆ ~~Progress on the City's Housing Work Program, including an evaluation of the effectiveness of new programs;~~

- ◆ Tracking projects that will have expiring federal subsidies.

It may also be useful to try to develop some indicators that can help measure the success of the city to meet its housing needs. Examples might include vacancy rates; changes in rents/housing prices relative to changes in income; increase in housing relative to increases in employment; level of demand for homeless shelters.

The housing data base prepared by staff should be done in cooperation with efforts to monitor housing development throughout the County as called for in the Countywide Affordable Housing Policies Housing Technical Appendix of the King County Countywide Planning Policies. This includes both defining what information should be collected countywide, and providing the requested information on an annual basis. The City's bi-annual periodic Housing Strategy and Work Plan report should include the information requested by the County. Coordinating this work is currently included in ARCH's work program, and should continue to be part of its work program in the future.

GOAL 4: Adopt and implement specific strategies designed to achieve the housing goals outlined in this Housing Element. Continue to monitor how well Mercer Island resident's housing needs are being met.

Implementation Policies

- ~~4.1 Adopt a housing "Strategy Plan and Work Program," at least every five years, which identifies specific housing strategies that will be considered in order to address the city's housing needs and goals.~~ 4.1 Every five years, adopt a Strategy Plan and Work Program identifying strategies and implementation measures that increase the City's achievement of housing goals, including the provision of adequate affordable housing.
- 4.2 ~~The City shall track production and demolition of housing on an ongoing basis. This information shall be maintained in a housing data base.~~ Track key indicators of housing supply, affordability and diversity. Key indicators include but are not limited to housing production, demolition, conversion and rezones, in addition to units affordable to moderate, low and very low income households.
- 4.3 The City of Mercer Island shall cooperate with ~~Countywide~~ regional efforts to do an ongoing analysis of the regional housing market.
- 4.4 Periodically review land use regulations to assure that regulations and permit processing requirements are reasonable.
- 4.5 At least once every ~~two~~ five years, the City shall evaluate the achievements of its housing goals and policies and present the findings

to the City Council. This evaluation will be done in cooperation with Countywide evaluations done by the Growth Management Planning Council (GMPC), or its successor organization, and coordinated with the development of the biannual budget.

Transportation



City of Mercer Island

Comprehensive Plan

TRANSPORTATION ELEMENT

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TRANSPORTATION ELEMENT

I. INTRODUCTION

The intent of the Transportation Element is to ~~establish-provide program,~~ policies, and projects to guide the development of Mercer Island transportation system in support of the City's vision for the future. The policies ~~are designed to~~ guide the actions of ~~both~~ the City, as well as ~~private the~~ decisions related to individual developments.

The Transportation Element provides an inventory of Mercer Island's existing transportation system and includes all modes of travel — auto, truck, bicycle, bus, and pedestrian. In addition, a section focuses on the special transportation needs of the Town Center.

Objectives of the Transportation Element

~~The construction of I-90 in the late 1980's created many opportunities for changes to the Island's road network. In 1985, Entranco Engineers compiled a report on the impact of I-90 on the City's transportation system. Most recently in 2004, Pertect Engineering provided analysis of existing and future vehicle traffic and level of service (LOS) standards.~~

~~Based on this analysis,~~ The City of Mercer Island has ~~created~~ three main objectives within its Transportation Element:

- ~~to~~ develop multi-modal goals, policies, programs and projects which support implementation of the Land Use Element of the Comprehensive Plan,
- ~~to~~ define policies and projects that encourage the safe and efficient ~~and effective~~ development of the transportation system, and
- ~~to~~ comply with legislative requirements for multi-modal transportation planning.

Washington State's 1990 Growth Management Act (GMA) outlined specific requirements for the Transportation Element of a city's comprehensive plan. It calls for a balanced approach to land use and transportation planning to ensure that a city's transportation system can support expected growth and development. In addition, it mandates that capital facilities funds be adequate to pay for any necessary improvements to the transportation system. Finally, ~~the~~ city must adopt specific standards for the acceptable levels of congestion on its streets; these standards are called level of service (LOS) standards.

At the federal level, ~~the 1998~~ Transportation Equity Act for the 21st Century (TEA-21 as it is commonly called) and subsequent updates to this law transportation funds have been

focused attention on the preservation and improvement of existing transportation facilities and funding on creating a multi-modal approach to transportation planning. For Mercer Island, transportation projects combining that combine improvements for auto, buses, bicycles, and pedestrians have a much greater chance of receiving state and federal gas tax grant funds than those that focus solely on widening the road to carry more single-occupancy-occupant vehicles.

Other legislative requirements addressed by the Transportation Element include the King County 2012 Countywide Planning Policies, the 1991 Commute Trip Reduction Act, the Americans with Disabilities Act (ADA) and the 1990 federal Clean Air Act Amendments. Each of these laws emphasizes closer coordination between a jurisdiction's land use planning and its approach to transportation planning.

Transportation Today

Most of Mercer Island's streets are two lane residential streets with low to moderate volumes of traffic. Island Crest Way, a north-south arterial which runs the length of the island, is an exception to this rule because it is a principal feeder route to I-90. East ~~and~~ West Mercer Way rings ring the island and provides provide two connections with I-90 as well. SE 40th Street and Gallagher Hill Road are also major traffic carriers from in the north-central portion of the island. In addition to I-90. The remaining street system is made up of a

arterial streets, the local street network which provides access to other streets and private residences and properties. Transit service on the island centers on serves the Park and Ride lots lot in the I-90 corridor, and fixed route service which travels along Island Crest Way.

Mercer Island has over 56 miles of off-road, trails, sidewalks and bicycle lanes for non-motorized travel. A regional trail runs across the north end of the Island along the I-90 corridor providing a convenient connection to Seattle and Bellevue for pedestrians and bicyclists.

Upcoming Changes

Regional changes to the transportation system will likely change how Mercer Island residents travel and live. The I-90 center reversible lanes will be replaced by the Sound Transit East Link light rail line, slated for completion in 2023. A new light rail station at the Town Center will provide access to destinations in Seattle, Bellevue and Redmond. In addition, carpools and other high occupancy vehicles (HOV) will no longer travel on the center reversible lanes, but will instead access new dedicated HOV lanes. Finally, the possibility of I-90 tolling may change regional travel patterns and potentially change the travel behavior of Mercer Island residents. The current park and ride at North Mercer Way is frequently at or near capacity, and parking demand will increase when the center HOV lane is closed and with Light Rail. The City should address the overall parking for Mercer Island citizens, the total funding costs, and work with other agencies.

In sum, these regional changes will likely affect travel and land use development patterns, particularly for the north end of the Island. The changes will also provide new opportunities for the island and will support the vision and development of the Town Center.

Land Use Assumptions – The Comprehensive Plan

Mercer Island's Comprehensive Plan, of which the Transportation Element is a part, must be internally consistent. This means that the various requirements in each element must not contradict one another. Of particular importance is the relationship between the Transportation Element and the Land Use Element.

~~Local~~The transportation ~~projections/forecasts~~ used in this element are based on Mercer Island growth targets for housing and employment ~~that are established through the process described in the Land Use Element,~~ regional traffic forecasts by the Puget Sound Regional Council, and local traffic counts ~~and specialized transportation modeling.~~ Within the ~~2001~~2015 to ~~2022~~2035 planning period, ~~housing on Mercer Island~~the City's growth target is ~~expected to increase by 1,437~~2,320 new ~~housing~~ units ~~and 1,160~~ new jobs ~~are expected~~ to be generated on the Island during this 20-year period.

~~Mercer Island is a largely residential community bisected by Interstate 90, one of the most heavily traveled freeway corridors in Washington State. Mercer Island has managed to avoid~~

~~most of the congestion and adverse traffic impacts seen in other suburban cities in the Seattle area. Outside the I-90 corridor and portions of Island Crest Way, and the Town Center, nearly all of Mercer Island's streets are two-lane, residential streets with homes on one or both sides. Congestion problems on the island are largely limited to the principal routes to the I-90 freeway.~~

The Land Use Element defines Mercer Island's strategy for managing future growth and physical land development for the next 20 years. Proposed transportation improvements, policies and programs are consistent with the vision of the Land Use Element. The Land Use vision emphasizes continued reinvestment and redevelopment of the Town Center to create a mixed-use pedestrian-friendly and transit-oriented environment. Most of the ~~forecast/forecasted~~ housing units ~~needed to accommodate additional population and jobs~~ will be located in and around the downtown core. ~~The~~Outside of the Town Center, the lower density residential nature of the remainder of the island will be maintained with low forecasted changes in household growth.

Transportation Today

~~Most of Mercer Island's streets are two-lane residential streets with low to moderate volumes of traffic. Island Crest Way, a north-south arterial which runs the length of the island, is an exception to this rule because it is a principal feeder route to I-90. East/West Mercer Way rings the island and provides two connections with I-90 as~~

well. SE 40th Street and Gallagher Hill Road are also major traffic carriers from the north-central portion of the island to I-90. The remaining street system is made up of a local street network which provides access to other streets and private residences and properties. Transit service on the island centers on the Park and Ride lots in the I-90 corridor, and fixed route service which travels along Island Crest Way.

Mercer Island has over 56 miles of off-road, trails, sidewalks and bicycle lanes for non-motorized travel. A regional trail runs across the north end of the Island along the I-90 corridor providing a convenient connection to Seattle and Bellevue for pedestrians and bicyclists.

Town Center Plan

The 1994 Town Center Plan for Mercer Island was updated in 2016 developed in 1994 through a cooperative effort of City staff, consultants and the Town Center Streets Citizens Design Task Force many citizens over a two-year long process. Specific goals and policies related to transportation and mobility

are in the Land Use element. Specific objectives include:

Enhancing access to existing and future development in the Town Center while, at the same time, discouraging through traffic from penetrating the Town Center core.

Emphasizing pedestrian, transit and bicycle access, safety and mobility throughout the Town Center, to reduce the need for vehicular travel within the downtown area.

Creating a pedestrian-friendly environment along 78th Avenue SE which will encourage pedestrian-oriented retail development between SE 27th and SE 29th Streets.

The plan for a Sound Transit Link Light Rail station located on the I-90 corridor between 77th Avenue SE and 80th Avenue SE will continue to focus multimodal development and population growth within the Town Center area.

The form and character of the development that has occurred within the Mercer Island Town Center reflects community vision and planning of the last twenty years.

II. TRANSPORTATION GOALS AND POLICIES

The following transportation goals and policies have been developed to guide transportation decisions for Mercer Island. They have been crafted to be consistent with all other Comprehensive Plan elements, including most importantly, the Land Use Element. They also serve to further articulate and implement the City Council's vision for the future.

~~The goals and policies were also developed with the recognition that~~

Goals and Policies

GOAL 1: ~~To~~ Encourage the most efficient use of the transportation system through effective management of transportation demand and the transportation system.

1.1 ~~The City of Mercer Island encourages measures to reduce vehicular trips consistent with the city's adopted Commute Trip Reduction (CTR) Plan.~~ Encourage measures to reduce vehicular trips using Transportation Demand Management strategies such as preferential parking for carpools/vanpools, alternative work hours, bicycle parking, and distribution of information and promotion of non-motorized travel, transit and ridesharing options.

~~past transportation and land use decisions largely define the existing transportation system as well as most of the issues and choices the community will face in the future. Following the Goals and Policies are sections on the Existing Transportation System and Future Conditions and Financial Analysis. The Goals and Policies were written with the constraints, data and opportunities of those sections in mind.~~

1.2 ~~The City of Mercer Island encourages~~ Encourage businesses and residential areas to explore opportunities for shared parking and other parking management strategies.

1.3 ~~The City of Mercer Island employs~~ Employ transportation system management (TSM) techniques to improve the efficient operation of the transportation system including, but not limited to: traffic through and turn lanes, management of street parking, signals and other traffic control measures.

GOAL 2: ~~To~~ Receive the maximum value and utility from the City's investments in the transportation system.

2.1 ~~The City of Mercer Island places~~ Place a high priority ~~for transportation expenditures~~ on maintaining the existing transportation facilities and the public rights of way.

2.2 ~~The City of Mercer Island will~~ Continue to prioritize ~~its~~ expenditures in the transportation system recognizing the need to maintain existing transportation assets, meet adopted service level goals, and emphasize continued investments in non-motorized transportation facilities.

2.3 ~~The City of Mercer Island will look for~~ Pursue opportunities for private sector participation in the provision, operation and maintenance of the transportation system.

2.4 ~~The City of Mercer Island will~~ Coordinate street improvement projects with utilities, developers, neighborhoods, and other parties in order to minimize roadway disruptions and maintain pavement integrity.

2.5 ~~Transportation investments are expected to be financed primarily from local sources. However, the City of Mercer Island will~~ Explore all available sources for transportation funding, including ~~the grants, impact fees and other~~ local options as authorized by the state legislature, ~~if~~

~~implementation of the adopted land.~~

2.6 Prioritize transportation investments in the Town Center that promote mixed-use and compact development and provide multi-modal access to regional transit facilities. (Note from PSRC MPP-T-11)

GOAL 3: ~~To~~ Minimize negative transportation impacts on the environment.

~~3.1~~ ~~The City of Mercer Island will work to reduce total vehicle miles traveled through implementation of transportation demand management measures and other techniques.~~

~~3.2~~ 3.1 ~~The City of Mercer Island will~~ Use sound design, construction and maintenance methods to minimize negative impacts related to water quality, noise, and neighborhood impacts.

~~3.3~~ 3.2 ~~The City of Mercer Island will~~ Work with WSDOT and other agencies to minimize impacts on island facilities and neighborhoods from traffic congestion on regional facilities, implementation of ramp metering ~~on regional facilities,~~ and provision of transit services and facilities.

~~3.4~~ 3.3 ~~The City of Mercer Island will~~ Construct transportation

improvements with sensitivity to existing trees and vegetation. ~~Tree removal and pruning will be limited to that necessary for maintenance of safe roadway and trail conditions.~~

GOAL 4: ~~To~~ Provide transportation choices for travelers through the provision of a complete range of transportation facilities, and services.

- 4.1 ~~The City of Mercer Island will~~ Work with King County Metro ~~during the update of its Six-Year Plan; the City will also work with~~ Sound Transit, and other transit providers ~~during the creation and amendment of their long range system plans to~~ develop ensure adequate transit services to meet the needs of the island, including:
- maintain existing and encourage new public transit service on the Island;
 - ~~provide~~ maintain convenient transit connections to regional activity centers, including the Seattle CBD, Bellevue, ~~the~~ University of Washington and other centers;
 - provide convenient transit service for travel on Mercer Island and enhance connections to regional transit stations including the proposed Link light rail station; and
 - investigate potential new services including demand responsive transit for the general public, subscription

bus, or custom bus services ~~or school buses on a space available basis.~~

- 4.2 ~~The City of Mercer Island will work to~~ Provide for and encourage non-motorized travel modes consistent with the Comprehensive Park, and Recreation, Open Space, Arts Plan and Pedestrian and Bicycle Facilities Plan.

- 4.3 ~~The City of Mercer Island will~~ Support opportunities to facilitate transfers between different travel modes through strategies such as:
- ~~provision of~~ providing small park and ride facilities throughout the island; and;
 - improving pedestrian access to transit with on and off road pedestrian improvements;

- 4.4 ~~The City of Mercer Island will~~ Investigate opportunities for constructing and financing self-supporting park and ride lots for Mercer Island residents only.

- ~~4.5~~ ~~The City will investigate opportunities for use of innovative methods for pedestrians crossing streets, including use of colored and textured pavements within the City.~~

- ~~4.6~~ ~~4.5~~ ~~The City will~~ Encourage site and building design that promotes pedestrian activity ~~and the use of transit and,~~

ridesharing opportunities, and the use of transit.

~~4.7~~ ~~4.6~~ ~~The City will~~ Promote the development of pedestrian linkages between public and private development and transit in the Town Center District.

4.7 Promote the mobility of people and goods through a multi-modal transportation system consistent with the Pedestrian and Bicycle Facilities Plan.

GOAL 5: ~~To fully~~ Comply with local, regional, state and federal requirements related to transportation.

~~5.1~~ ~~The City of Mercer Island will~~ ~~Meet the requirements of the Growth Management Act.~~

~~5.2~~ ~~5.1~~ ~~The City of Mercer Island will~~ Comply with the requirements of the federal and state Clean Air Acts, and ~~will~~ work with other jurisdictions in the Puget Sound region to achieve conformance with the State Implementation Plan.

~~5.3~~ ~~5.2~~ ~~The City of Mercer Island will~~ Meet the requirements of the Americans with Disabilities Act (ADA) ~~and apply these standards to development of the transportation system.~~

~~5.4~~ ~~5.3~~ ~~The City of Mercer Island complies~~ Comply with the Commute Trip Reduction requirements ~~of the state~~ through the ~~adoption~~ and continued implementation of

~~their~~ CTR plan ~~(See Appendix A).~~

~~5.5~~ ~~5.4~~ ~~The City of Mercer Island will~~ Assist regional agencies in the revisions and implementation of the ~~Destination 2030 plan~~ Transportation 2040 (PSRC), the Regional Transit Plan, and the WSDOT Highway System Plan, and the 2007-2026 Washington Transportation Plan and subsequent versions of these documents.

~~5.6~~ ~~5.5~~ ~~The City of Mercer Island will~~ Work with the participants of the Eastside Transportation Partnership (ETP) to coordinate transportation planning for the Eastside subarea.

~~5.7~~ ~~5.6~~ Comply with state initiatives and directives related to climate change and greenhouse gas reduction. Identify implementable actions that improve air quality, reduce air pollutants and promote clean transportation technologies.

GOAL 6: ~~To~~ Ensure coordination between transportation and land use decisions and development.

~~6.1~~ ~~The City of Mercer Island will~~ ~~strive to~~ Ensure compatibility between transportation facilities and services and adjacent land uses, evaluating aspects such as:

- potential impacts of transportation on adjacent land use;

- potential impacts ~~on the operation of the land development and activities on transportation facility/ service caused by activities on adjacent land facilities and services~~; and
- need for buffering and/or landscaping alongside transportation facilities.

6.2 ~~The City of Mercer Island will~~ Develop strategies to manage ~~property~~ access along ~~arterials~~ arterial streets in order to preserve their ~~transportation~~ function.

~~6.3 To the extent possible the City of Mercer Island will strive to route traffic around neighborhoods so as to minimize traffic impacts and foster a "pedestrian friendly" environment.~~

~~6.4~~ 6.3 In the project development review process, ~~the City of Mercer Island will~~ evaluate transportation implications including:

- congestion and level of service;
- connectivity of transportation facilities and services from a system perspective;
- transit ~~requirements~~ needs for travelers and for transit operators; and
- non-motorized facilities and needs ~~for travel by non motorized travel modes~~; and
- ~~potential density bonuses in return for inclusion of~~

~~transit supportive actions.~~

~~6.5~~ 6.4 Ensure that transportation improvements, strategies and actions needed to serve new developments shall be in place at the time new development occurs or be financially committed and scheduled for completion within six years.

~~6.6~~ 6.5 As part of a project's SEPA review, ~~the City shall~~ review the project's impact on transportation and ~~may~~ require mitigation of on-site and off-site transportation impacts. The City shall mitigate cumulative impacts of SEPA-exempt projects through implementation of the Transportation Improvement Program.

~~6.7~~ 6.6 The City shall adopt Develop standards and procedures for measuring the transportation impact of a proposed development and for mitigating impacts.

~~6.8~~ 6.7 The City of Mercer Island will Participate in the review of development and transportation plans outside ~~its~~ the city boundaries that may have an impact on the island and its transportation system, and ~~will~~ consider the effect of the City's transportation plans on other jurisdictions.

~~6.9~~ ~~6.8~~ ~~The City of Mercer Island encourages "Encourage transit friendly", bicycle and pedestrian~~ principles in the design of projects including:

- locating structures on the site in order to facilitate transit and non-motorized travel modes;
- placing and managing on-site parking so to encourage travel by modes other than single occupant vehicles;
- provision of convenient and attractive facilities for pedestrians and bicyclists; and
- provision of public easements for access and linkages to pedestrian, bicycle and transit facilities.

~~6.10~~ ~~6.9~~ ~~The City recognizes that travel by single occupant vehicle is, and for the foreseeable future may continue to be, the dominant mode of transportation. The City will~~ Require adequate parking and other automobile facilities to meet anticipated demand generated by new development.

GOAL 7: ~~To~~ Provide a safe, convenient and reliable transportation system for Mercer Island.

7.1 ~~The City of Mercer Island will~~ Include in ~~its~~ ~~the City's~~ roadway design standards, requirements for facilities ~~that~~ ~~to~~ safely accommodate travel by all travel modes.

7.2 ~~The City of Mercer Island will~~ Provide a safe transportation system through maintenance and upkeep of transportation facilities.

~~7.3~~ ~~The City of Mercer Island will~~ Monitor the condition and performance of the transportation system to compare growth projections with actual conditions, assess the adequacy of transportation facilities and services, and to identify locations where improvements may become necessary.

7.4 ~~The City of Mercer Island will~~ Monitor traffic accidents, citizen input/complaints, traffic violations, and traffic growth volumes to identify and prioritize locations for safety improvements.

7.5 Where a need is demonstrated, consider ~~the use of~~ devisessignage, traffic controls, or other strategies to improve the safety of pedestrians crossing streets pedestrian crossings.

7.6 ~~The City of Mercer Island will maintain~~ Verify the policies, criteria and a process to determine when, and under what conditions, private roads and privately maintained roads in the public rightsright of way ~~or private roads~~ should be accepted for public maintenance and improvement.

7.7 ~~Coordinate with local and regional emergency services to develop priority transportation corridors and develop coordinated strategies to protect and recover from disaster.~~

GOAL 8: ~~To~~ Preserve adequate levels of accessibility between Mercer Island and the rest of the region.

8.1 The I-90 Memorandum of Agreement was amended in 2004. Any future modification to such access for Mercer Island traffic must comply with the terms and conditions of the MOA, as amended, ~~and must properly mitigate the impacts of any reduction in Mercer Island traffic mobility and capacity, as set forth in Resolution 1337.~~

8.2 ~~The City recognizes~~ Continue to recognize I-90 as a highway of statewide significance.

8.3 ~~The City of Mercer Island will~~ Work with King County Metro and ~~the~~ Sound Transit to ensure adequate levels of transit service linking Mercer Island to the rest of the region.

8.4 ~~The City of Mercer Island will~~ Work with WSDOT, King County Metro, and the Sound Transit to ensure the provision of adequate Park and Ride capacity for island residents.

8.5 ~~The City of Mercer Island will~~ Continue to maintain an effective role in regional transportation planning, decisions-making and implementation of transportation system improvements.

GOAL 9: ~~To~~ Balance the maintenance of quality island neighborhoods with the needs of the island's transportation system.

~~9.1~~ ~~The City of Mercer Island shall use a consistent approach to resolve neighborhood street issues.~~

9.1 ~~The City of Mercer Island will develop a method to~~ Strive to the extent possible to minimize traffic impacts to neighborhoods and foster a "pedestrian-friendly" environment.

9.2 Address parking overflow impacts on neighborhoods caused by major traffic generators such as schools, businesses, parks, and ~~multi family~~ multifamily developments.

9.3 ~~The City of Mercer Island will~~ Provide facilities for pedestrians and bicyclists designed in keeping with individual neighborhood characteristics.

9.4 ~~The City of Mercer Island will~~ Work with King County Metro to provide public transit vehicles and services that are more in

scale with the city's neighborhoods and its local road network.

~~9.5~~ ~~The City of Mercer Island will~~ Maintain comprehensive street ~~classification design~~ guidelines ~~and standards~~ that determine the appropriate function, capacity, and improvement needs for each street/roadway, ~~while minimizing construction and neighborhood impacts.~~

GOAL 10: ~~To~~ Maintain acceptable levels of service for transportation facilities and services on Mercer Island.

~~10.1~~ The City of Mercer Island ~~establishes~~ Level of Service (LOS) "C" ~~defined shall be a minimum of "D" as stable traffic flow with acceptable delays at intersections as its~~ ~~for the City's~~ transportation level of service standard ~~required under GMA.~~ ~~at arterial street intersections.~~

10.2 Use the level of service standard to evaluate the performance of the transportation system ~~to~~ ~~and~~ guide future system improvements and funding.

~~10.3~~ ~~Consistent with King County's countywide policies requirements, the City of Mercer Island establishes mode split goals for work trip travel to the island as follows: transit 0.31%, carpool/vanpool trip 16.45%~~ ~~Emphasize projects and single~~

~~occupancy vehicles 83.24%.~~ ~~programs that focus on the movement of people and provide alternatives to driving alone.~~

~~10.3~~ Implement the following strategy when vehicle capacity or funding is insufficient to maintain the LOS standard: (1) ~~seek additional funding for capacity improvements,~~ (2) ~~explore alternative, lower-cost methods to meet level-of-service standards (e.g., transportation demand management program, bicycle corridor development or other strategies),~~ (3) ~~reduce the types or size of development,~~ (4) ~~restrict development approval,~~ and (5) ~~reevaluate the level of service standard to determine how it might be adjusted to meet land use objectives.~~

~~10.4~~ ~~The City of Mercer Island will ensure that its~~ ~~Ensure that the~~ City's level of service policies are linked to the land use vision and comply with concurrency requirements.

~~10.5~~ Revise the Transportation Element if the Land Use and/or Capital Facilities Element of the Comprehensive Plan are changed to maintain a balanced and consistent plan.

~~10.6~~ ~~Monitor the transportation impact of growth in households and employment in relation to the land use assumptions used to forecast traffic growth in the Transportation Element.~~

GOAL 11: ~~To Establish~~Ensure parking standards ~~that~~ support the land use policies of the Comprehensive Plan.

11.1 ~~The City of Mercer Island will~~ Continue to implement flexible parking requirements for Town Center development based on the type and intensity of the proposed development; ~~the site location, the potential for characteristics; likelihood for parking impacts on the to~~ adjacent uses; ~~the opportunities for transit, carpooling or share parking; and the objective to enhance shared parking; and potential for enhancements to~~ the pedestrian environment ~~in the site design~~.

11.2 ~~Maintain~~ the current minimum parking requirements of three off-street spaces for single family residences, but may consider future code amendments that allow for the reduction of one of the spaces, provided that the quality of the environment and the single family neighborhood is maintained.

11.3 ~~The City of Mercer Island may restrict~~Support business development in the downtown area by prioritizing on-street parking spaces in the Town Center for short-term parking ~~to support business development in the downtown area, and will~~ encourage the development of off-street joint-use parking facilities for long term parking in the Town Center.

GOAL 12: Promote bicycle and pedestrian networks that safely access and link commercial areas, residential areas, schools, and parks within the City.

12.1 Maximize the safety and functionality of the bicycle system by enhancing road shoulders, which are to be distinguished from designated bicycle lanes.

12.2 Implement the Pedestrian and Bicycle Facilities Plan, ~~which provides for a safe, coordinated system of bikeways, walkways and trails, including through bicycle routes,~~ to meet existing and anticipated needs for non-motorized transportation. This Plan should be coordinated with other transportation planning efforts and periodically updated.

~~12.3 Emphasize non-motorized improvements that provide alternatives to single-occupancy vehicles and ensure that bike transportation remains an important component of community identity.~~

12.3 Study opportunities for use of innovative methods for pedestrians crossing streets, including use of colored and textured pavements within the City.

III. TRANSPORTATION SYSTEM – EXISTING CONDITIONS

This section describes and inventories the current travel patterns and transportation system serving Mercer Island, including land, water and air transportation. Major transportation modes serving Mercer Island include automobiles, non-motorized modes such as walking and biking, and public and school transit.

Travel Patterns - How Mercer Islanders Move About

Mercer Island ~~is predominantly an upper middle class city with~~ has relatively high levels of vehicle ownership and personal mobility. Approximately ~~three quarters~~ two-thirds of the households on Mercer Island have two or more vehicles, while less than ~~three~~ four percent of households have no vehicle at all. ~~This high reliance on the automobile is confirmed by commuter trip patterns from Comparing the 2012 American Community Survey (US Census) data with the 2000 US Census. These data show that over 76~~ a number of changes are observed.

~~The~~ percent of Mercer Island residents ~~who~~ commute to work ~~by driving~~ alone, ~~17~~ has dropped from 76 percent ~~to 71~~ percent, those who take a bus or carpool to work ~~decreased from 17~~ percent to 14 percent, and ~~seven~~ percent of island residents ~~those who~~ work at home ~~increased from 7~~ percent to 10 percent. The average travel time to work for Mercer Island residents is 20 to ~~24~~ 23 minutes, which is ~~similar to~~

~~below the~~ regional ~~average~~ average of 27 minutes.

~~The most complete source of travel pattern information for the Island is the regional travel model developed by the Puget Sound Regional Council (PSRC). This model estimates existing and future travel patterns based on computer simulations derived from Census data and surveys of trip makers throughout the region. For the 2000 base year (which corresponds to the most recent Census), the number of work trips from Mercer Island to Seattle has decreased from 68% in 1990 to 55% in 2000. The number of work trip destinations to Eastside and other work sites accounts for 42% of all work trips from Mercer Island. The number of Island commuters who work at home has decreased from approximately 10% in 1990 to 7% in 2000. A November 2013 WSDOT Mercer Island Travel Survey found that 55 percent of commute trips originating on the Island traveled west towards the Seattle and 45 percent traveled east towards Bellevue.~~

Roadway Network

~~According to the 2000 Census, Mercer Island residents own an average of two vehicles per occupied housing unit. Twenty three percent of Island residents own three or more vehicles. These vehicle ownership figures are slightly higher than the King County average for vehicles per household (1.79) and residents with three or more vehicles available per household (21%).~~

The PSRC's travel models also forecast future travel patterns for the year 2030. Although total travel to, from and within Mercer Island is expected to increase by about 20 percent between 2000 and 2030, the major travel patterns described above are expected to remain the same.

The Transportation System— Facilities & Services

1. Land Transportation

Mercer Island is currently served by a variety of land transportation facilities and services. Automobiles, public transit and school transit utilize the island's road network. Pedestrians and bicyclists use trails and paths as well as the road network. This section describes current facilities and services provided for each of these travel modes.

A. Roads

Mercer Island has over 75 miles of public roads. Interstate 90 (~~I-90~~) runs east-west across the northern end of Mercer Island, providing the only road and transit connection to the rest of the Puget Sound region. ~~I-90 is a six lane divided highway with an additional two center HOV (High Occupancy Vehicle) lanes across the island. On Access to the I-90 on-ramps and off-ramps to I-90 are provided at East Mercer Way, Island Crest Way, West Mercer Way, 76th Avenue SE, and 77th Avenue SE. On and off ramps to the reversible center HOV lanes are provided at 77th and 80th Avenue SE, Island Crest Way, and East Mercer Way.~~

There are a number of changes occurring to the I-90 corridor in preparation for Sound Transit light rail, scheduled for completion in 2023. These include the addition of westbound and eastbound HOV lanes to the I-90 mainline. with ramps providing access to the HOV lanes at

~~80th Avenue SE. The reversible HOV lanes down the center lanes of the I-90 facility will become the dedicated rail corridor for Sound Transit light rail.~~

~~On the island,~~ most of the road network ~~on the island~~ is comprised of 2-lane local streets serving the island's residential areas; ~~arterials.~~ Arterial roadways comprise approximately 25 miles, or one third, of the system. In addition to public roads, there are numerous ~~local streets and~~ private roads serving individual neighborhoods and developments on the island.

Roadways on the island are classified into different categories according to their purpose and physical characteristics. The categories are:

- Principal Arterials carry the highest volumes of traffic and provide the best mobility in the roadway network. ~~They do this by limiting access to adjacent land uses, and having fewer traffic control devices and~~ These roads generally have higher speed limits, higher traffic volumes, and limit access to adjacent land uses.
- Secondary Arterials connect with and augment principal arterials and generally have a higher degree of access to adjacent land, lower traffic volumes and lower travel speeds.
- Collector Arterials provide for movement within neighborhoods, connecting to secondary and principal arterials; ~~they and~~

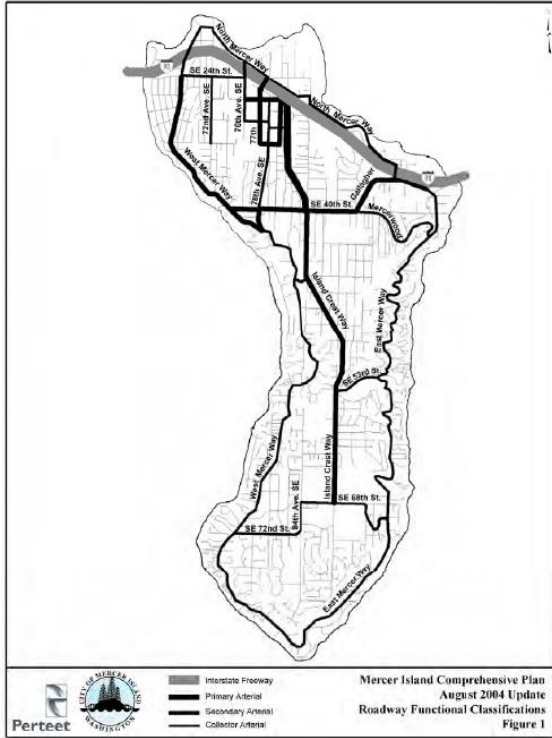
typically have low traffic volumes and carry little through traffic.

- Local Streets provide for direct access to abutting properties and ~~other connecting local streets;~~ ~~they~~ carry low volumes of traffic at low travel speeds ~~and.~~ Local streets are usually not intended for through traffic.

Individual streets are assigned classifications based on several criteria, including the type of travel to be served, the role of the street in the overall street network and transportation system, physical characteristics, traffic characteristics, and adjacent land uses. Based on City Staff recommendations, the City Council periodically reviews and updates the street classification system, its criteria and specific street classification designations. Figure 1 show the street functional classifications.

~~Figure 1 illustrates the system and its classifications. Figure 2 shows existing 2014 roadway conditions, features describing the shoulder types and sidewalk locations. Figure 3 shows the number of travel lanes and, posted speed limits, and the location of 12 signalized intersections and four signalized non-motorized crossings. - existing traffic volumes on this network. [Traffic volume measures are an amalgam of traffic counts taken over an extended period of time. They are a snap-shot of traffic volumes that were present when the counts were taken. Current traffic volumes may differ from~~

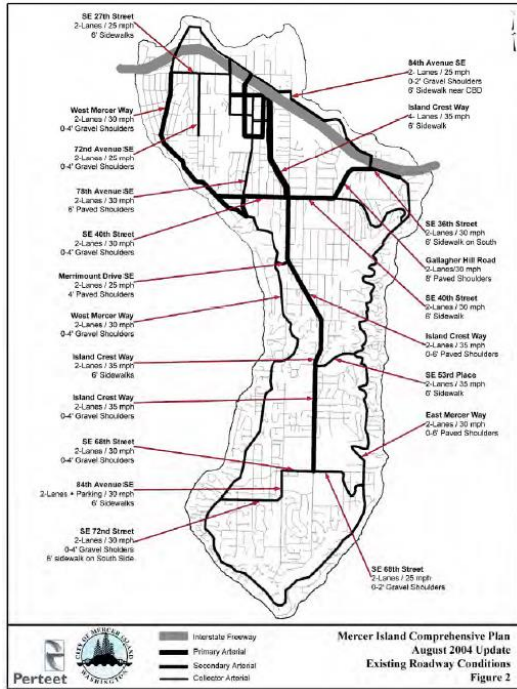
~~those shown here depending upon changes in road configurations elsewhere in the community and/or changes in the public's travel patterns. They should be used only as first indicators of where road deficiencies may be and where further traffic analysis is warranted.]~~



Current Map (to be replaced)



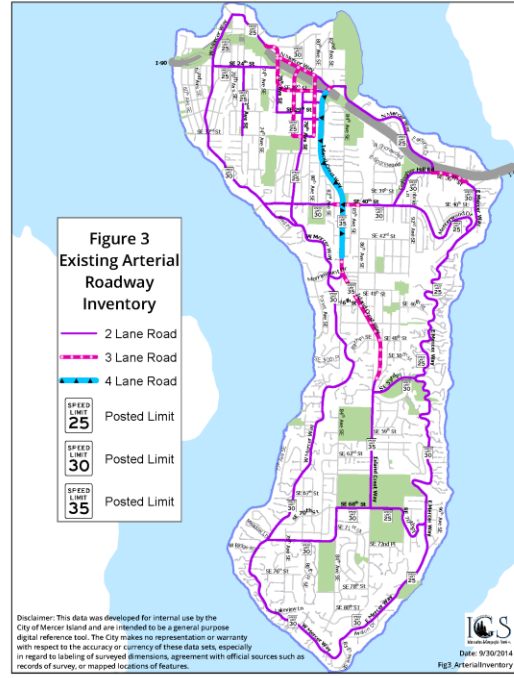
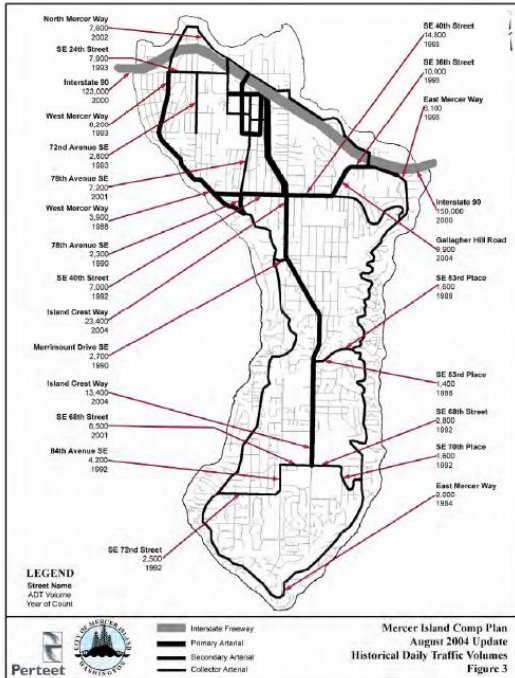
Updated Map



Current Map (to be replaced)



Updated Map



Current Map (to be replaced)

Updated Map

Level of Service Standard

Level of Service (LOS) is a measurement of the quality of traffic flow and congestion at intersections and roadways. LOS is defined by the amount of delay experienced by vehicles traveling through an intersection or on a roadway. LOS is based on an A-F scale with LOS A representing little or no delay to LOS F representing extreme delay.

Under the Growth Management Act, each local jurisdiction is required to establish a minimum threshold of performance for its arterial roadways. Cities use this standard to identify specific actions to maintain the adopted LOS standard. The City of Mercer Island has established its Level of Service standard as LOS D at intersections of two arterial streets. This standard applies to the operation during either the AM or PM peak periods.

This LOS D standard is consistent with the WSDOT standard for Interstate 90 and its ramp intersections. I-90 is designated as a Highways of Statewide Significance under RCW 47.06.140.

Traffic Operations

For transportation planning purposes, traffic operations are typically analyzed during the busiest hour of the street system, when traffic volumes are at peak levels. On Mercer Island, the peak hour of traffic operations corresponds with the afternoon commute, which typically falls between 4:00 and 6:00 in the afternoon (PM peak hour). Traffic

counts were collected at 39 intersections throughout the Island

Selected counts for the AM peak hour were also collected to provide an understanding of the transportation system during the morning commute, which typically peaks between 7:30 AM and 8:30 AM.

The analysis shows that during the AM and PM peak hour, all intersections operate at LOS D or better for existing2014 conditions, with two exceptions. The intersection of SE 53rd Place/Island Crest Way operates at LOS F during the morning peak hour and at LOS E during the afternoon peak hour. The intersection of N Mercer Way/77th Avenue SE operates at LOS E during the morning and afternoon peak hours. **Figure 5** -shows the existing2014 LOS at key intersections during the morning and afternoon peak hours.

Parking

Prior to the 1994-96 CBD Street Reconstruction Project, there were a total of 230 on-street parking spaces. Most parking in the City is provided by off-street parking lots, along residential access streets, or by on-street spaces in select areas of the Town Center. within Mercer Island's Town Center. Upon completion of the Town Center streets reconstruction, on-street parking spaces are projected to decrease to approximately 140. Diagonal parking is permitted on the south side of SE 27th Street, east of 76th Avenue SE, and parallel parking is allowed on portions of the other streets in the downtown.

In 2001, the City implemented a permit parking program for ~~the northern most streets~~on-street parking in the Town Center in response to overflow conditions at the Mercer Island Park and Ride lot. This program preserves selected public on-street parking spaces for Mercer Island resident use, between the hours of 7:00 AM and 9:00 AM, Monday through Friday. All Mercer Island residents are eligible for a Town Center District permit which will allow them to park on Town Center streets during the specified hours.

~~Another~~An additional permit parking program was developed for residential streets north of the ~~Sound Transit~~ park and ride lot on North Mercer Way. This program only allows ~~only~~ residents of the area to park on city streets between 7:00 AM and 4:00 PM, weekdays.

~~Together, these programs reduce overflow parking from the Park and Ride lot on City streets by off island~~

~~commuters, many of whom travel to their destination via the Mercer Island Park and Ride transit stop.~~

~~Outside the Town Center, most parking for non-residential land uses is provided in dedicated off-street parking lots attached to the specific use. Examples are parking lots serving the shopping center at the south end of the island, and those at schools, churches and community centers. Parking is allowed on most residential access streets, or on the adjacent shoulder, and supplements the driveways serving the homes and off-street lots serving multi-family developments.~~

~~Overflow parking continues to be an issue in a number of areas, including and without limitations, neighborhoods adjacent to the high school and adjacent to a limited number of multi-family housing developments on the west side of the Town Center.~~

Bicycle and Pedestrian Facilities

With an inventory of over 56 miles, Bicycle and pedestrian facilities are a valuable asset for the residents of Mercer Island. These facilities are used for basic transportation, recreation, going to and from schools, and they contribute to an important element to our community's quality of life. the facilities contribute to our community's quality of life. In 1996, the City developed a Pedestrian and Bicycle Facilities Plan to provide a network of bicycle and pedestrian facilities. The plan focused on encouraging non-motorized travel and improving the safety of routes near the Island's elementary schools. Of the 47 projects identified in the plan, 38 of the projects were either fully or partially completed during the first 12 years of the plan.

In late 1995 the City Council instructed the Road and Trails Board to review the 1990 Comprehensive Plan and develop a new plan that is consistent with the City of Mercer Island Comprehensive Plan. Over the next year the Board held several public meetings and open houses to gather input on what residents wanted. A 2010 update to the plan included vision and guiding principles, goals and policies, an existing and future network, a list of completed projects, revised facility design standards, and a prioritized list of projects. The plan emphasizes further development of safe routes to schools, completion of missing connections, and application of design guidelines.

A regional trail runs across the north end of the Island along the I-90 corridor providing a convenient connection to Seattle and Bellevue for pedestrians and bicyclists. The majority of streets in the Town Center include sidewalks. In addition, there are sidewalks near schools and select streets. Throughout the island there are paved and unpaved shoulders and multiuse trails that provide for pedestrian mobility.

The bicycle network is made up of designated bicycle facilities including bicycle lanes and sharrows, and shared non-motorized facilities including shared use pathways, off-road trails, and paved shoulder areas. Figure 25 shows the pedestrian and primary bicycle facilities on the island as identified by the Pedestrian and Bicycle Facilities Plan.

In preparing the plan, the Road and Trails board worked to balance the often conflicting priorities of safety, use, the environment, local character and cost. The trade-offs were guided by several principles:

Arterial corridors are shared-use assets, Incremental solutions are preferred Appropriate facilities balance our community values, expected uses and the site,

The Mercer Ways are a unique and valuable community asset, Maintenance, parking and speed control policies affect the use of these facilities, The cost of construction, reconstruction and ongoing maintenance need to be balanced with the perceived benefit of each project.

~~On August 5, 1996 the City Council adopted the Pedestrian & Bicycle Facilities Plan. With the adoption of the plan, the Council dissolved the Road and Trails Board. The role the Board used to plan in the City was subsequently divided between the Council and staff.~~

~~The Plan guides staff and Council in decision making—specifically in relation to the Capital Facilities Element of the City of Mercer Island Comprehensive Plan.~~

~~The City identified the development of roadside shoulders on East, West and North Mercer Ways as a priority project in the 2005—2010 Six Year Transportation Improvement Program (TIP). These and other transportation project funding decisions are made consistent with City policy goals. Projects are coordinated with other capital projects to gain with greatest effect.~~

~~Copies of the adopted 20-year Pedestrian & Bicycle Facilities Plan are available at City Hall.~~

Public Transportation

The King County Department of Metropolitan Services (Metro) ~~provides~~ and the regional transit agency Sound Transit provide public transportation services for Mercer Island and throughout King County. ~~Metro provides three~~ There are four major types of service offered on the island: local fixed route service, regional express service, ~~and~~ custom bus service, and Access service.

~~Local fixed route service operates on the arterial roadway system, and provides public transit service for most of the island, connecting residential and activity areas. Generally, service is provided on 30-minute headways during the peak hour and on one-hour headways midday. Service headways (i.e., the time between buses on a route) and frequent stops along the routes result in relatively slow travel times compared to private autos.~~

Transit passengers tend to be "transit dependent" travelers, such as those too young to drive, people unable to drive, or those people who do not have access to a private vehicle.

Regional Express service, which also operates on fixed routes, is oriented toward peak hour commuter trips between Mercer Island and major employment and activity centers off the island. Express service ~~is designed to pick~~ generally picks up riders at central collection areas such as park and ride lots, and stop less frequently along the route to major destinations. Express service is provided west and east along I-90 into Seattle and Bellevue, and is provided by King County Metro and Sound Transit.

Custom bus service includes specially designed routes to serve specific travel markets, such as major employers, private schools, or other special destinations. These services are typically provided during peak commute hours, and operate on fixed routes with limited stops. ~~At least two~~ Custom bus routes are service is currently provided; ~~one to between~~ the Jewish Day School in

Bellevue Mercer Island Park and another to Ride and Lakeside School and University Prep in Seattle.

Access Service provides door-to-door transportation to elderly and special needs populations who have limited ability to use public transit. Access covers trips within the King County METRO transit service area.

Figure 4 shows the current transit routes serving the island. In September 2014, King County Metro reduced bus service throughout its service area due to revenue shortfalls. On Mercer Island, the changes reduced the number of routes from six to two. Other service reductions have affected Mercer Island Park and Ride, which was reduced from ten routes to three King County (201, 204 and 216), and two Sound Transit (550 and 554) routes. Some of the remaining routes were provided with expanded service hours.

Route 201 serves the western portion of Mercer Island providing service from the Mercer Island Park and Ride lot, along 78th Avenue SE, West Mercer Way, East Mercer Way, SE 70th Place, and SE 68th Street to Mercer Village Center. This route operates only on weekdays and has only two morning and one afternoon trips.

Route 204 provides service between the Mercer Island Park and Ride lot and the Mercer Village Center. This route travels on 78th Avenue SE, SE 40th Street, 86th Avenue SE, Island Crest Way, and SE 68th Street to the Mercer Village Center. The route operates every 30-60

minutes from approximately 6:00 AM to 6:00 PM on weekdays.

Park and Ride

The Mercer Island Park and Ride is located north of I-90 on N Mercer Way near Mercer Island's Town Center. The Park and Ride has 447 spaces and is served by Metro and Sound Transit buses.

The existing Mercer Island Park and Ride, with 257 spaces, is located north of I-90 in downtown Mercer Island, and is the largest park and ride on the island. It is owned and operated by the Washington State Department of Transportation (WSDOT).

Sound Transit proposes to replace the existing 257-vehicle surface parking lot with a two-story, partially below ground, 450-space parking structure, an increase of 193 spaces. The adjacent bus pull-out areas on both the north and south sides of North Mercer Way will be lengthened, the adjacent sidewalks widened and transit shelters installed to improve waiting and boarding areas for transit users. Construction is expected to begin in 2006.

Based on a ridership survey performed by Metro Transit in 2001, this park and ride is filled to capacity on a daily basis before 8:00am and is used by both Mercer Island residents (approximately 43%) and commuters who reside east of Mercer Island (approximately 57%).

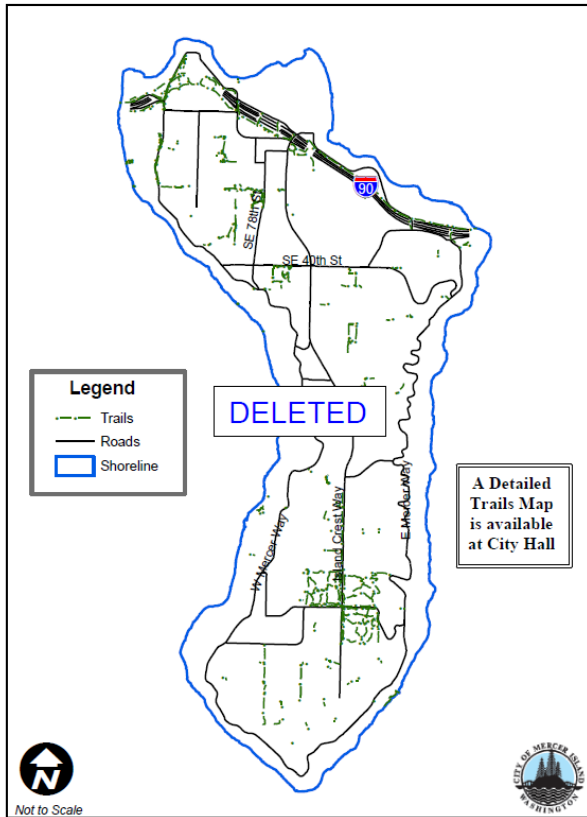
Fourth Quarter 2013 Park and Ride Utilization Report prepared by King

County, the Mercer Island lot is typically fully occupied during weekdays.

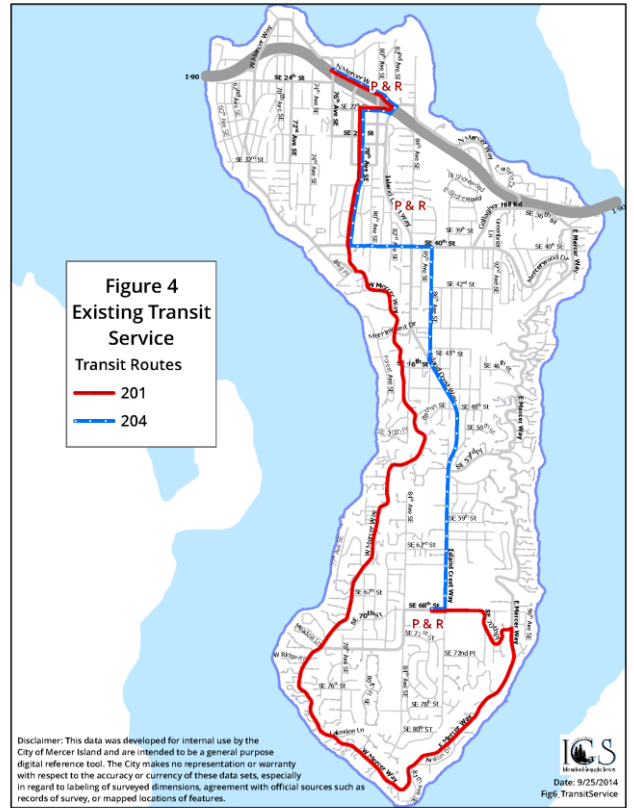
To supplement park and ride capacity on the island, Metro has leased ~~two~~three private parking lots for use as park and ride lots, located at the Mercer

Island Presbyterian Church ~~and the~~, Mercer Island United Methodist Church, and at the Mercer Village Center. These lots are described in ~~Table 3~~ **Table 1**. Together, they provide an additional ~~606~~69 parking spaces for use by Island residents.

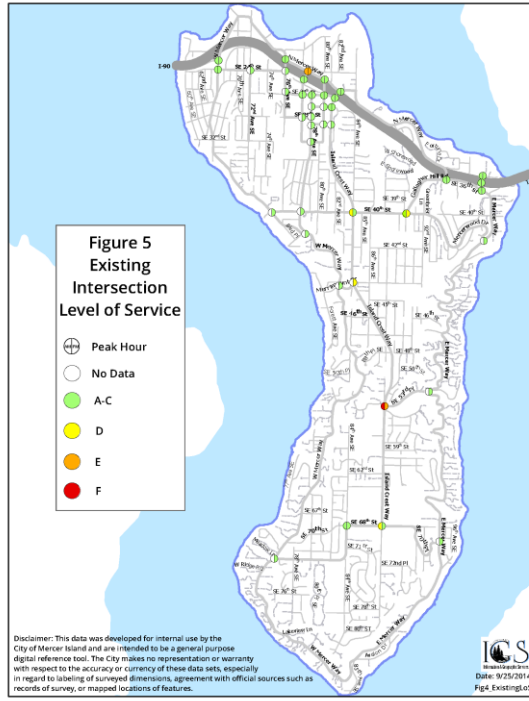
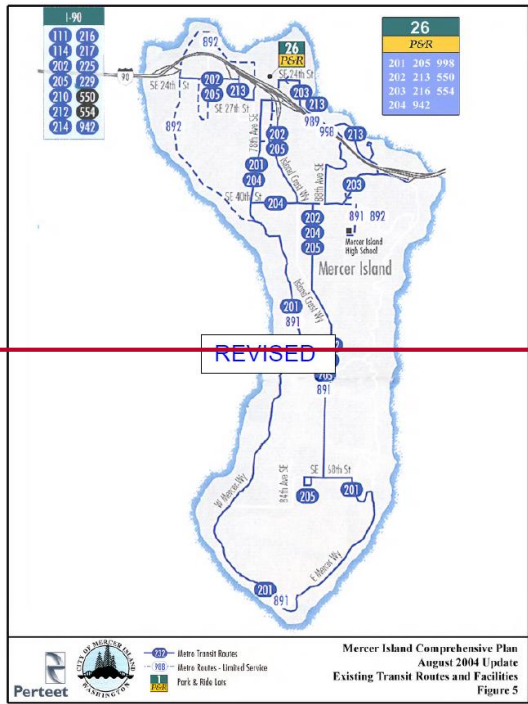
Figure 4 - Comprehensive Trail Plan



Current Map (to be replaced)



Updated Map



Current Map (to be replaced)

Updated Map

Table 31: Mercer Island Park and Ride Locations and Capacities

Lot	Location	Capacity	Cars Parked	% Spaces Occupied
Metro Mercer Island Park and Ride	7800 N Mercer Way	257 447	258 447	100%
Merger Island Presbyterian Church	84th Ave SE & SE 37th St.	30	30 15	100 50%
United Methodist Church	70th Ave SE & SE 24th St.	30 18	20 13	67 72%
Merger Village Center	84th Ave SE & SE 68th St.	21	5	24 %

Source: Metro Transit ~~Spring 2002~~ P&R Utilization Report ~~Fourth Quarter 2013~~.

School Transportation

The Mercer Island School District ~~#400~~ (MISD) provides bus transportation for public Kindergarten through 12th grade students on Mercer Island. The MISD operates ~~32 bus routes with a total of 35 buses to provide this service. On average, the school district serves 2,278 students on a daily basis (2003-2004), or around 55% of the total school population.~~ approximately 40 scheduled bus routes during the morning and afternoon. In addition, the District provides free Orca cards to high school students who live more than one mile from Mercer Island High School and do not have either a parking pass or are not assigned to a district bus.

Rail Services & Facilities

There are no railroad lines or facilities on Mercer Island. In the region, the Burlington Northern Railroad and Union Pacific Railroad companies provide freight rail service between Seattle, Tacoma, Everett, and other areas of Puget Sound, connecting with intrastate, interstate and international rail lines. Amtrak provides scheduled interstate passenger rail service from

Seattle to California and Chicago. Major centers in Washington served by these interstate passenger rail routes include Tacoma, Olympia, Vancouver, Everett, Wenatchee, and Spokane.

Air Transportation

Mercer Island does not have any air transportation facilities or services. Scheduled and chartered passenger and freight air services are provided at Seattle-Tacoma International Airport in SeaTac, and at the King County International Airport in south Seattle.

Water Transportation

Mercer Island does not have any public water transportation services. ~~Lakemont dock, a public boat launch providing access to Lake Washington, is located at the foot of 97th Avenue SE.~~ The city's ~~other~~ public boat launch is on the east side of the island, off of East Mercer Way, under the East Channel Bridge. ~~Port services and facilities are provided by the Port of Seattle in Seattle. Public ferry services between Seattle and Edmonds and Kitsap County are provided by the Washington State Department of Transportation.~~

IV. TRANSPORTATION SYSTEM – FUTURE ~~NEEDS~~NEEDS

Growth Management Act Requirements

This section describes the future year transportation system needs, particularly in terms of traffic volumes and road capacities, and the process used to identify them. The Growth Management Act requires the City to forecast traffic demands for at least ten years into the future, identifying where future improvements may be necessary in order to accommodate future population and traffic growth. The Act goes on to require the City to develop financing strategies which will implement the "growth-related" traffic system improvements within six years. conditions and analysis used to identify future transportation needs and improvements.

"Level of Service" Analysis

Mercer Island analyzes its arterial road transportation needs and capacities in terms of its established Level of Service (LOS) "C" standard – the community's' measure of maximum tolerable traffic congestion. The analysis is based on traffic counts that have been collected over a number of years and projected into the future. The LOS analysis is used to anticipate and respond to transportation system "deficiencies" in a timely and effective manner. However, because traffic volumes change with changing travel and growth patterns, LOS analysis is a continual process. With

~~that caveat, the data and analysis that follows should not be regarded as precise, final conclusions. Instead, the projections and results should be indicators of where future traffic planning and data collection should occur before commitments to physical improvements are made.~~

Traffic volumes and levels of service were forecast for 2022, the 20-year planning horizon established for the Mercer Island Comprehensive Plan.

Town Center Street Plan

The Town Center Plan for Mercer Island was developed through a cooperative effort of City staff, consultants and the Town Center Streets Citizens Design Task Force. The primary concept behind the Town Center Street Plan was to support the Downtown Mercer Island Vision Plan adopted by the City in mid-1993 and the Comprehensive Plan Land Use Element adopted in December, 1993. Specific objectives included:

Enhance access to existing and future development in the Town Center while, at the same time, discouraging through traffic from penetrating the Town Center core.

Emphasize pedestrian, transit and bicycle access, safety and mobility throughout the Town Center, particularly among planned residential, commercial and retail uses, to reduce the need for vehicular travel within the downtown area.

Create a pedestrian-friendly environment along 78th Avenue SE which will encourage pedestrian-oriented retail development between SE 27th and SE 29th Streets.

Transportation Improvements for the Town Center

In 1996, Town Center District streets were renovated and resurfaced with new asphalt, new street lights, widened and improved sidewalks (at least 8 feet wide), new curbs and gutters, additional street trees and art inlays at intersections. Detailed descriptions of the planned improvements are available in the City's Development Services Department.

Implementation of the Town Center street improvements began in 1994, with construction of improvements to 77th and 78th Avenues SE; construction on the easterly portion of SE 27th Street began in June 1994. The remaining improvements were constructed in 1995 and 1996. Funding for the Town Center street projects was provided through a combination of ISTEA grants matched by local funds from the City of Mercer Island. Transit in the Town Center focuses transit service increases on the I-90 corridor, rather than on additional north-south service on the island. Future service increases on the island will most likely concentrate on Island Crest Way and are not expected to impact the downtown area.

Adequacy of Town Center Street Plan

An issue which arose during the development of the Downtown Streets Plan was whether the transportation system would be adequate to support the growth planned for the Town Center. The Downtown Vision Plan calls

for more retail, residential and commercial activity than currently exists in the Town Center, and the reduction of roadway capacity for some facilities. Questions were raised about the ability of the proposed street plan to accommodate Town Center growth along with other growth on the island. A detailed analysis of the traffic demand and the capacity of the revised street system was analyzed by KJS Associates in 1994. In 2004, Pertect Engineering examined the possible need for new traffic signals on SE 27th Street at 77th Avenue SE and 78th Avenue SE as a result of proposed developments in the Town Center. They also examined existing vehicle volumes and future trip projections. The analysis of current and future traffic flows on the downtown streets confirmed that the transportation plan for the Town Center is sufficient to maintain acceptable levels of traffic congestion. Specific findings of the analysis revealed that:

The majority of travel from regional facilities to the rest of the island will not go through the Town Center. The principal connections to the I-90 freeway are located at: Island Crest Way, the West Mercer interchange, and the East Mercer interchange. Although Island Crest Way runs along the east side of the Town Center, traffic on this arterial does not impact the Town Center due to the physical and visual separation provided by the retaining walls along Island Crest Way. Drivers bound for the Town Center must exit Island Crest Way at SE 30th Street in order to reach the Town Center street system. Since there will not be much growth in through traffic in the Town

Center, the Downtown Street Plan does not have to provide excess capacity for through traffic.

The mixed use development and pedestrian orientation of the Downtown Vision Plan will reduce vehicular trip generation rates for new development by about 15 percent, compared to typical suburban centers. This means that the total average daily traffic (ADT) into and out of the Town Center will increase by about only 30 percent, or 9,500 ADT at full build-out of the Town Center.

- Future levels of service with three lane streets and roadway improvements will maintain LOS C or better at all locations in downtown. The existing four-way stop signs will work well for many years. Traffic signals should be installed at downtown intersections only when warranted by actual traffic volumes.

4

Street System Outside of the Town Center

For travel demand forecasts outside the Town Center a growth rate of one percent per year was used. This assumption is based on the projected growth patterns for Mercer Island, and historical growth patterns in traffic on the street network. Population and employment growth on the island that will affect traffic levels through the 20 year planning period is expected to be low. Annually, this amounts to about one percent growth per year. The majority of this growth is anticipated to

be in and near the CBD, and is not likely to significantly affect traffic elsewhere on the island. Table 5 and Figure 6 show estimated future traffic volumes, volume to capacity ratios, and expected levels of service (LOS) for selected locations around Mercer Island.

Table 5 - 2022 Traffic Volume Forecast for Mercer Island

Principal Arterials	Location	# of Lanes	2004 Capacity	2004 Volume*	2004 V/C Ratio	2004 LOS	2022 Capacity	2022 Volume**	2022 V/C Ratio	2022 LOS
Island Crest Way	N of SE 40 th St.	4	27,600	23,125	0.84	D	27,000	24,995	0.93	E
Secondary Arterials										
Island Crest Way	S of SE 40 th St.	4	27,600	23,433	0.85	D	27,600	24,896	0.90	F
Island Crest Way	N of SE 68 th St.	2	13,800	13,417	0.97	E	13,800	14,589	1.06	F
West Mercer Way	S of SE 24 th St.	2	13,800	9,020	0.65	B	13,800	9,308	0.67	B
West Mercer Way	N of SE 40 th St.	2	13,800	4,290	0.31	A	13,800	4,411	0.32	A
78 th Avenue SE	S of SE 40 th St.	2	13,800	2,688	0.19	A	13,800	2,747	0.20	A
SE 40 th Street	W of Is. Crest Way	2	13,800	7,700	0.56	A	13,800	8,200	0.59	B
SE 40 th Street	E of Is. Crest Way	2	13,800	16,280	1.18	F	13,800	16,529	1.20	F
Gallagher Hill Road	NE of SE 40 th St.	2	13,800	9,900	0.72	C	13,800	10,075	0.73	C
SE 36 th Street	E of Gallagher Hill	3	17,000	11,000	0.65	B	17,000	11,487	0.68	C
Collector Arterials										
East Mercer Way	S of SE 36 th Street	2	13,800	6,710	0.49	A	13,800	7,191	0.52	A
East Mercer Way	E of W Mercer Way	2	13,800	2,400	0.17	A	13,800	2,551	0.18	A
North Mercer Way	E of 76 th Ave. SE	2	13,800	7,711	0.56	A	13,800	7,711	0.56	A
SE 53 rd Street	W of E Mercer Way	2	13,800	1,920	0.14	A	13,800	1,920	0.14	A
SE 72 nd Street	SE of SE 68 th St.	2	13,800	3,000	0.22	A	13,800	3,124	0.23	A
84 th Avenue SE	SE of SE 68 th St.	2	13,800	5,040	0.37	A	13,800	5,177	0.38	A
SE 68 th Street	W of Is. Crest Way	2	13,800	9,011	0.65	B	13,800	9,654	0.70	C
SE 68 th Street	E of Is. Crest Way	2	13,800	8,760	0.63	B	13,800	9,017	0.65	B
SE 70 th Place	E of W Mercer Way	2	13,800	1,920	0.14	A	13,800	1,195	0.14	A
78 th Avenue SE	N of SE 40 th St.	2	13,800	7,445	0.54	A	13,800	7,495	0.54	A
72 nd Avenue SE	N of SE 29 th St.	2				A	13,800	3,139	0.23	A
Mercerwood Dr. SE	W of E Mercer Way	2				A	13,800	5,024	0.36	A
Merrimount Dr. SE	W of Is. Crest Way	2				A	13,800	3,087	0.22	A

DELETED

* Existing counts have been factored by 1% per year to reflect 2004 conditions.
 ** 2004 counts have been factored by 1% per year to reflect 2022 conditions.

Arterials in the Downtown Area

Secondary Arterials	Location	# of Lanes	2004 Capacity	2004 Volume*	2004 V/C Ratio	2004 LOS	2022 Capacity	2022 Volume**	2022 V/C Ratio	2022 LOS
78 th Avenue SE	N of SE 32 nd St.	2	13,800	6,242	0.45	A	13,800	7,025	0.51	A
80 th Avenue SE	N of SE 32 nd St.	2	13,800	8,360	0.61	B	13,800	9,317	0.68	C
SE 27 th Street	W of 80 th Ave. SE	3	13,800	8,690	0.63	B	13,800	10,372	0.75	C
SE 32 nd Street	W of 80 th Ave. SE	2	13,800	6,270	0.45	A	13,800	7,002	0.51	A
SE 28 th Street	W of Is. Crest Way	3	13,800	8,405	0.61	B	13,800	9,607	0.70	C
Collector Arterials										
76 th Avenue SE	N of SE 27 th St.	2	13,800	8,030	0.58	B	13,800	9,357	0.68	B
SE 29 th Street	W of 78 th Ave. SE	2	13,800	3,321	0.24	A	13,800	3,857	0.28	A
SE 30 th Street	E of 78 th Ave. SE	2	13,800	3,190	0.23	A	13,800	3,627	0.26	A
SE 24 th Street	W of 76 th Ave. SE	2	13,800	8,910	0.65	B	13,800	9,337	0.68	B
77 th Avenue SE	N of SE 27 th St.	2	13,800	10,010	0.73	C	13,800	11,330	0.82	D

* Existing counts have been factored by 1% per year to reflect 2004 conditions.
 ** Volumes based on downtown improvement study.

LOS Definitions

V/C Ratio	LOS
0.00	A
0.58	B
0.68	C
0.78	D
0.88	E
0.99	F

Future Travel Demand

The future traffic volumes were forecast for the year 2035 based on the City's land use and zoning, as well as the housing and employment growth targets, as identified in the King County Buildable Lands (2014) report. More than 70 percent of new households and 76 percent of new jobs are forecasted to occur within the Town Center.

The analysis assumes the opening of the East Link light rail line in 2023, which will result in an attractive additional travel option between the Town Center and regional destinations. ~~The potential for tolling on the I-90 bridge is expected to result in minor reductions to mainline I-90 traffic volumes and on-island traffic volumes and patterns.~~

Overall, the traffic growth in the Town Center is forecast to increase by 35 percent between 2014-2035, an annual growth rate of 1.5 percent annually. Town Center traffic growth was adjusted to reflect the higher potential for pedestrian and transit trips. For areas outside the Town Center, traffic growth is expected to be low with approximately 10 percent growth between 2014-2035, an annual growth rate of 0.5 percent annually.

The resulting forecasted traffic volumes directly reflect the anticipated land use, housing, and employment growth assumptions for the island.

Baseline Traffic Operations

The 2035 baseline traffic analysis uses the forecasted growth in traffic, planned changes to the regional transportation system, and the roadway and intersection improvements identified in Mercer Island's 2015-2020 *Transportation Improvement Program* (TIP).

Results of the 2035 baseline traffic operations analysis shows that five intersections would ~~not~~ operate at LOS E or F by 2035 if improvements are not made to the intersections. In the vicinity of the Town Center, the three intersections of N Mercer Way/77th Avenue SE, SE 27th Street/80th Avenue SE, and SE 28th Street/80th Avenue SE, would ~~not~~ operate at LOS E or F during the either the AM or PM peak hours, without improvements. Outside of the Town Center the ~~two~~ intersections of SE 53rd Place/Island Crest Way ~~and SE 68th Street/Island Crest Way~~ would operate at LOS F during either the AM or PM peak hours, without improvements; while the intersection of SE 68th Street/Island Crest Way would operate at LOS F in the AM peak hour, and LOS D in the PM peak hour, without improvements.

Figure 6 shows the future baseline traffic operations at the study intersections assuming only improvements identified in the 2015-2020 TIP.

Recommended Improvements

In addition to the baseline projects identified in the City's 2015-2020 Transportation Improvement Program, a future needs analysis developed a list of recommended improvements. The future needs analysis identified select projects from the City's Pedestrian and Bicycle Plan to improve non-motorized safety and connectivity. Additional roadway and intersection improvement projects were identified based on the operational and safety needs through 2035. Figure 7 shows the recommended transportation projects for the next 20 years. Table 2 provides a map identification, describes the location and details for each of the projects, and estimates a project cost. The table is divided into two main categories of project types:

Non-Motorized Projects – The listed projects include new crosswalk improvements and pedestrian and bicycle facilities. These projects are identified projects from the City's Pedestrian and Bicycle Plan that connects residential areas to schools, parks, regional transit and other destinations.

Intersection/Road Projects – Roadway projects are those that increase the capacity and safety of an intersection or roadway segment. The projects include the maintenance of existing roadway segments to ensure that the city's current street system is maintained.

The recommended improvements identifies a total of \$515.60 million dollars of transportation improvements over the next 20 years. About 783 percent (\$40.0 million) of the total is for

street preservation and resurfacing projects to maintain the existing street system. Another 918 percent (\$4.69.8 million) is for non-motorized system improvements. The remaining About 109 percent (\$5.02 million) is for traffic operational improvements at intersections to maintain LOS operations.




Table 2. Recommended Project List 2015-2035

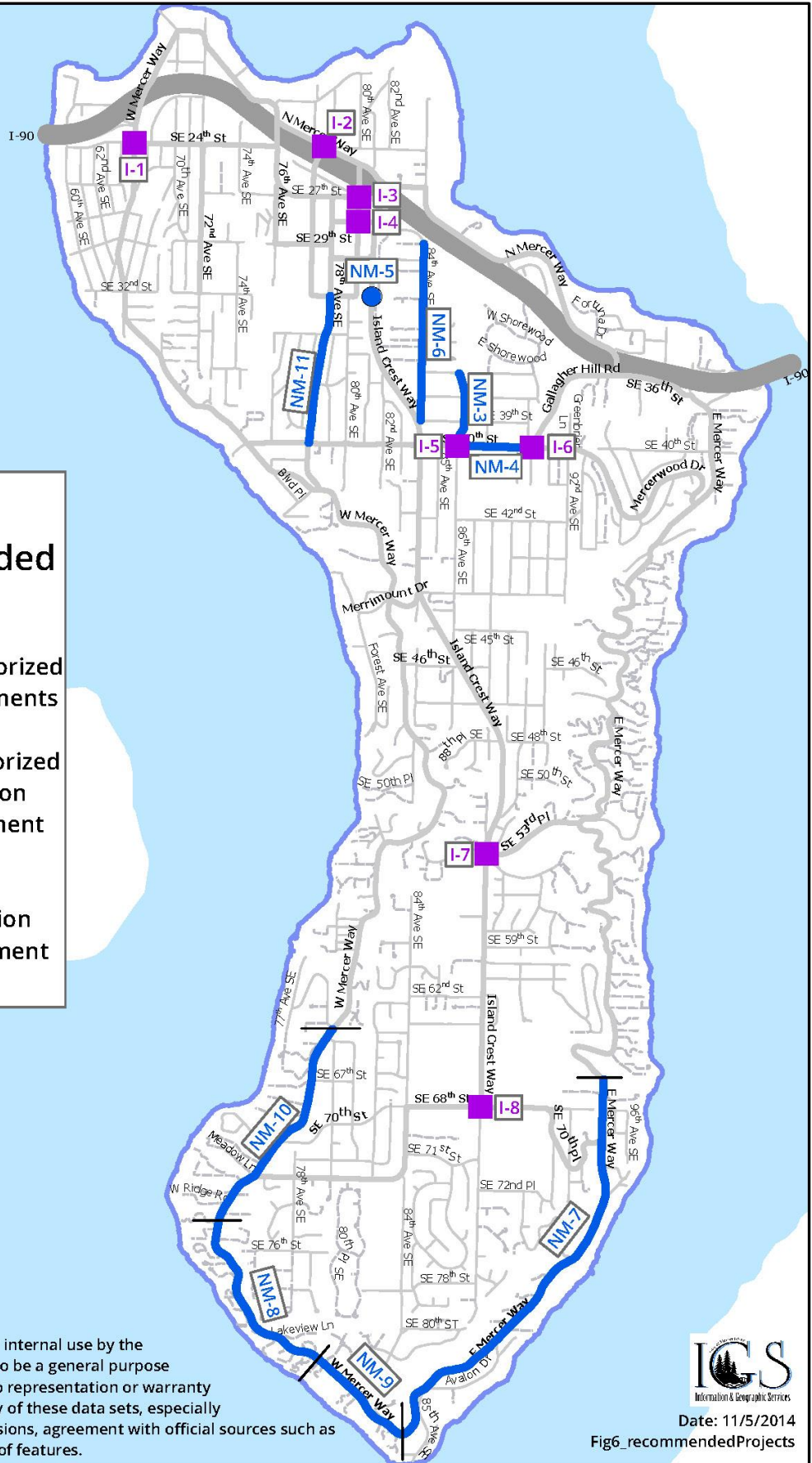
MAP ID	LOCATION	DESCRIPTION	JUSTIFICATION	COST (\$)
Non-Motorized Projects (NM)				
NM-1	PBF Plan Implementation	Annual funding for non-motorized improvements.	2015-2020 TIP: Project D1.	810,000
NM-2	Safe Routes to School - Biennial	Biennial funding for safety improvements near schools.	Ongoing	100,000 Every other year
NM-3	Safe Routes - Madrona Crest (86th Avenue SE) Sidewalk	Sidewalk between SE 38th to SE 39th Street.	2015-2020 TIP: Project D2.	510,000
NM-4	Safe Routes to School - New Elementary School	Pedestrian improvements to support the new elementary school.	2015-2020 TIP: Project D3.	454,000
NM-5	Island Crest Way Crosswalk Enhancement - SE 32nd Street	Add Rectangular Rapid Flashing Beacons (RRFB) at existing pedestrian crossing.	2015-2020 TIP: Project D4.	25,000
NM-6	84th Avenue Path (SE 39th to Upper Luther Burbank Park)	Add a gravel shoulder pedestrian facility.	2015-2020 TIP: Project D5.	70,000
NM-7	East Mercer Way Roadside Shoulders (From 6600 block to south end of E Mercer Way)	Add a shoulder for non-motorized users.	2015-2020 TIP: Project D6.	1,067,400
NM-8	West Mercer Way Roadside Shoulders (7400-8000 Block)	Add a shoulder for non-motorized users.	2015-2020 TIP: Project D7.	417,500
NM-9	West Mercer Way Roadside Shoulders (8000 block to E Mercer Way)	Add a paved shoulder (east side) for non-motorized users.	PBFP: Project WMW 8.	422,400 <u>1,035,800</u>
NM-10	West Mercer Way Roadside Shoulders (6500 to 7400 block)	Add a paved shoulder (east side) for non-motorized users.	PBFP: Project WMW 7.	3,306,000 <u>676,800</u>

MAP ID	LOCATION	DESCRIPTION	JUSTIFICATION	COST (\$)
NM-11	78th Avenue SE - SE 32nd Street to SE 40th Street	Improve with sidewalks, bicycle lanes/sharrows to connect with the Town Center.	PBFP: Project N16.	1,131,300
Intersection Projects (I) / Road Projects (R)				
I-1	SE 24th Street/W Mercer Way	Add southbound left turn pocket (re-channelize).	East Link/Fails to meet LOS Standard	25,000
I-2	77th Avenue SE/N Mercer Way	Traffic signal* or add center receiving lane.	East Link/Fails to meet LOS Standard	820,000
I-3	SE 27th Street/80th Avenue SE	Traffic signal.	East Link/Fails to meet LOS Standard	858,000
I-4	SE 28th Street/80th Avenue SE	Traffic signal.	East Link/Fails to meet LOS Standard	854,900
I-5	SE 40th Street Corridor (East of Island Crest Way)	Install dedicated left turn signal phase and turn pocket.	2015-2020 TIP: Project C3.	758,800
I-6	SE 40th Street/Gallagher Hill Road	Add eastbound left turn pocket	Fails to meet LOS Standard	133,900
I-7	SE 53rd Place/Island Crest Way	Traffic signal.	Fails to meet LOS Standard	602,700
I-8	SE 68th Street/Island Crest Way	Traffic Signal/Roundabout*	Fails to meet LOS Standard	982,500
R-1	Street Preservation/Maintenance	Street resurfacing based on PCI rating.	2015-2020 TIP: Projects A1, B1-B2,C1-C10, E1-E3.	40,000,000
			Total 2015-2035 Projects	51,620,20054,862,800

*Cost estimate reflects higher cost option of alternative actions.

**Figure 6
Recommended
Projects**

-  Non-Motorized Improvements
-  Non-Motorized Intersection Improvement
-  Roadway Intersection Improvement



Disclaimer: This data was developed for internal use by the City of Mercer Island and are intended to be a general purpose digital reference tool. The City makes no representation or warranty with respect to the accuracy or currency of these data sets, especially in regard to labeling of surveyed dimensions, agreement with official sources such as records of survey, or mapped locations of features.



Date: 11/5/2014

Fig6_recommendedProjects

Traffic Operations – with Recommended Improvements

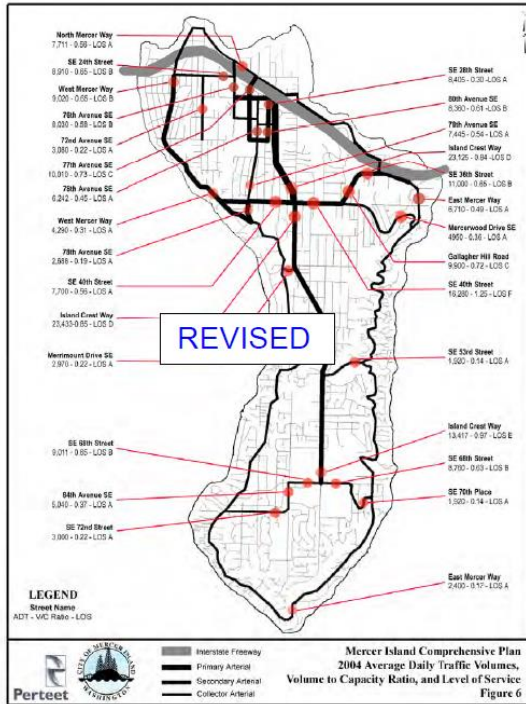
With the recommended improvements, the intersection operations will meet the City’s LOS standard for intersection operation and the transportation system will provide a better network for pedestrian and bicycle travel, allowing greater mobility for island residents. In addition, improvements to regional transportation facilities will allow accommodate growth in housing and employment, which will to be

focused in the Town Center, where residents can be easily served by high capacity transit. **Table 3** compares the 2035 intersection study locations with baseline and with the recommended improvements for each of the AM and PM study locations. The baseline improvements includes the roadway and intersection improvements identified in Mercer Island’s 2015-2020 Transportation Improvement Program. The recommended improvements are those additional improvements that are needed to meet the City’s LOS standard.

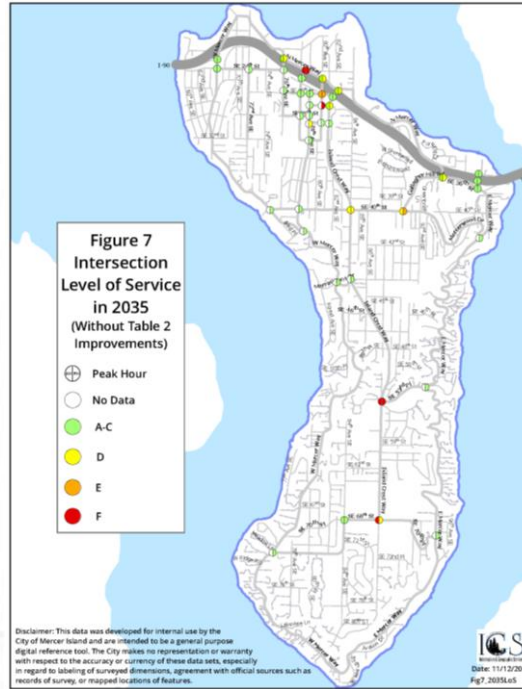
Table 3. 2035 Intersection Operations - Baseline and Recommended Improvements

Intersection	2035 AM Peak Hour		2035 PM Peak Hour	
	With Baseline Improvements	With Recommended Improvements	With Baseline Improvements	With Recommended Improvements
I-90 EB ramps/W Mercer Way	A	A	B	B
SE 24th St/W Mercer Way	B	B	C	C
SE 24th St/72nd Ave SE	--	--	B	B
SE 24th St/76th Ave SE	C	C	C	C
N Mercer Way/76th Ave SE	C	C	D	D
N Mercer Way/77th Ave SE	F	A	F	A
N Mercer Way-Park & Ride/80th Ave SE	C	C	D	D
N Mercer Way/Island Crest-SE 26th St	C	C	D	D
I-90 EB off-ramp/77th Ave SE	B	B	A	A
SE 27th St/76th Ave SE	--	--	A	A
SE 27th St/77th Ave SE	C	C	C	C
SE 27th St/78th Ave SE	B	B	C	C
SE 27th St/80th Ave SE	E	B	E	C
SE 27th St/Island Crest Way	C	C	C	C
SE 28th St/78th Ave SE	--	--	C	C
SE 28th St/80th Ave SE	--	--	F	C
SE 28th St/Island Crest Way	B	B	D	D
SE 29th St/77th Ave SE	--	--	B	B
SE 29th St/78th Ave SE	--	--	C	C
SE 30th St/78th Ave SE	--	--	D	D
SE 30th St/80th Ave SE	--	--	B	B
SE 30th St/Island Crest Way	--	--	A	A
SE 32nd St/78th Ave SE	--	--	C	C
SE 36th St/N Mercer Way	C	C	D	D
SE 36th St/100th Ave SE-E Mercer Way	B	B	B	B
I-90 EB off-ramp/100th Ave SE	A	A	A	A
I-90 WB ramps/100th Ave SE	B	B	C	C
SE 40th St/W Mercer Way	--	--	A	A
SE 40th St/78th Ave SE	--	--	B	B
SE 40th St/Island Crest Way	D	D	D	D
SE 40th St/SE Gallagher Hill Rd	D	C	E	D
Mercerwood Dr/E Mercer Way	--	--	B	B
W Mercer Way/78th Ave SE	--	--	B	B
Merrimount Dr/W Mercer Way	--	--	B	B
Merrimount Dr/Island Crest Way	--	--	D	D
SE 53rd Place/Island Crest Way	F	B	F	A
SE 53rd Place/E Mercer Way	--	--	A	A
SE 72nd St/W Mercer Way	--	--	A	A
SE 68th St/84th Ave SE	B	B	A	A
SE 68th St/Island Crest Way	F	C	D	A
SE 68th St/E Mercer Way	--	--	B	B

Figure 6 – 2004 Traffic Volumes, V/C Ratios & Level of Service



Current Map (to be replaced)



Updated Map

Deficiencies in the Road System

Mercer Island's current Transportation Improvement Program (TIP) includes projects to remedy safety, operational and physical deficiencies through 2010. Beyond 2010, projected deficiencies must be verified by a detailed traffic engineering analysis. Therefore, additional congestion relief projects will be identified as the TIP is updated. Based on updated traffic counts, the following locations appear to exceed the City's level of Service standard of C, Island Crest Way north of SE 68th Street; Island Crest Way south of SE 40th Street; Island Crest Way north of SE 40th Street and SE 40th Street east of Island Crest Way.

The City adopted the 2005-2010 TIP in May 2004, prior to the most recent analysis that indicated possible current deficiencies.

For the purpose of concurrency compliance, locations needing improvements will be identified for further evaluation in the next TIP. Prior to any commitment of funds, the City will perform additional traffic analysis to verify actual conditions.

Updated traffic counts and preliminary data show deterioration on ten roadway segments. Additional information, including verification of the predicted deficiencies with more detailed traffic count data is required before the City can identify a specific improvement project at these locations. These deficiencies will be examined as part of the arterial roadway reconstruction

projects identified in Years 2005 to 2010, in the adopted TIP.

The TIP also includes a 2005 construction project, jointly funded by the City and Mercer Island School District, to improve access and parking at Island Park Elementary School. This construction project will reduce congestion and eliminate traffic delays created by daily school and school bus traffic on Island Crest Way north of SE 68th Street.

In the Town Center, no locations currently exceed the adopted LOS standard, however, the segment of 77th Avenue SE north of SE 27th Street is expected to exceed the LOS standard C in 2022. The adopted Transportation Improvement Program (TIP) includes a traffic signal project to be installed at this intersection, when warranted. This improvement should manage congestion and return the adopted standard LOS C.

The City will monitor locations identified for current and future deficiencies and review roadway and intersection operations in 2010 to verify the forecast. Access and channelization improvement projects will be added to the TIP after 2010, if necessary.

The traffic forecast and Level of Service analysis for these streets should be regarded as "worst case" scenarios and do not reflect policy or reductions in projected traffic growth from implementation of the Commute Trip Reduction Ordinance. Therefore, new traffic counts should be conducted to verify the traffic volumes on these

roadways before physical or operational improvements are made.

V. FINANCIAL ANALYSIS

Transportation Investments

Since incorporation in 1960, the City has consistently made (or required through private development) transportation investments that have preceded and accommodated population growth and its associated traffic growth. This strategy has enabled the City to make significant improvements in the community's neighborhood streets, arterial roads, pavement markings, streets signs, pedestrian, and bicycle facilities.

~~In recent years, the City has relied on gas tax revenues (\$450,000 in 2014) and real estate excise tax (\$1,500,000 in 2014) to fund local transportation projects. Historically, the City has relied upon an annual distribution of approximately \$470,000 (1999 dollars) in state gas taxes to finance local transportation projects. However since 1985, the City has increased annual transportation funding sources to include state-shared Vehicle Registration Fees (\$190,000 per year) and Real Estate Excise Taxes (\$500,000 per year). Given the City's transportation financial policies (1994), Mercer Island will contribute approximately.~~

~~In 2014, the City is considering established a Transportation Benefit District that will added a \$20 per vehicle fee to provide an estimated \$350,000 annually to support transportation needs. Combined the City anticipates approximately \$2.3 to~~

~~\$2.6 in annual revenues. \$1.2 million per year to the City Street Fund. In 2016, the City adopted transportation impact fees to provide another funding source.~~

Combined with supplemental federal and state grant funding, Mercer Island ~~will be able~~ has sufficient resources to maintain and improve its transportation system over the next twenty years: ~~Current transportation resources, when extended out over the twenty years, should be sufficient to~~ and will be able to accomplish the following:

- Maintain the City's arterial street system on a twenty year (average) life cycle;
- Maintain the City's residential system on a thirty-five year (average) life cycle.
- Maintain, improve and expand the City's pedestrian/bicycle system over the next twenty years.
- ~~Maintain transportation and growth concurrency as outlined in~~ improve the transportation ~~and Land Use Elements. [This assumes that no additional capacity improvements will be needed.]~~

- **Table 6** below summarizes system to meet the City's Transportation Financial Policies, and long-term transportation reinvestment

strategies, forecasted housing and employment growth targets.

Table 6.

Capital Facility	Level of Service	Current Capacity Deficiencies	New Capital Cost (Capacity)	Annual Reinvestment (Average)	Financial Policy (Source)
Arterial Streets	LOS "C"	4 Locations currently	To be	9,000	Street Fund
DELETED					
Residential Streets	None	None	None	\$300,000	Street Fund
Town Center	LOS "C"	None	None	\$300,000	Street Fund
Existing and New Pedestrian/ Bicycle Facilities	Pedestrian/ Bicycle Facilities Plan	To be assessed	N/A	\$130,000	Street Fund

VI. IMPLEMENTATION STRATEGIES

Program and Policy Implementation

The following actions by the City of Mercer Island and other jurisdictions will be necessary to effectively implement the program and policy elements of this transportation element:

Transportation System - Streets, Transit, Non-Motorized

- Develop local neighborhood traffic control plans as necessary to address specific issues.
- Develop a program for monitoring transportation adequacy to compare projections to actual conditions and identify locations where improvement may become necessary.
- Implement TSM techniques to control traffic impacts.

Planning - Standards, Policies, Programs

- Periodically update the City's inventory of transportation conditions, functioning level of service and projected levels of service.
- Complete the plan for non-motorized transportation, improvements consistent with the City's Comprehensive Plan, including a review of the Comprehensive Trails-Pedestrian

and Bicycle Facilities Plan and its design standards.

- ~~Develop a comprehensive street classification system to identify facilities appropriate for automobile, truck, transit, bicycle and pedestrian uses.~~
- Develop a neighborhood parking program to address parking overflow impacts from schools, businesses, parks and multi-family housing
- Revise design standards as necessary to comply with ADA requirements.
- Continue to involve the public in transportation planning and decisions.
- Develop "transit friendly" design guidelines for project developers to follow.
- Develop policies, criteria and a process to determine when, and under what conditions, private roads and privately-maintained roads in public rights of way ~~or private roads~~ should be accepted for public maintenance and improvement.
- Implement the City's adopted Commute Trip Reduction program.

Financial Strategies

- ~~Implement~~ Secure funding to implement the adopted ~~1999-2004 Capital~~ six-year Transportation Improvement Program.
- Actively pursue outside funding sources to pay for adopted

transportation improvements and programs.

Transit Planning

- ~~Work with Metro to test the feasibility of replacement or augmentation of current to reinstate and improve fixed route transit services with demand response services.~~
- ~~Work with Metro, King County and other jurisdictions to explore alternative methods of providing service to establish more reasonable mode split goals for Mercer Island consistent with regional requirements, residents, such as developing a demand responsive service throughout the island.~~
- Work with Metro and ~~the Regional Transit Authority~~ Sound Transit to site, design and construct high capacity transit and parking facilities consistent with Land Use and Transportation Policies contained in the Comprehensive Plan.

~~Mercer Island supports the long range transit service policies and concepts included in the King County Department of Metropolitan Services (Metro) Long Range Policy Framework for Public Transportation (October 1993). Particular attention should be given to implementing the Dial-a-Ride transit (DART) portion of the concept for Mercer Island. Some of the considerations to be assessed in evaluating potential demand response service include:~~

- ~~**Density:** The area should have relatively low density so that the service is not overwhelmed with excess demand.~~
- ~~**Service Focal Point:** If a service focal point or anchor is available it can facilitate the transfer process for travelers with different destinations, especially if it is served by regular fixed route service.~~
- ~~**Productivity:** As a general guideline, demand response service should be considered as a replacement for fixed route service that is operating with less than five passengers per service hour.~~
- ~~**Potential for Private Contracting:** Due to relatively low productivity levels, demand response service can require high levels of subsidy per passenger. Private contractors may be able to provide the service for lower costs due to greater flexibility with labor.~~

~~In looking at Mercer Island, general purpose demand response service (as opposed to service restricted to the disabled) could be practical in the northern portion of the Island. Service in this area is provided by Metro Transit. There is currently a service focal point at the Park and Ride lot which is served by 10 other routes. Several of these routes have coordinated schedules. Thus, a demand response service with a fixed departure time from the park and ride lot would provide convenient transfers to multiple destinations.~~

VII. CONSISTENCY WITH OTHER PLANS & REQUIREMENTS

The Growth Management Act of 1990 requires that local comprehensive plans be consistent with plans of adjacent jurisdictions and regional, state and federal plans. Further, there are several other major statutory requirements with which Mercer Island transportation plans must comply. This section briefly discusses the relationship between this Transportation Element and other plans and requirements.

Other Plans

The Transportation Element of the Mercer Island Comprehensive Plan is fully consistent with the following plans:

Mercer Island Comprehensive Plan — The Transportation Element is based on the needs of, and is fully consistent with the Land Use Element.

King County ~~Countywide and Multicounty~~ Planning Policies — Mercer Island's proposed transportation policies are fully consistent with PSRC's multi-county and King County's countywide ~~and multi-county~~ planning policies. ~~However, the mode split goals developed for Mercer Island by the PSRC under county Policy T-10 appear to be too optimistic and require further refinement.~~

Vision 2040— Vision 2040 builds upon Vision 2020 and Destination 2030— ~~Vision 2020 and Destination 2030 to~~ articulate a coordinated long-range land use and transportation growth strategy for the Puget Sound region. Mercer

Island Comprehensive Plan's Land Use ~~Element and~~ Transportation Elements supports this strategy by accommodating new growth ~~through redevelopment of~~ in the Town Center which is near existing and proposed future transportation improvements ~~by concentrating in~~ along the I-90 corridor.

Metropolitan Transportation Plan — The Puget Sound Regional Council (PSRC) ~~is currently developing a Metropolitan~~ has updated its long-term vision of the future transportation system through the Vision 2040 and Transportation Plan (MTP) to implement Vision 2020. Since the MTP is being development in accord with Vision 2020/2040 plans. The Transportation Element ~~will be~~ is consistent with ~~the MTP~~ these plans.

Regional Transit System Plan — ~~The Sound Transit's~~ Regional Transit System Plan (RTP) lays out the Puget Sound region's plans for constructing and operating a regional high capacity transit system. Both the Land Use and Transportation Elements directly support regional transit service and facilities, and are consistent with the RTP.

METRO Long Range Plan For Public Transportation — ~~The King County Department of Metropolitan Services (Metro) has prepared a long range public transportation plan for King County that details service concepts for local areas within the county. Metro's service concept for Mercer Island is~~

~~generally consistent with the Transportation Element. However, Mercer Island's plan stresses demand response service more than Metro's plan does. This issue can be worked out between the jurisdictions as service changes are considered and implemented.~~

Plan Requirements

The Transportation Element of the Mercer Island Comprehensive Plan meets the following regulations and requirements:

Growth Management Act — The Growth Management Act, enacted by the Washington State Legislature in 1990 and amended in 1991, requires urbanized counties and cities in Washington to plan for orderly growth for 20 years into the future. Mercer Island's Transportation Element conforms to all of the components of a comprehensive transportation element as defined by GMA.

Commute Trip Reduction — In 1991, the Washington State Legislature enacted the Commute Trip Reduction Law which requires implementation of transportation demand management (TDM) programs to reduce work trips. In response to these requirements, Mercer Island has developed its own CTR program to reduce work trips by City employees. There are two other CTR-affected employers on the island; both have developed CTR programs.

Air Quality Conformity — Amendments to the federal Clean Air Act made in 1990 require Washington and other

states to develop a State Implementation Plan (SIP) which will reduce ozone and carbon monoxide air pollutants so that national standards may be attained. The Central Puget Sound area, including King County and Mercer Island, ~~are~~ currently ~~designated as "non-attainment" areas~~ meets the federal standards for ~~both~~ ozone and carbon monoxide. The ~~plans, programs and projects included in this Transportation Element are consistent with the requirements of the Central Puget Sound SIPs for ozone and~~ area is designated as a carbon monoxide maintenance area, meaning the area has met federal standards, but is required to develop a maintenance plan to reduce mobile sources of pollution.

Utilities



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UTILITIES ELEMENT

I. INTRODUCTION

The Growth Management Act requires this comprehensive plan to include the general location and capacity of all existing and proposed utilities on Mercer Island (RCW 36.70A.070). The following element provides that information for water, sewer, stormwater, solid waste, electricity, natural gas and telecommunications.

One main goal of the utilities element is to describe how the policies contained in other elements of this comprehensive plan and various other City plans will be implemented through utility policies and regulations.

The Land Use element of this plan allows limited development that will not have a significant impact on utilities over the next 20 years. For that reason, many of the policies in this element go beyond the basic GMA requirements and focus on issues related to reliability rather than capacity.

Policies - All Utilities

- 1.1 Rates and fees for all City-operated utilities shall be structured with the goal of recovering all costs, including overhead, related to the extension of services and the operation and maintenance of those utilities.
- 1.2 The City shall encourage, where feasible, the co-location of public and private utility distribution facilities in shared trenches and assist with the coordination of construction to minimize construction-related disruptions and reduce the cost of utility delivery.
- 1.3 The City shall encourage economically feasible diversity among the energy sources available on Mercer Island, with the goal of

avoiding over-reliance on any single energy source.

- 1.4 The City shall support efficient, cost effective and reliable utility service by ensuring that land is available for the location of utility facilities, including within transportation corridors.
- 1.5 The City shall maintain effective working relationships with all utility providers to ensure the best possible provision of services

II. WATER UTILITY

Mercer Island obtains its water from the Seattle Public Utilities (SPU). The City of Mercer Island purchases and distributes most of the water consumed on the Island under a new long-term contract with SPU that guarantees an adequate supply through the year 2062~~1~~. ~~The City's new contract with SPU was negotiated and signed in 2003.~~ In 1997, the City assumed the Mercer Crest Water Association that for many years had been an independent purveyor of SPU. It served a largely residential base with customers residing in the neighborhoods south of the Shorewood Apartments, and east and west of the Mercer Island High School campus areas of the island. The Mercer Crest system was intertwined and consolidated into the City utility during 1998-99. One small independent water association, Shorewood, remains as a direct service customer of SPU. The City is one of ~~21~~⁵ wholesale customers (Cascade Water Alliance and 20 neighboring cities and water districts)~~(purveyors)~~ of SPU.

The bulk of the Island's water supply originates in the Cedar River watershed and is delivered through the Cedar Eastside supply line to Mercer Island's 30-inch supply line. Mercer Island also is served periodically through the South Fork of the Tolt River supply system.

Water is distributed by the City through ~~86.8~~¹¹⁵ miles of mains (4-, 6-, and 8-inch) and transmission lines (10- to 30-inch) constructed, operated and maintained by the City. The City's distribution system also includes two 4-million-gallon storage reservoirs, two pump stations, and ~~86~~⁷⁸ pressure-reducing valve stations.

Minimizing supply interruptions during disasters is a longstanding priority in both planning efforts and the City's capital improvement program. The City completed an Emergency Supply Line project in 1998-99, ~~which added a parallel 16-inch water main from the East Channel Bridge to the reservoirs.~~ In 2001 following the Nisqually Earthquake, SPU strengthened sections of the 16-inch pipeline.

The year before the earthquake, the City completed extensive seismic improvements to its two storage reservoirs. As a result, neither was damaged in the earthquake. The improvements were funded through a hazard mitigation grant from the Federal Emergency Management Agency.

The city also constructed an emergency well, which was designed and permitted to provide 5 gallons per day for each person on the island for a period of 7 to 90 days.

In 2014, the city took significant action to ensure high water quality standards after two boil water advisory alerts, including additional expanded collection of water quality samples, injection of additional chlorine, research into potential equipment upgrades and improvements, and a thorough review of the City's cross-contamination program, including the best means of overseeing the registration of certification of backflow prevention devices.

In ~~2004~~²⁰¹³, the City's total number of water customers was ~~7,400~~^{7,376}.

Future Needs

Both the water supply available to the City and the City's distribution system are adequate to serve growth projected for Mercer Island. From ~~1999-2004~~ 2007 to 2013, the number of water customers has increased by 3187. New development, as anticipated by the land-use element of this plan, will increase the City's total number of water customers by ~~no more than 1,437 by 2022~~ approximately 500, by 2035.

In 2004, the City completed a Seismic Vulnerability Assessment that examined how a major seismic event might impact the 30-inch and 16-inch SPU lines that supply water to the island. The assessment predicted that the Island's water supply would likely be disrupted in a disaster such as a major earthquake. In response to the finding, City officials initiated a Water Supply Alternatives study before applying for a source permit for an emergency well, the first such permit to be issued in Washington State. Construction of the emergency well was completed in spring of 2010. Recommendations from the Assessment were being evaluated by the staff and the City's Utility Board at the time of this plan update. The recommendations include creating additional storage on the island, which could be done either through a new storage reservoir or wells.

The City does not plan to implement an aquifer protection program because there are no known aquifers in the vicinity of Mercer Island that are utilized by the City or any other water supplier.

Although aquifer protection is not a factor for future needs, species protection may be. On March 24, 1999 the National Marine

Fisheries Service issued a final determination and listed the Puget Sound Chinook salmon as threatened or endangered under the Endangered Species Act (ESA). Like all communities in the Puget Sound region, Mercer Island will need to address a number of land use, capital improvement and development process issues that affect salmon habitat. However, Mercer Island may be better positioned to respond to the ESA listing than some due to the island's small, unique environment with a lack of continuous rivers or streams, minimal amounts of vacant land available for new development, progressive critical areas regulations and previous attention to stormwater detention.

Policies - Water Utility

- 2.1 The City shall continue to obtain a cost-effective and reliable water supply that meets all the needs of Mercer Island, including domestic and commercial use, fire-flow protection, emergencies, and all future development consistent with the land-use element of this plan.
- 2.2 The City shall continue to upgrade and maintain its distribution and storage system as necessary to maximize the useful life of the system. All system improvements shall be carried out in accordance with the City's Comprehensive Water System Plan and Capital Improvement Program.
- 2.3 The City shall continue to work cooperatively with the Seattle Public

Utilities and its other purveyors on all issues of mutual concern.

2.4 The City shall continue to obtain Mercer Island's water supply from a supply source that fully complies with the Safe Drinking Water Act. For this reason, future development on Mercer Island will not affect the quality of the Island's potable water.

2.5 The City shall comply with all water quality testing required of the operators of water distribution systems under the Safe Drinking Water Act.

2.6 The City shall adopt an action plan to ensure Mercer Island's full participation in regional efforts to recover and restore Puget Sound Chinook salmon.

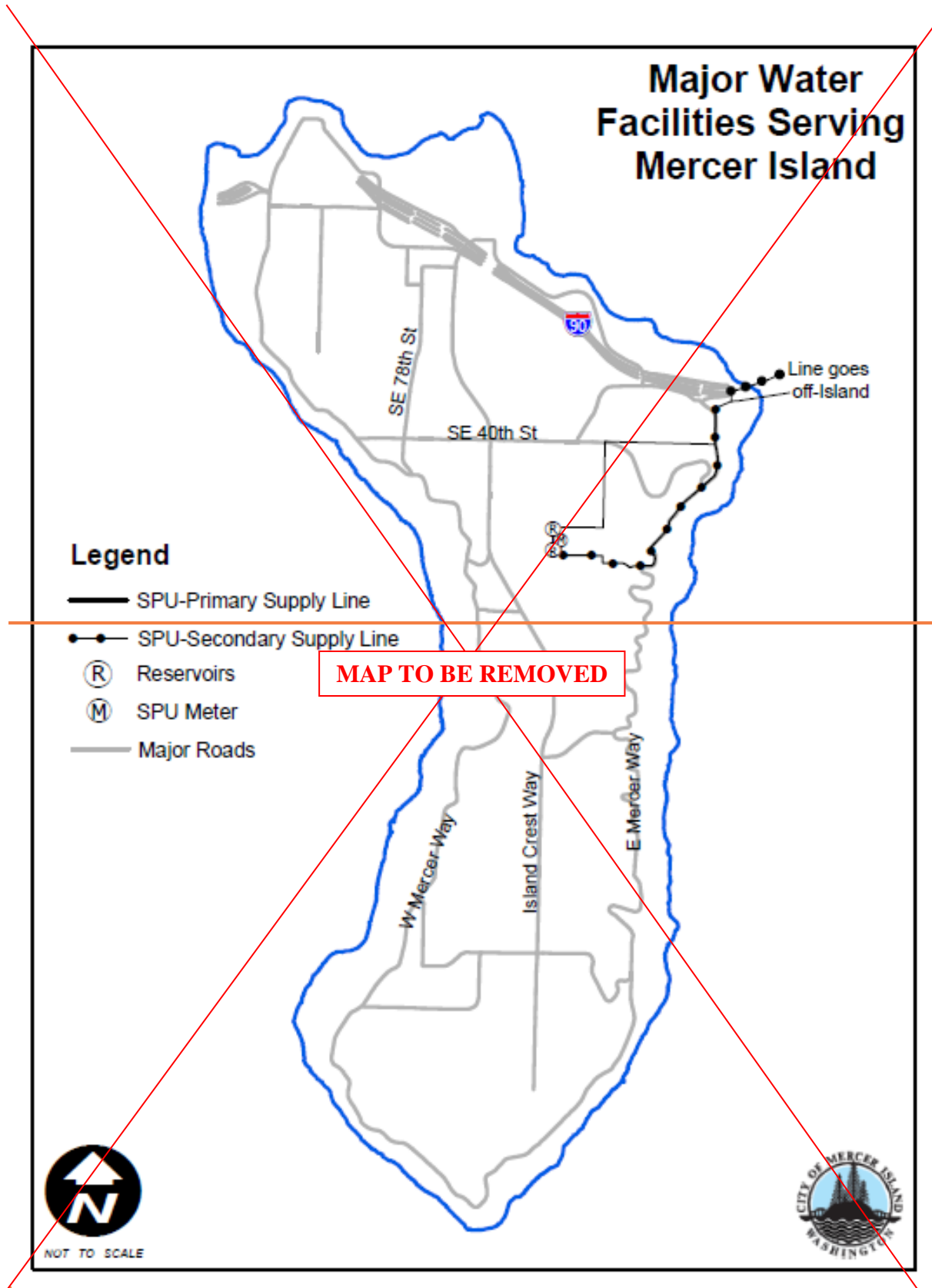
~~2.7 The City will continue to prepare the Consumer Confidence Report (CCR) which provides Mercer Island water customers with information about the source, treatment, and distribution of their drinking water. This CCR will be updated and distributed annually in accordance with the Safe Drinking Water Act, and will also be available on the City's website.~~

2.8 The City shall aggressively promote and support water conservation on Mercer Island and shall participate in regional water conservation activities. ~~The goal of the City's efforts shall be a significant and~~

~~lasting reduction in Mercer Island's peak water consumption. In 1999 the City decided to participate in SPU's 1% Water Conservation Initiative, and continues to receive information and assistance in reducing water consumption in City facilities and in the community.~~

~~2.9 The City shall consider requests for consolidation with the Shorewood water association, but only if it can be demonstrated that such action would benefit all water customers and would not have a significant impact on water rates.~~

Figure 1 - Major Water Facilities



III. SEWER UTILITY

The City owns, operates and maintains the sewage collection system that serves all of Mercer Island. The Island's sewage is delivered to a treatment plant at Renton operated by the Metropolitan King County Government (formerly Municipality of Metropolitan Seattle). At the Renton plant, the sewage receives primary and secondary treatment.

The City's system includes a total of ~~18~~ 17 pump stations, 2 flushing pump stations, and more than ~~98~~ 113 miles of gravity and pressure pipelines, ranging in diameter from 3 to 24 inches which ultimately flow in King County Department of Natural Resources (KCDNR) facilities for treatment and disposal at the South Treatment Plant in Renton.

As of ~~2004~~ 2014, a total of ~~7,227~~ 7,292 residential and commercial customers were hooked up to the City sewer system.

Future Needs

New development on Mercer Island, as anticipated in the land-use element of this plan, is not expected to add significantly to the wastewater generated daily on Mercer Island. The number of customers hooked up to the sewer system has increased by ~~73~~ since 1999-149 since 2004 and is expected to increase ~~by no more than 1,437 by 2022~~, according to housing unit projections outlined in the 2002 King County Buildable Lands Report.

A General Sewer Plan was developed in February 2003 as an update to the 1994 Sewer System Comprehensive Plan. The General Sewer Plan identifies a variety of

needs that will be addressed during the next several years. These include replacing portions of the sewer lake line along the northwest shoreline, collection system improvements, pump station improvements, and replacement of the pump station telemetry system. A Sewer Lakeline Replacement feasibility study was completed in September 2002 and recommended replacement of a 9,000 foot segment of sewer lake line bordering the northwest shoreline of the island to replace the rapidly deteriorating sewer and increase pipeline capacity to eliminate impacts to Lake Washington from periodic sewage overflows caused by inadequate capacity and poor system function. ~~The preliminary design and environmental work was started in 2003 with construction anticipated to begin in 2006. The Lakeline Replacement Project will be the single largest sewer system capital project since the 1960's, when much of the sewer system was originally constructed. The replacement of the 9,000 foot segment was completed in 2010. The 2002 feasibility study also reported that the 9,000 foot segment was more critical than other sections, which were in acceptable condition. The city is scheduled for a feasibility project in 2020 to evaluate the condition of the remaining AC main located in Reach 4, and evaluate options for replacement. After the condition is assessed, a determination will be made on the schedule for replacement.~~

In 2002, Mercer Island successfully competed with other local cities for a share of \$9 million allocated by King County to investigate and remove groundwater and stormwater commonly known as inflow/infiltration (I/I) from local sewers.

The \$900,000 pilot project on Mercer Island lined 16,000 feet of sewer in the West Seattle neighborhood (basin 54) in 2003. Post construction flow monitoring and computer modeling showed a 37 percent decrease in peak I/I flows.

The City must serve the sewer needs of its planned growth, much of which will be focused in the Town Center. While most of the Town Center’s sewer system is adequate to meet future demand, some pipelines may exceed their capacity during extreme storms and will require monitoring to determine if larger diameter pipelines are warranted. The City will use substantive authority under the State Environmental Policy Act (SEPA) to require mitigation for proposed projects that generate flows that exceed sewer system capacity.

All future improvements to the sewer system will be addressed through a capital improvements plan developed in conjunction with the updated General Sewer Plan and/or CIP budget.

3.3 Any septic system serving a site being re-developed must be decommissioned according to county and state regulations, and the site must be connected to the sewer system.

3.4 The City shall actively work with regional and adjoining local jurisdictions to manage, regulate and maintain the regional sewer system.

3.5 The City shall take whatever steps are economically feasible to prevent overflows.

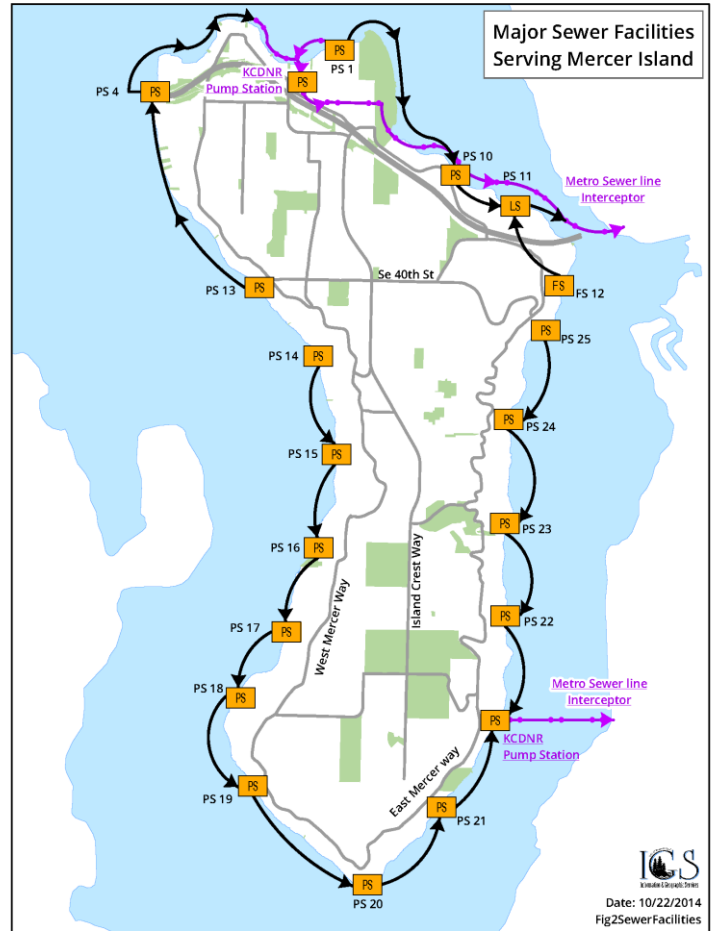
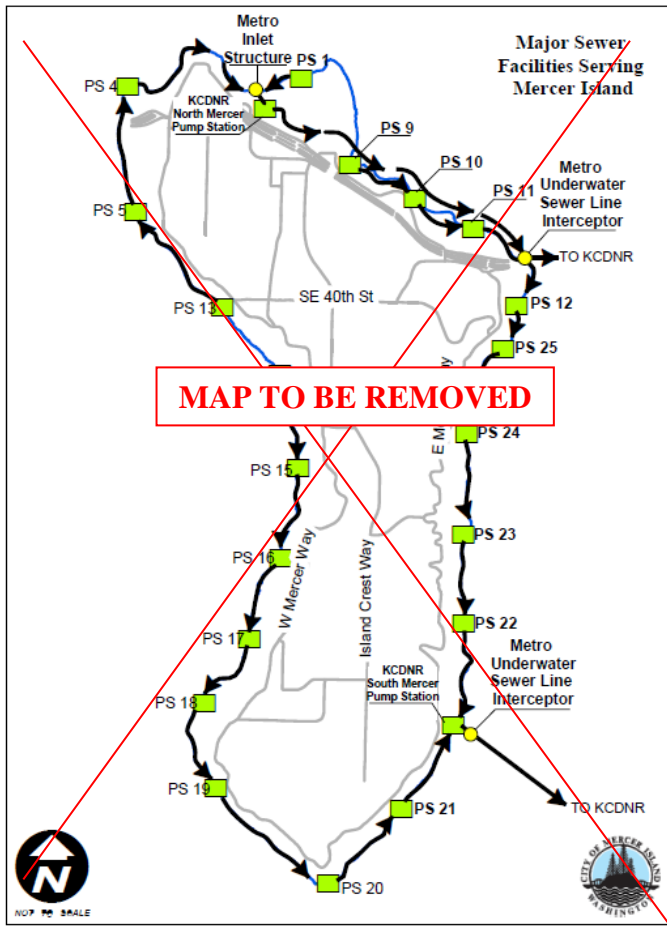
3.6 The City shall design and implement programs to reduce infiltration/inflow wherever these programs can be shown to significantly increase the capacity of the sewer system at a lower cost than other types of capacity improvements.

Policies - Sewer Utility

3.1 The City shall require that all new development be connected to the sewer system.

3.2 Existing single-family homes with septic systems shall be allowed to continue using these systems so long as there are no health or environmental problems. If health or environmental problems occur with these systems, the homeowners shall be required to connect to the sewer system.

Figure 2 - Major Sewer Facilities



Current Map (to be replaced)

Updated Map

IV. STORMWATER

Mercer Island's stormwater system serves a complex network of ~~54~~ 88 drainage basins. The system relies heavily on "natural" conveyances. There are more than ~~22~~ 15 miles of ravine watercourses that carry stormwater, and ~~30~~ 26 miles of open drainage ditches. ~~All but 5~~ 40 percent of the ravine watercourses are privately owned, while roughly ~~75~~ 70 percent of the drainage ditches are on public property.

The artificial components of the system include ~~54~~ 58 miles of public storm drains, ~~10~~ 59 miles of private storm drains, ~~2,664 public catch basins and 537 private and more than 4,500~~ catch basins.

The public portion of the system is maintained by the City's Maintenance Department as part of the Stormwater Utility, with funding generated through a Stormwater Utility rate itemized on bimonthly City utility bills.

Mercer Island has no known locations where stormwater recharges an aquifer or feeds any other source used for drinking water.

Future Needs

In May 1993, the City began preparing to make significant changes in the way it manages stormwater on Mercer Island. The catalyst for this effort is new regional, state and federal requirements that must be met by local governments.

During the second half of 1993, two of Mercer Island's ~~54~~ drainage basins were studied in detail during a process that actively involved interested basin residents. The studies were designed to gauge public

perception of drainage and related water-quality problems, and to evaluate the effectiveness of various education tools.

The information gained from these studies, along with additional work scheduled for mid-1994, was used to develop an Island-wide program of system improvements and enhancements and a financing structure for the program.

In the fall of 1995, the City Council passed two ordinances (95C-118 and 95C-127) that created the legal and financial framework of the Storm and Surface Water Utility and provided the tools to begin achieving the goals of "creating a comprehensive program that integrates the Island's private, public and natural and manmade systems into an effective network for control and, where possible, prevention of runoff quantity and quality problems."

By the end of 1998, the Storm and Surface Water Utility had been fully launched with a full range of contemporary utility issues and needs. Major capital projects ~~have been planned for the upcoming six years, and along with~~ operating and maintenance standards, have been established to meet customer service expectations and regulatory compliance.

The City is in ~~full~~ compliance with all applicable federal and state stormwater requirements, Western Washington Phase II Municipal (NPDES) Permit issued by the Washington State Dept. of Ecology. In 20~~04~~-05, the ~~utility~~ city will developed a Comprehensive Basin Review that examined the City's storm and surface water programs, focusing on capital needs, capital priorities,

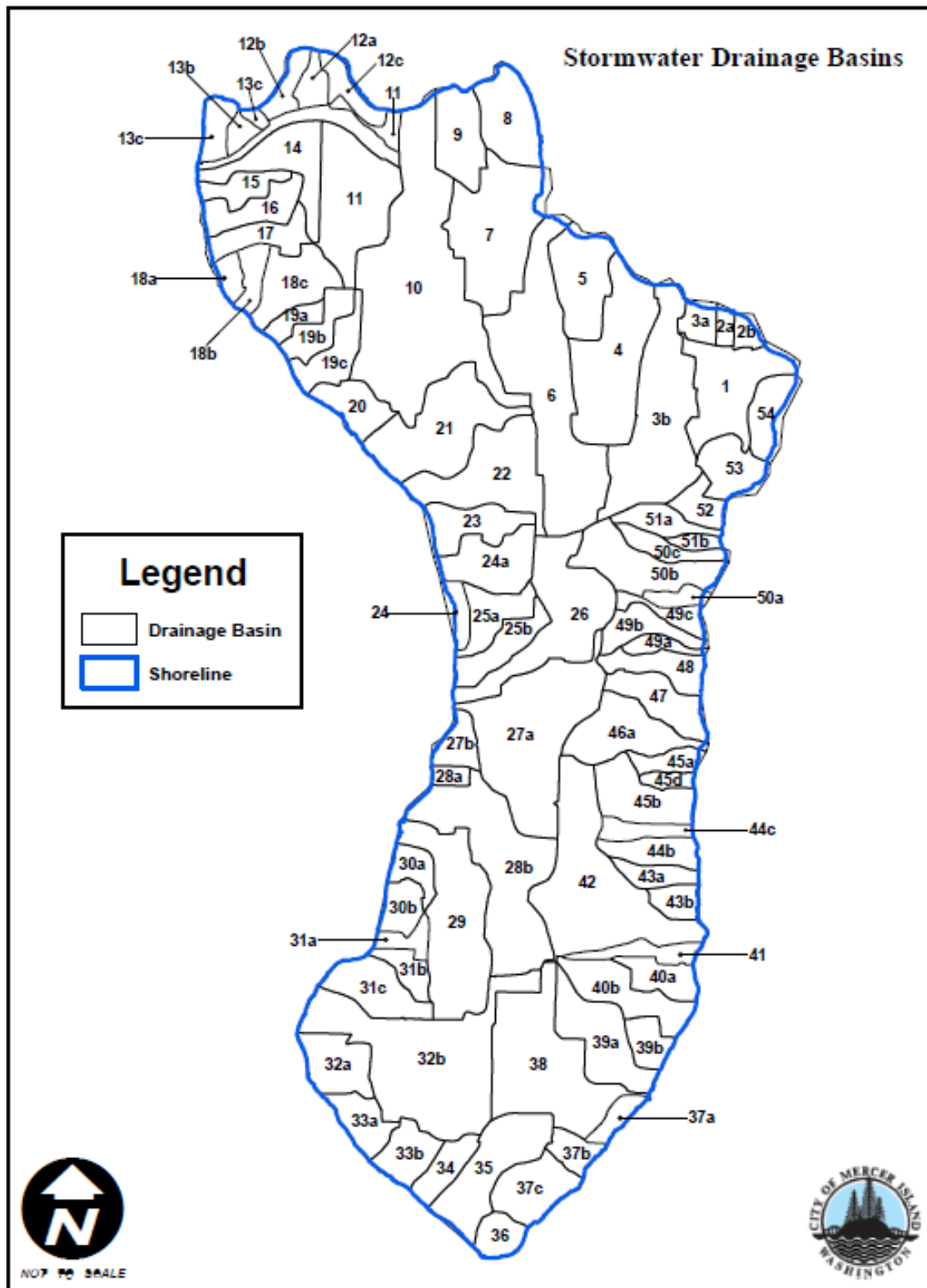
~~and utility policies. The capital priorities are updated regularly in conjunction with the capital budget process to reflect changing conditions, new regulations (NPDES) and ratepayer expectations. Given that~~ Mercer Island is urban/residential in nature and all of the Island's stormwater eventually ends up in Lake Washington, ~~the~~The prevention of nonpoint pollution ~~will be~~ is a major priority.

be based on standards developed by the state Department of Ecology and shall be consistent with the policies in the Land-Use Element of this plan and the goals and policies of the City's Development Services Group.

Stormwater Policies

- 4.1 The City shall continue to implement programs and projects designed to meet the goals and requirements of the Puget Sound Water Quality Management Plan.
- 4.2 The City shall actively promote and support education efforts focusing on all facets of stormwater management.
- 4.3 The City shall maintain and enforce land-use plans and ordinances requiring stormwater controls for new development and re-development. The ordinances shall

Figure 3 - Stormwater Drainage Basins



V. SOLID WASTE

The majority of solid waste services on Mercer Island are provided through a private hauler licensed by the City. The hauler currently serving Mercer Island is ~~Eastside Disposal Republic Services, a division of Rabanco~~. Eastside collects residential and commercial garbage, and also collects residential recyclables and residential yard waste. Businesses that recycle select their own haulers. In ~~2004, Eastside~~ 2014, Republic Services was serving a total of ~~6,580~~ 6,748 residential and commercial customers on Mercer Island.

A new contract for collection of solid waste was approved by the City Council for ~~1999 to 2009~~ 2009 to 2016. This contract replaces the former license agreement dating back to ~~1981~~ 1999. ~~The term of the new contract is 10 years.~~ Rates are adjusted July 1 each year based on the Seattle-area Consumer Price Index (CPI) ~~and apply only to operating costs affected by inflation. Pass-through costs such as tipping fees charged by King County are allowed after 30 days notice to customers, but any increase exceeding the rate of inflation requires permission from the City. Revenue from the sale of recyclables collected at the curb is returned to customers in the form of a rate credit.~~ The cost of providing solid waste services on Mercer Island is covered entirely through the rates charged by haulers.

~~Eastside Disposal Republic Services~~ transports garbage from Mercer Island to ~~the Factoria Transfer Station, which is operated by the King County Solid Waste Division, for disposal in~~ the Cedar Hills Regional Landfill. Recyclables are

transported to the Rabanco processing facility in Seattle, and yard waste is taken to Cedar Grove Composting near Issaquah.

~~Some Mercer Island households take all or a portion of their recyclables to a drop-off facility at Mercerdale Park operated by the Mercer Island School District. These recyclables are sold to a variety of processors. There are no other fixed solid-waste facilities on Mercer Island.~~

Future Needs

In 1988, Mercer Island entered into an interlocal agreement that recognizes King County as its solid waste planning authority (RCW 70.95). The Mercer Island City Council adopted the first King County Comprehensive Solid Waste Management Plan in mid-1989, and in October 1993 the City Council adopted the updated 1992 edition of the Plan.

The King County's 2001 Comprehensive Solid Waste Management Plan established ~~new~~ countywide targets ~~which will hold per for~~ resident and ~~per~~ employee disposal rates ~~constant throughout the planning period~~. As of 2014, King county was working on an update of the Comprehensive Solid Waste Management Plan. As a plan participant, Mercer Island met the original King County goal of 35 percent waste reduction and recycling in 1992. By late 1993, Mercer Island was diverting nearly 50 percent of its waste stream. Subsequent goals called for reducing the waste stream 50 percent in 1995 and 65 percent by the year 2000. Mercer Island has consistently diverted an

average of ~~66%~~ 65% of its waste stream annually since 2000 to 2014.

Achieving these goals has helped lengthen the lifespan of the Cedar Hills Regional Landfill and avoid the need to find alternative disposal locations for Mercer Island's garbage.

The overall amount of waste generated on Mercer Island is not expected to increase significantly due to new development anticipated in the land-use element of this plan. However, the amount of recyclables and yard waste being diverted from Mercer Island's waste stream should continue increasing over the next few years. Private facilities (~~Rabanco~~ Republic Services and Cedar Grove Composting) have the capacity to absorb this increase. Any additional garbage produced due to growth will be collected through a private hauler licensed by the City.

~~The 2001 General Sewer Plan called for the replacement of the Factoria Transfer Station. The King County Solid Waste Division is currently working with local cities to develop a new plan for the transfer system and a subsequent plan for exporting the region's waste once the Cedar Hills Landfill reaches capacity and closes. A new system plan is expected to be completed by December 2005. To increase capacity, the existing Factoria Transfer Station began construction in late 2014.~~

The City's existing solid waste program of offering two special collection events per year is expected to remain adequate. These events, at which yard waste and hard-to-recycle materials are collected by private vendors, are designed to assist households in further reducing the waste stream.

The collection of household hazardous waste on Mercer Island is available once a year over a two-week period through the Household Hazardous Wastemobile, a program of the Seattle-King County Local Hazardous Waste Management Plan. Mercer Island households and businesses help fund the Plan through a surcharge on their garbage bills.

Solid Waste Policies

- 5.1 All new construction, with the exception of single-family homes, shall be required to provide adequate space for on-site storage and collection of recyclables pursuant to Ordinance A-99.
- 5.2 The City shall actively promote and support recycling, composting and waste reduction techniques among the single-family, multi-family and commercial sectors.
- 5.3 The City shall, whenever practical, provide convenient opportunities for residents to recycle appliances, tires, bulky yard debris and other hard-to-recycle materials.
- 5.4 The City shall actively promote and support the proper handling and disposal of hazardous waste produced by households and businesses. The use of alternate products that are less hazardous or produce less waste shall be encouraged.
- 5.5 City departments and facilities shall actively participate in waste reduction and recycling programs.

- 5.6 All hazardous waste generated by City departments and facilities shall be handled and disposed of in accordance with applicable county, state, regional and federal regulations.
- 5.7 The City shall actively enforce the Solid Waste Code and other ordinances and regulations that prohibit the illegal dumping of yard debris and other types of waste.
- 5.8 The City shall play an active role in regional solid waste planning, with the goal of promoting uniform regional approaches to solid waste management.
- 5.9 The City shall actively promote and support the recycling, re-use or composting of construction, demolition and land-clearing debris wherever feasible.

VI. ELECTRICITY

All of the electricity consumed on Mercer Island is provided by Puget Sound Energy (Puget) under a franchise agreement with the City of Mercer Island. ~~An new~~ agreement was approved in early 1994 that will run through the year 2014 is valid until a new agreement is reached. Puget's rates are set by the Washington Utilities and Transportation Commission (WUTC).

~~In 1997, the company formerly known as Puget Sound Power & Light merged with Washington Natural Gas to become an investor owned energy utility with the new name Puget Sound Energy (PSE).~~

In 1999, PSE had 9,169 customers on Mercer Island, compared to 8,971 in 1992. In 2004, PSE served 9,300 customers, and 9,562 customers in 2014.

~~The electricity consumed by those customers is imported from generation sites on the Columbia River, in Canada, and other locations both inside and outside PSE's service territory.~~

PSE builds, operates and maintains the electrical system serving Mercer Island. The system includes 6.2 miles of transmission lines (115 kV), three substations and two submarine cable termination stations.

Future Needs

The demand for electricity on Mercer Island is not expected to increase significantly during the period covered by this plan. In fact, the Island's total electricity consumption was 164,713,778 KWH in 1998. ~~In 2004, the electricity consumption~~

~~was 107,210,400/KWH or an average of 11,528/KWH per customer. In 2013, the total electricity consumed was 174,352,420/KWH, or an average of 18,234/KWH per customer.~~

~~The capacity of the PSE system on Mercer Island is adequate to handle growth anticipated in the land-use element of this plan. Still, improvements to the transmission system may occur that incorporate new technology, improve system reliability, or replace aged facilities. Localized improvements to the distribution system also are expected. Elsewhere in the PSE service territory that includes Mercer Island, population and employment forecasts indicate that new transmission lines and substations may have to be constructed to meet the peak winter demand for electricity. PSE's planning analysis has identified five alternative solutions to address transmission capacity deficiency identified in the "Eastside Needs Assessment Report – Transmission System King County" dated October 2013. Each of these five solutions fully satisfies the needs identified in the Eastside Needs Assessment Report and satisfies the solution longevity and constructability requirements established by PSE. These five solutions include two 230 kV transmission sources and three transformer sites, outside of Mercer Island. PSE states construction is anticipated to begin in 2017 and completed in 2018.~~

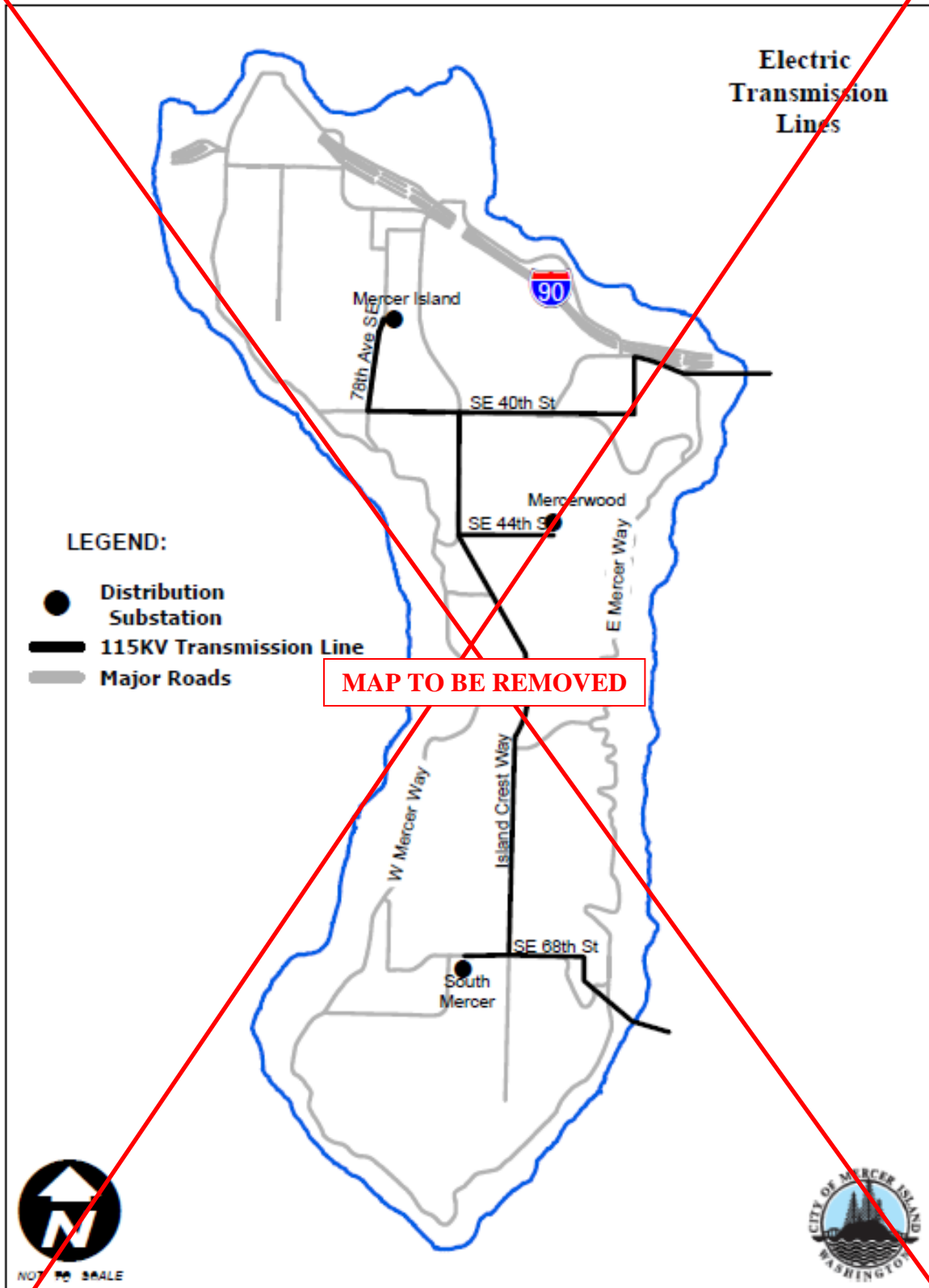
With one exception (see Policy 6.1), the only significant changes in PSE's Mercer Island facilities will come from efforts aimed at improving system reliability.

The issue of system reliability, which is the subject of a Memorandum of Agreement (MOA) between the City of Mercer Island and PSE, will require considerable attention over the next several years. The MOA ~~(see Utility Appendix)~~ sets policies for identifying locations where power lines should be relocated underground and describes strategies for funding undergrounding projects. There is an reoccurring issue of unreliability is unresolved and needs to be addressed.

Policies - Electricity

- 6.1 PSE, or the current provider, shall be encouraged to upgrade its facilities on Mercer Island where appropriate and incorporate technological changes when they are cost effective and otherwise consistent with the provider's public service obligations. Mercer Island will serve as a test area for projects involving new technologies when appropriate.
- 6.2 The City shall annually evaluate the reliability of electric service provided to Mercer Island. Measures of reliability shall include the total number of outages experienced, the duration of each outage, and the number of customers affected.
- 6.3 All new electric transmission and distribution facilities shall be installed in accordance with this plan, the City's zoning code, the Washington State Department of Labor and Industries electrical code and other applicable laws, and shall be consistent with rates and tariffs on file with the WUTC. The electricity provider will obtain the necessary permits for work in the public right-of-way, except in emergencies.
- 6.4 The City shall encourage the undergrounding of all existing and new electric distribution lines where feasible. As required by the City's franchise agreement with PSE (Section 5), any extension of existing distribution lines up to 15,000 volts shall be installed underground and should be arranged, provided, and accomplished in accordance with applicable schedules and tariffs on file with the WUTC.
- 6.5 The City shall encourage the undergrounding of electrical transmission lines where feasible, if and when such action is allowed by, and consistent with rates, regulations, and tariffs on file with the WUTC. Along with PSE, work cooperatively with the WUTC to establish rate schedules that equitably allocate the cost of undergrounding transmission lines among PSE customers.
- 6.6 The clearing of vegetation from power lines in rights-of-way shall balance the aesthetic standards of the community while enhancing improved system reliability.
- 6.7 The City shall support conservation programs undertaken by the electricity provider, and shall encourage the provider to inform residents about these programs.

Figure 4 - Electric Transmission Lines



VII. NATURAL GAS

Natural gas is provided to Mercer Island by Puget Sound Energy (PSE) under a franchise agreement with the City. The current ~~25-15~~ year agreement expires in the year ~~2010~~ 2028, with the City having the right to grant a five year extension. The delivery of natural gas is regulated by the Federal Energy Regulation Commission, the National Office of Pipeline Safety, and the Washington Utilities and Transportation Commission (WUTC). These agencies determine service standards, and safety and emergency provisions. The WUTC also sets rates.

Natural gas is delivered to Mercer Island via an interstate pipeline system that is owned and operated by Northwest Pipeline Corp. The pipeline connects to PSE's regional distribution network. Natural gas consumed in the Pacific Northwest comes from a variety of sources in the United States and Canada.

~~The number of natural gas customers on Mercer Island in 1999 was 6,028. For the year ending 1998, Mercer Island customers consumed 9,058,474 therms of natural gas. At the same time, average residential natural gas consumption on a nationwide basis decreased by 7.5% between 1994 and 1998 percent due to fuel efficient construction, weatherization and more efficient appliances. In 2004, PSE served approximately 6,450 customers. In total, Mercer Island customers consumed 5,527,650 therms of natural gas, or an average of 857 therms per customer.~~

Future Needs

While natural gas is not considered a utility that is essential to urban development, it is an important alternative energy source that helps reduce reliance on electricity.

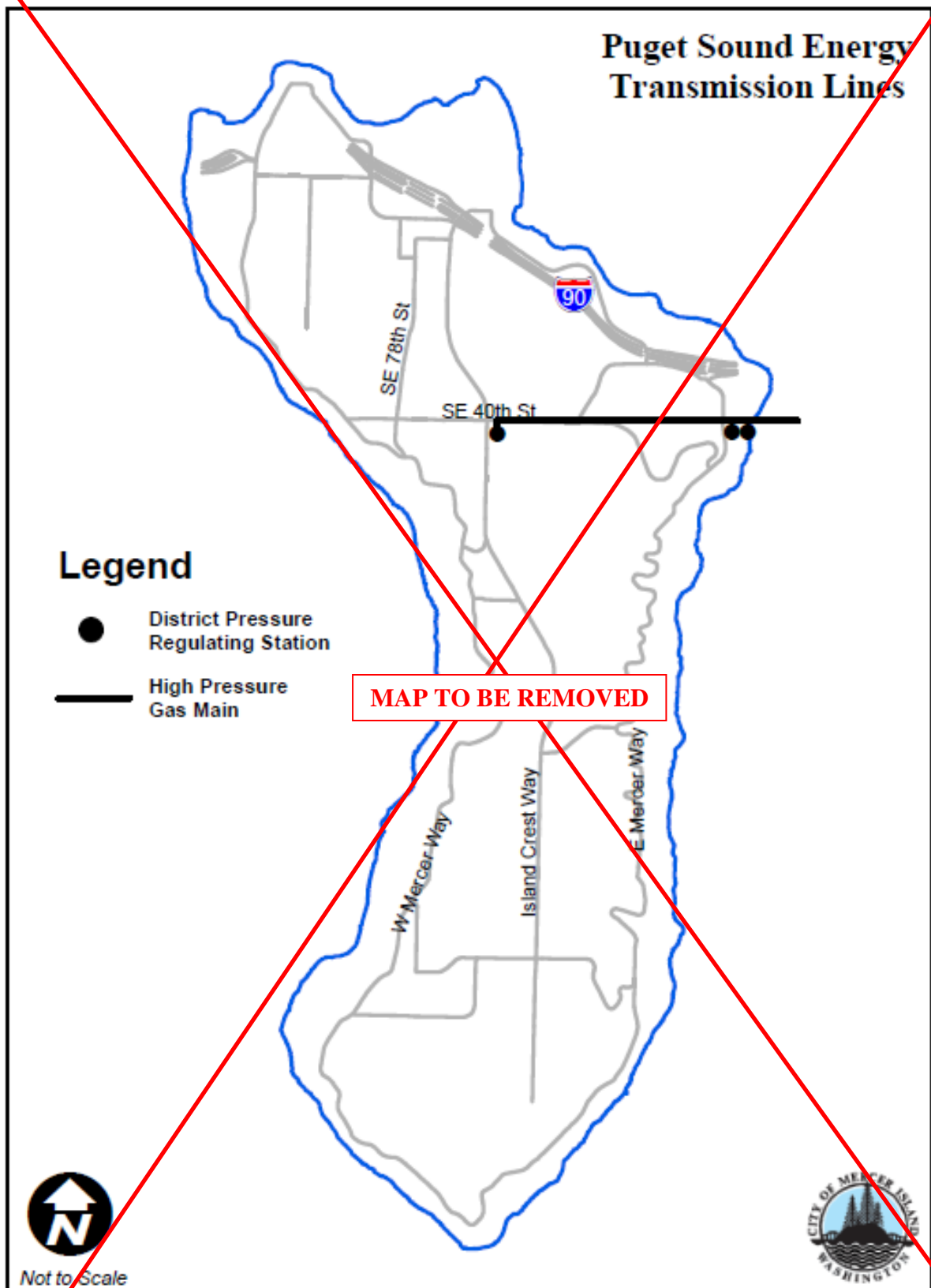
New natural gas lines on Mercer Island are installed on an as-requested basis. Natural gas lines are in place in virtually all developed areas of the Island, making natural gas available to most households.

No major new facilities would be required to accommodate this number of customers. New development, as anticipated in the land-use element of this plan, is not expected to significantly affect the number of gas customers on Mercer Island.

Policies - Natural Gas

- 7.1 The City shall promote and support conservation and emergency preparedness programs undertaken by PSE, or the current provider, and shall encourage PSE to inform residents about these programs.
- 7.2 The City shall encourage PSE or the current provider to make service available to any location on Mercer Island that wishes to use natural gas.

Figure 5 - Transmission Lines



VIII. TELECOMMUNICATIONS

Telecommunication utilities on Mercer Island encompass conventional wireline telephone, wireless communications (Cellular telephone, Personal Communication Services [PCS], and Specialized Mobile Radio [SMR]), and cable television. ~~The telecommunications industry underwent dramatic change, in part as a result of the passage of the Telecommunications Act of 1996.~~

On February 8, 1996, the President signed the Telecommunications Act of 1996 into law. Its overall intent is to develop competition in the telecommunications marketplace by allowing local telephone exchange carriers to provide long distance telephone service, as well as, cable television, audio services, video programming services, interactive telecommunications and Internet access. Similarly, long distance providers, cable operators and utilities are now permitted to offer local exchange telephone service. The legislation represents the first major rewrite of the Telecommunications Act of 1934.

The 1996 Act states that “No State or local statute or regulation or other State or local legal requirement, may prohibit or have the effect of prohibiting the ability of any entity to provide any interstate telecommunications service.” It further provides that the Federal Communications Commission (FCC) shall preempt the enforcement of any such statute, regulation or legal requirement. However, the bill protects the authority of local governments to “manage the public rights of way or to require fair and reasonable compensation from telecommunications providers, on a competitively neutral and

nondiscriminatory basis for use of public rights of way on a nondiscriminatory basis, if compensation required is publicly disclosed.” Thus, the City can still exercise control over the use of public rights of ways and generate revenues from the grant of access to such rights of way to telecommunications providers.

~~Qwest-CenturyLink~~ Communications provides local exchange telephone service for all of Mercer Island. In early 1999, (then) U S WEST was serving an increasing number of access lines (telephone numbers) in the Mercer Island exchange area. This growth is more fully discussed below in the “Future Needs” section. ~~The Qwest-CenturyLink and its predecessor have served communities in Washington for more than 100 years. Qwest-CenturyLink is regulated by the Washington Utilities and Transportation Commission and the Federal Communications Commission.~~

Mercer Island has seen its wireless communications service providers grow from two in 1995, to ~~seven in 1999~~ an excess of four in 2015. As of the ~~2004~~ 2014 there are 34 wireless communications facilities installed on the island. These installations are regulated by the FCC. ~~However, the City may still conduct design review and enforce zoning provisions for locating facilities. In recognition of the continued demand for suitable sites, a Wireless Telecommunications Ordinance was passed by the City Council in 1996.~~

Cellular communication involves transmitting and receiving radio signals on frequencies reserved for cellular use. Signals to and from cellular phones are

routed along a series of low-powered transmitting antennas located at "cell sites." Cellular communications are part of a broader category of services defined as Commercial Mobile Radio Service ("CMRS"). These include any mobile service that is (i) provided for profit; and (ii) makes interconnected service (i.e., enable customers to send and/or receive messages over the public switched telephone network) available to the public or to a substantial portion of the public. If this test is not met and the provider is not a "functional equivalent" of a commercial mobile radio provider, it is considered a private mobile radio service (PMRS) provider. This is the broadest term for wireless carriers, including cellular, PCS, SMR. Personal Communications System (PCS) is a loosely defined future ubiquitous telecommunications service that will allow "anytime, anywhere" voice and data communication with personal communications devices. Specialized Mobile Radio (SMR) is a private, business service using mobile radio telephones and base stations communicating via the public phone network.

Viacom Cablevision provided cable services for all of Mercer Island under a franchise agreement renewed in 1995. Viacom's franchise was granted for ten years. Later in 1995, TCI Cablevision of Washington was granted a transfer of ownership for the former Viacom cable system properties. All terms and conditions of Mercer Island's franchise were continued under the new TCI ownership. In December of 1998, TCI was acquired by AT&T for which a transfer of ownership was granted. The franchise continued to operate under the name of TCI of Washington until the third quarter of 1999. At that time the company name was

~~changed to AT&T. Cable operations were then sold to Comcast in 2003 and a subsequent transfer of ownership was granted.~~

In 1999, AT&T was serving approximately 6,318 customers on Mercer Island through 65.9 distribution miles of overhead lines and 26.2 distribution miles of underground lines. In 2004, Comcast served 6,700 cable customers and 3,530 high-speed internet customers. In 2014, Comcast served 8,900 customers.

The data services offered by Comcast originate at a primary transmitter site in Bellevue. Comcast's receiving apparatus on Mercer Island is contained in facilities located at 4320 – 88th Avenue SE.

The cable industry was deregulated by Congress in 1984, launching an almost 10-year period without local rate regulation. In November 1993, the City received certification from the FCC, pursuant to the 1992 Cable Act, to regulate basic cable service rates.

Future Needs

As a telecommunications utility, Qwest CenturyLink is required to provide services on demand. The industry has experienced a tremendous explosion in the demand for telecommunications services. Qwest CenturyLink customers, especially customers on Mercer Island, are routinely asking for multiple lines into their homes for ~~fax machines~~, computers, separate business lines and separate lines for children. The result of the huge growth in telecommunications services is that Qwest's telephone network is overloaded in some neighborhoods. The network was built over

~~the last 100 years, and during most of that time, the company planned for 1.5 lines into each home. Today customers are demanding two, three, four and even more lines into their homes.~~ On Mercer Island, U S WEST installed a large quantity of new lines during the mid-1990's. To reduce the number of delayed service orders, the company has been investing in its central office and outside cable facilities on Mercer Island to meet the escalating demands for service.

Comcast has sufficient capacity to provide cable communications services to any new development on Mercer Island. During its franchise, Viacom replaced the coaxial cable in its trunk-line system on Mercer Island with fiber-optic cable. This 1993 undertaking was a major step toward meeting customer demand for an expanded number of channels and improved reliability.

The FCC has mandated Enhanced-911 (E-911), which seeks to improve the effectiveness and reliability of wireless 911 service by requiring Automatic Location Identification (ALI). ALI will allow emergency dispatchers to know the precise location of cell phone users to within 50-100 meters. ~~Wireless carriers on Mercer Island will need to retrofit their wireless communication facilities to comply with this new federal requirement. In addition to the equipment that is required to support a network-based E-911 system, other hardware will need to be installed to transmit data from the sensor at the location site to the E-911 server. Full compliance is expected by December 31, 2005.~~

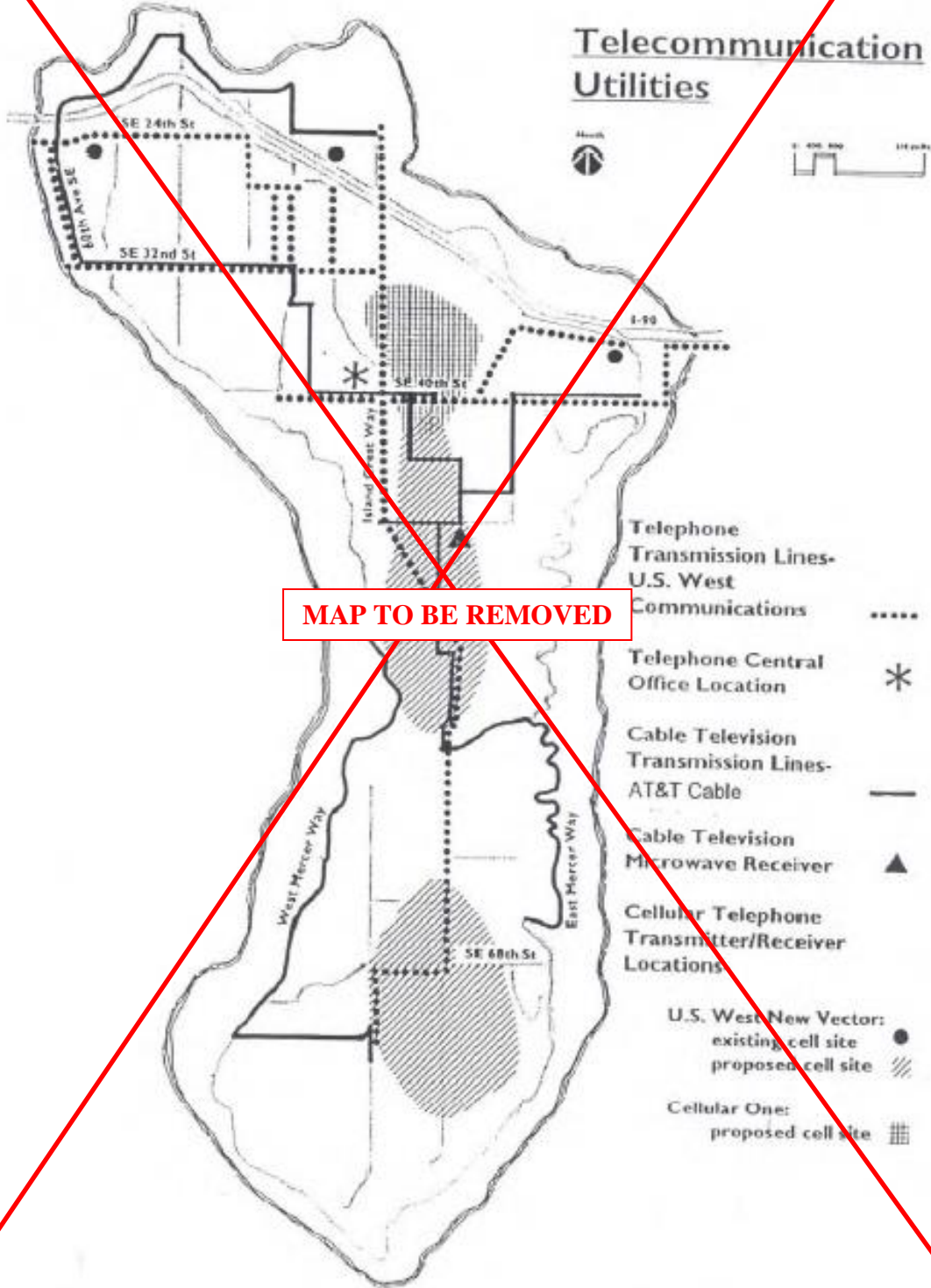
Telecommunications Policies

- 8.1 The City shall encourage the consolidation and shared use of utility and communication facilities where feasible. Examples of shared facilities include towers, poles, antennae, substation sites, cables, trenches and easements.
- 8.2 The City shall encourage the undergrounding of all existing and new communication lines where feasible and not a health or safety threat.
- 8.3 The City shall periodically review and revise development regulations for telecom facilities to ensure that a balance exists between the public benefit derived from the facilities and their compatibility with the surrounding environment.
- 8.4 The City shall work with the cable communications provider to select and implement pilot projects appropriate for Mercer Island that explore the newest advances in cable technology, including interactive cable and public access.
- 8.5 The City continues to participate in a consortium of Eastside jurisdictions to collectively analyze rate adjustments proposed by the cable communications provider.
- 8.6 The City may allow limited well designed Wireless Communication Facilities (WCF) in Clise Park and Island Crest Park, consistent with the

requirements and restrictions in the development code ~~and design review~~.

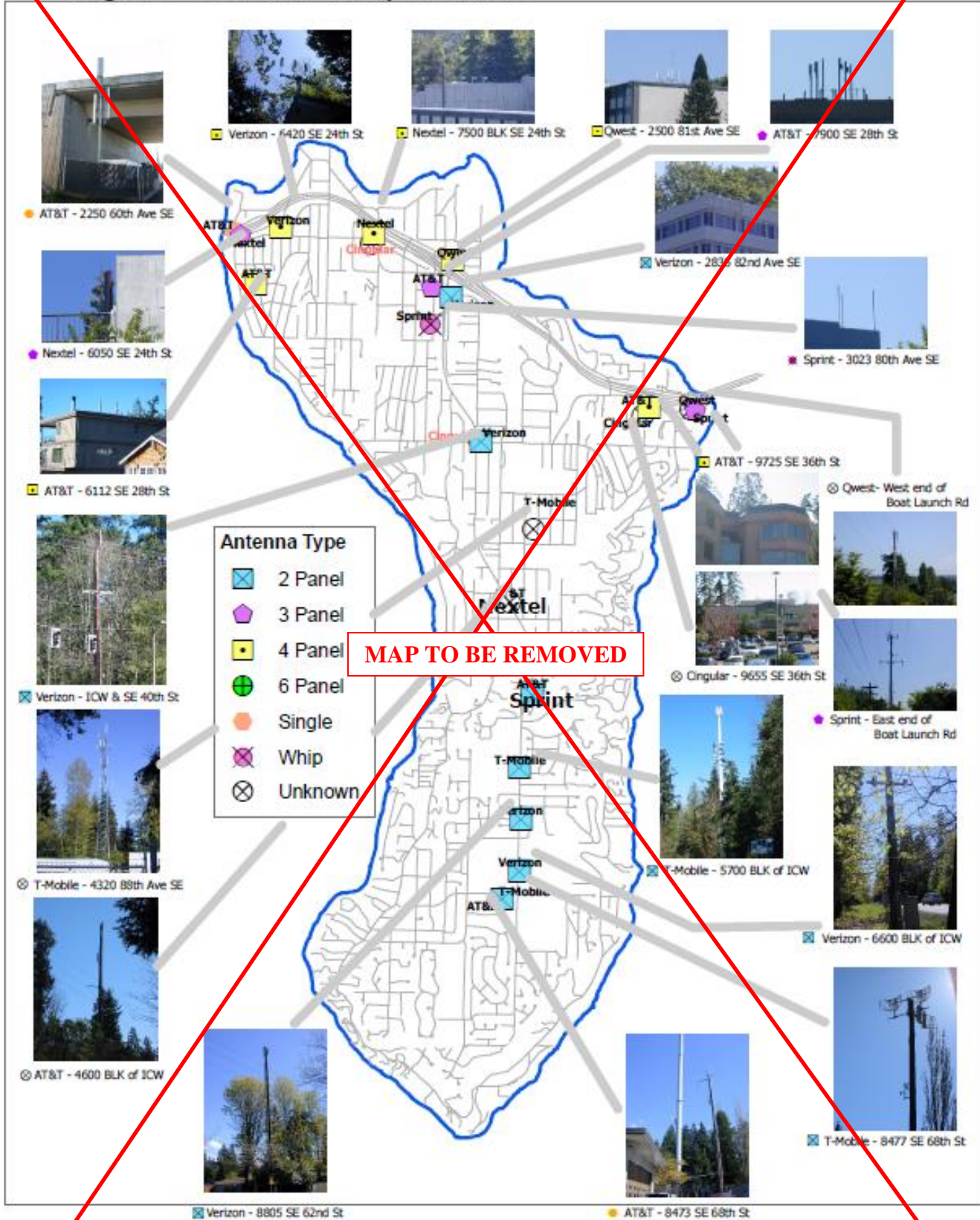
~~8-68.7~~ The City shall encourage and work with WCF providers to increase the battery life of large cell sites.

Figure 6 - Telecommunication Utilities



MAP TO BE REMOVED

Figure 7 - Wireless Facility Locations

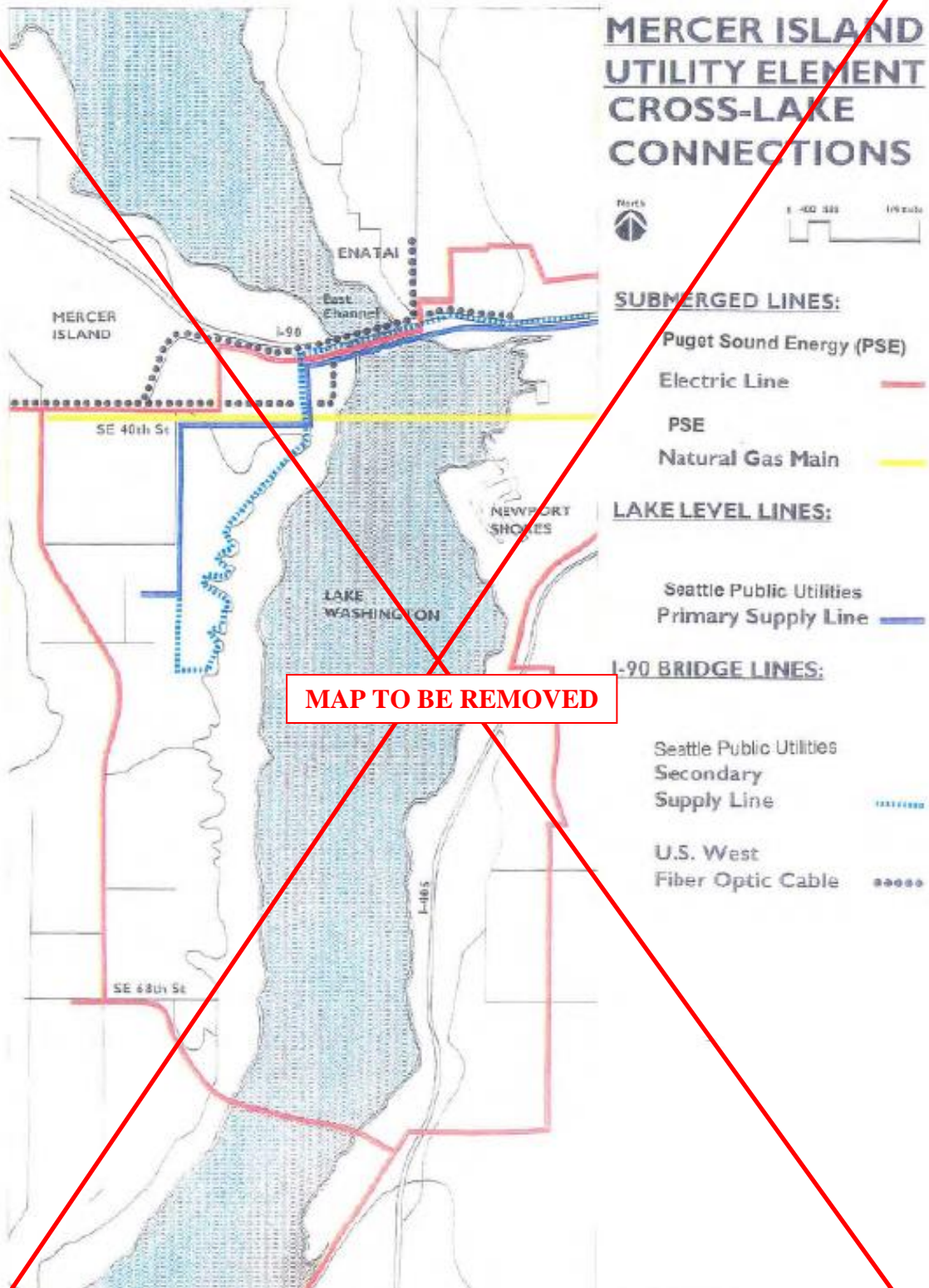


Map created Sept 9, 2004
GIS@City of Mercer Island

Utilities - 25





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Figure 8 - Cross-Lake Connections







MERCER ISLAND UTILITY ELEMENT LEGEND



SEWER UTILITY

- Mercer Island Pump Station 
- Sewer Line Interceptor 
- Inlet Structure 
- Mercer Island Lake Line 



WATER UTILITY

- Seattle Public Utilities
Primary Supply Line 
- Seattle Public Utilities Meter 
- Mercer Island
Reservoirs-
2 @ 4 million gallon
capacity each 
- Seattle Public Utilities
Secondary Supply Line 

GAS UTILITY

- High Pressure Gas Main 
- District Pressure
Regulating Station 

ELECTRIC UTILITY

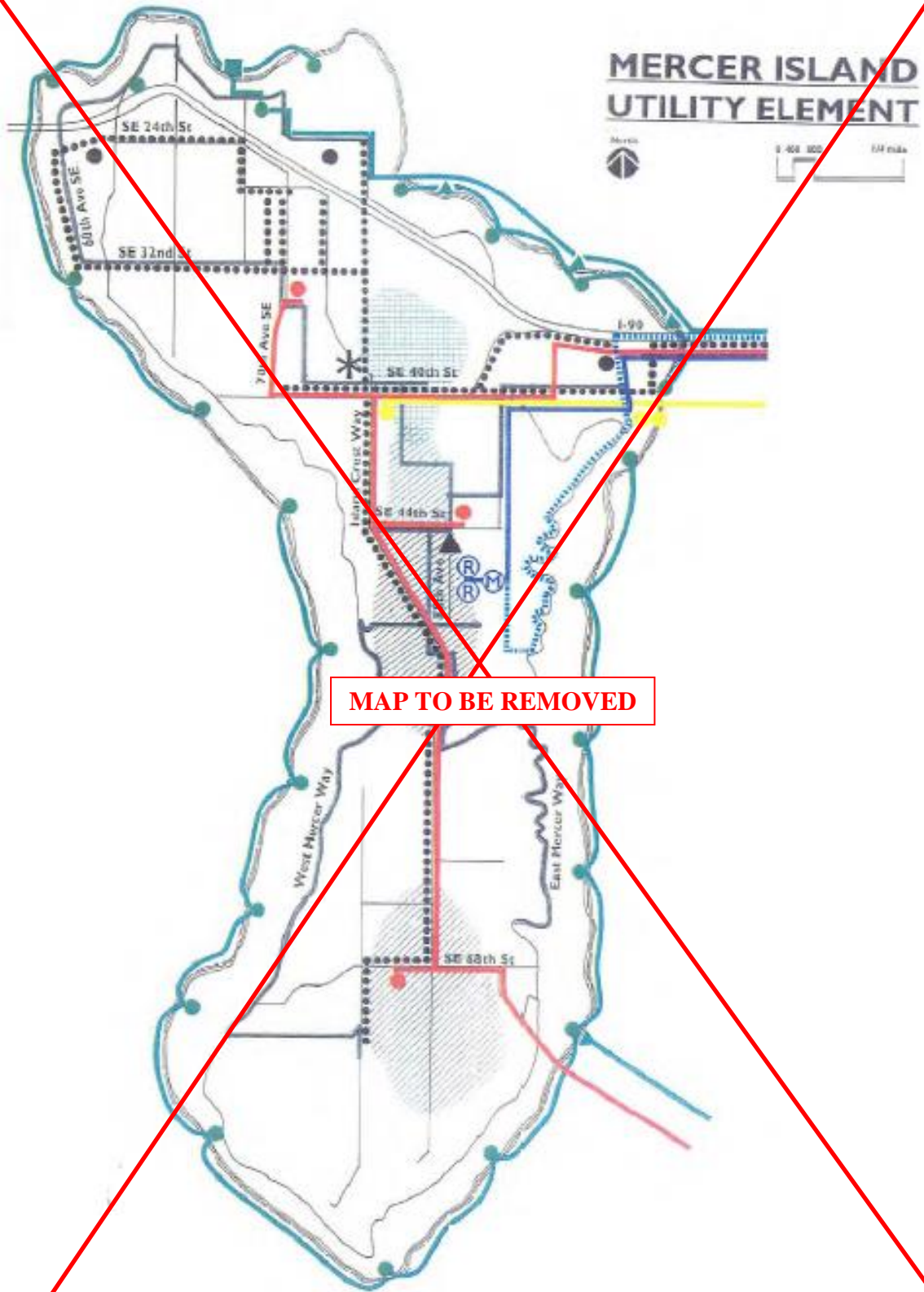
- 115KV
Transmission Line 
- Distribution
Substations 

TELECOMMUNICATIONS UTILITY

- Telephone
Transmission Lines-
U.S. West Communications 
- Telephone Central
Office 
- Cable Television
Transmission Lines-
Viacom Cable 
- Cable Television
Microwave Receiver 
- Cellular Telephone
Transmitter/Receiver
Locations-
 - U.S. West New Vector:
existing cell site 
 - proposed cell site 
 - Cellular One:
proposed cell site 

MAP TO BE REMOVED

Figure 9 - Mercer Island Utilities



MAP TO BE REMOVED

Capital Facilities



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CAPITAL FACILITIES ELEMENT

I. INTRODUCTION

Land Use & Capital Facilities

Incorporated in 1960, Mercer Island is a "mature" community. Approximately 95% of the community's residential lands have already been developed and its commercial centers are now experiencing increasing redevelopment pressures. The remaining lands to be developed are all commercial and residential "in-fill" infill where public facilities have long been established. ~~Mercer Island will not see major new subdivisions over the next two decades.~~

As a "mature community", Mercer Island has made substantial investments in public infrastructure over the last ~~thirty~~ forty years. As a result, the community largely has sufficient capacity in water and sewer systems, parks, schools, local streets and arterials, and public buildings (City Hall, library, fire stations, and community center) to handle projected growth. However, additional investments may be considered for park improvements as well as open space acquisition and trail development. In addition, improvements will be needed to maintain adopted transportation Level of Service (LOS) standards and to maintain existing infrastructure.

The following sections of the Capital Facilities Element inventory Mercer Island's existing public facilities in terms of their capacity (quantity) to serve current and forecasted populations through 2035. The Element continues with a discussion of existing "Levels of Service" standards and expenditure requirements to meet those standards. This is followed by a discussion of the City's overall capital planning and financing strategy as well as the revenues available for capital investment. The Element concludes with Policies that will

guide development of the City CIP and capital investments.

Sustainability

Sustainability is a Mercer Island value. It is a process of ensuring the wise use and management of all resources within a framework in which environmental, social, cultural and economic well-being are integrated and balanced. It means meeting the needs of today without adversely impacting the needs of future generations. In 2006, a grassroots effort of Island citizens led the City to modify the vision statement in its comprehensive plan to include language embracing general sustainability, and in May 2007 the Council committed to a sustainability work program as well as a specific climate goal of reducing greenhouse gas emissions by 80% from 2007 levels by 2050, which was consistent with King County and Washington State targets. Later in 2007, the Council set an interim emissions reduction goal (often called a "milepost") for City operations of 5% by 2012.

In recent years, the City has pursued a wide range of actions focusing on the sustainability of its internal operations. These measures began with relatively humble recycling and waste reduction campaigns, and then expanded into much larger initiatives such as energy-efficiency retrofits and cleaner-burning fleet vehicles. More recently, the City has installed its own on-site solar PV project at the Community and Event Center, and has now purchased several commercial-grade electric utility vehicles for Water Department and Parks Maintenance purposes. Approximately 35% of the City's internal electricity use is offset through the purchase of green power REC's from Puget Sound Energy. The City tracks several metrics in its annual "Dashboard

Report” that evaluate progress made in energy consumption, fuel use, green power purchasing, solid waste diversion, and overall carbon footprint of City operations.

In 2012, activities were expanded further with the hiring of the City’s first dedicated Sustainability Manager, who designs, implements, and then oversees much of the internal sustainability project work. In addition, the Mayor and Council have increasingly addressed or supported specific regional and state-level climate commitments or legislation.

Due to the 20-year horizon envisioned by this comprehensive plan, it is especially appropriate to include internal measures that address the long-term actions needed to reduce greenhouse gas emissions, ideally in collaboration with other local

governments. Actions that the City will implement with the entire community’s sustainability in mind are addressed in the Land Use Element of this plan. Various City Departments, such as Parks and Recreation and Maintenance, prepare functional plans that directly implement some sustainability programs.

These Capital Facilities measures, and others under consideration, are identified in more detail in a rolling 6-year Sustainability Plan, to be adopted in 2015~~6~~, which will guide the City’s internal and external actions while taking into account the interrelated issues of climate change, population change, land use, public infrastructure, natural resources management, quality of life, public health, and economic development.

II. CAPITAL FACILITIES INVENTORY

Listed below is a brief inventory of Mercer Island's public capital facilities. Detailed descriptions of facilities and their components (e.g. recreational facilities in public parks) can be found in the Comprehensive Parks, Recreation, Open Space and Arts Plan 2014-2019 Parks and Recreation Plan, the Comprehensive Parks and Recreation Plan and Transportation and Utilities Elements.

Public Streets & Roads

Mercer Island has over 75 miles of public roads. Interstate 90 runs east-west across the northern end of Mercer Island, providing the only road and transit connection to the rest of the Puget Sound region. Most of the road network on the island is comprised of local streets serving the island's residential areas; arterials comprise approximately 25 miles, or one third, of the system.

Pedestrian and Bicycle Facilities

Mercer Island has over 55 miles of facilities for non-motorized travel. In general, non-

motorized facilities serve multiple purposes, including recreational travel for bicycles and pedestrians as well as trips for work and other purposes. On-road facilities for non-motorized travel include sidewalks and paths for pedestrians and bicycle lanes for cyclists. Regional access for non-motorized travel is provided by special bicycle/pedestrian facilities along I-90. Additional detail is provided in the 1996 2010 Pedestrian and Bicycle Facilities Plan.

Parks & Open Space

Mercer Island has ~~over 467~~ 472 acres of City parks and open space lands. This acreage comprises about 12% of the island. ~~Eight~~ Eleven City parks, open spaces and playfields are over 10 acres in size. Three parks exceed 70 acres (Luther Burbank, Pioneer Park, and ~~Park on the Lid~~ Aubrey Davis Park, formerly known as the Park on the Lid). Island residents enjoy 20.84 (acres of publicly-owned park and open space lands per 1,000 population. This compares with neighboring jurisdictions as follows: Bellevue ~~21.80~~ 6 acres/1000 pop.; Kent -

~~– 15.5 16.8~~ acres/1000 pop.; Redmond ~~– 28.02~~ acres/1000 pop.; Kirkland - 191.1 acres/1000 pop. In addition to City park lands, approximately two-thirds of the Mercer Island School District grounds are available to Island residents. And, an additional 40 acres of private open space tracts are available for residents of many subdivisions on the Island. See Figure 1 for the locations and geographical distributions of the community's parks, open space lands, street end parks, school district lands, I-90 facilities and private/semi-public facilities.

During 2001, construction of a new Main Fire Station and a sizeable remodel of the Thrift Shop were completed. The City became the owner of Luther Burbank Park in 2003 after transfer of the property by King County. ~~Construction of a new Community Center at Mercer View will begin in late 2004. The new 37,925 sq.ft. building will include a 10,000 sq.ft. gymnasium and is expected to be completed by December 2005.~~ The Mercer Island Community and Events Center was completed in 2006, and in 2014, Fire Station 92 began construction at the south end of the Island.

Public Buildings

Mercer Island is served by seven City-owned public buildings, the Mary Wayte Pool ~~operated by the Northwest Center owned by the Mercer Island School District and operated by Olympic Cascade Aquatics~~, one Post Office and one King County (KCLS) Branch Library. Facility uses, locations and sizes are listed in Table 1 below.

Table 1.

Facility	Use	Location	Approx. Size
City Hall	Police, Dispatch & General Admin.	North MI 9611 SE 36th St.	32,000 s.f.
Maintenance Shop	Parks, Water, Sewer, Streets, Fleet & Bldg. Maint.	North MI 9601 SE 36th St.	15,000 s.f.
Community Center at Mercer View <u>Community and Events Center</u>	Comm. Mtgs., Recr. Programs Gymnasium and Fitness Senior adult and Youth Programs	North MI 8236 SE 24th St.	37,925 <u>42,500</u> s.f.
Main Fire Station	Fire & Emergency Aid Response & Admin.	Central Business District 3030 - 78th Ave. SE	16,600 s.f.
South Fire Station	Fire & Emergency Response	South End Shopping Cntr. 8473 SE 68th St.	3,500 <u>7,940</u> s.f.
Youth and Family Svcs. Thrift Shop	Sales-Fundraising: Recycled Household Goods	Central Business District 7710 SE 34th St.	5,254 s.f.
Luther Burbank Park Admin. Bldg.	Mercer Island Parks and Recreation Youth and Family Services Depts.	Luther Burbank Park 2040 – 84 th Ave. SE	5,000 s.f.
Mary Wayte Pool (Northwest Center)	Indoor Swimming Facility	Mid-island 8815 SE 40th St.	7,500 s.f.
U.S. Post Office	Postal Service	Central Business District 3040 78th Ave. SE	10,000 s.f.
King County Library (KCLS)	Public Library - Branch of KCLS	Mid-island 4400 88th Ave SE	14, 6 <u>7</u> 00 s.f.

Public Schools

The Mercer Island School District owns and operates one high school, one middle school and three elementary schools. A fourth elementary school is scheduled to open in 2016. Altogether, the School District owns 108.6 acres of land, including those lands dedicated to parks, open space and recreational uses. The District serves a 2014 school population of 4,316 students in approximately 461,000 total square feet of "educational" space.

In 1994, the voters approved a \$16.4 million bond issue to modernize the three Elementary Schools. All these schools underwent \$6 million remodels that were completed in September 1995. In 1996 voters approved a bond issue to modernize the High School. The total cost of the renovation, which included some new construction, was \$37.2 million. In February 2010, the community approved a six year capital levy for nearly \$4.9 million per year, targeting minor capital replacement costs and improvements at each school site. Included in the levy were funds for the addition of music and orchestra rooms at Mercer Island High School, portable classrooms for elementary and middle schools, hard play area resurfacing at the elementary schools, replacement of the turf field and repair of the track at Mercer Island High School, painting, re-roofing, pavement overlays, security improvements, and other improvements.

In the February 11, 2014 special election, Mercer Island voters overwhelmingly approved three targeted facilities projects to address overcrowding in Mercer Island schools.

After months of public discussions, meetings and work by the Mercer Island community, school board and district, a bond proposal was approved by the board in September 2013. It was then approved by more than 74 percent of Mercer Island voters in February 2014. The targeted facilities projects include:

- building a fourth elementary school on the district-owned North Mercer campus;
- expanding Islander Middle School, including 14 new classrooms and lab spaces, commons and cafeteria, gymnasiums, music rooms and administrative space; and
- building 10 additional classrooms at Mercer Island High School, including four lab spaces and six general education classrooms.

Annually, the District develops projections primarily utilizing the historical enrollment trends tracked each October for the past five years. In addition to the cohort derived from that historical database, the District looks at much longer "real growth" trends as well as birth rates and female population patterns. Current enrollment projections show an anticipated increase of approximately 356 students over the next six years, in addition to an increase of approximately 250 students over the last six years.

Provision of an adequate supply of K-12 public school facilities is essential to enhance the educational opportunities for our children and to avoid overcrowding. A variety of factors can contribute to changes in K-12 enrollment, including changes in demographics, the resale of existing homes, and new development. The District is

engaged in an ongoing long-range planning process to maintain updated enrollment projections, house anticipated student enrollment, and provide adequate school facilities. Future needs, including proposed improvements and capital expenditures are determined by the District, which has prepared a separate Capital Facilities Plan.

Water System

The City's Water Utility consists of ~~87~~ 115 miles of water mains and transmission lines which serve over ~~7,400~~ customers ~~7,640~~ water meters. In addition, the system includes two 4 million gallon storage reservoirs, two pump stations ~~and~~ ~~78~~, 86 pressure reducing valve stations and an emergency well completed in 2010. The City purchases water from ~~the Seattle Water Department~~ Seattle Public Utilities ~~who conveys it primarily from the Cedar River and Tolt River watersheds.~~ watershed to Mercer Island via a 16-inch supply line crossing Lake Washington's East Channel. ~~A smaller proportion of our water supply comes from the Tolt River System.~~

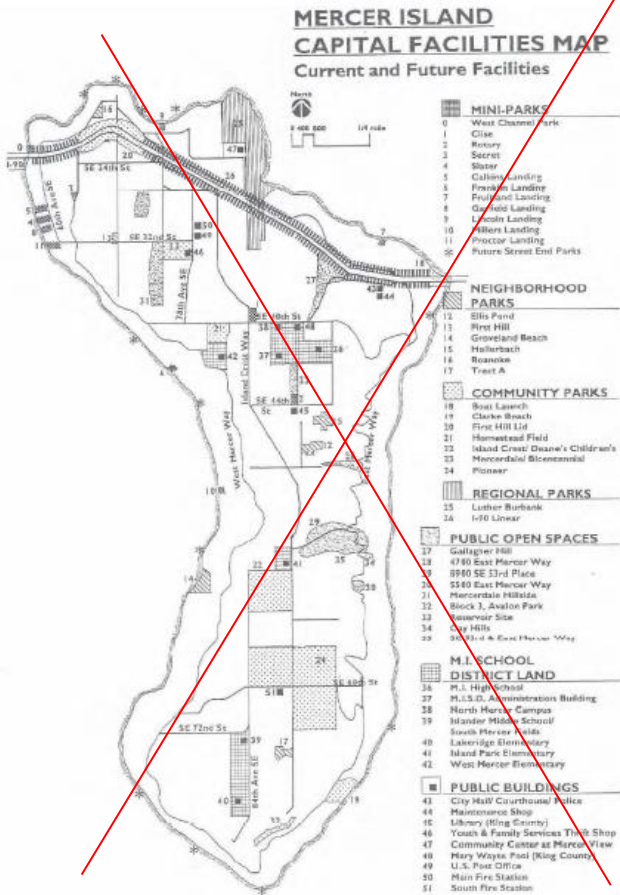
Sewer System

The Mercer Island sewer utility is made up ~~98~~ 104 miles of collection lines which serve over 7,200 customers. The collection system is linked to ~~18~~ 17 pump stations, 2 flushing stations, and more than ~~98~~ 113 miles of gravity and pressure pipelines, ranging in diameter from 3 to 24 inches which ultimately flow into King County Department of Natural Resources (KCDNR) facilities for treatment and disposal at the South Treatment Plant in Renton.

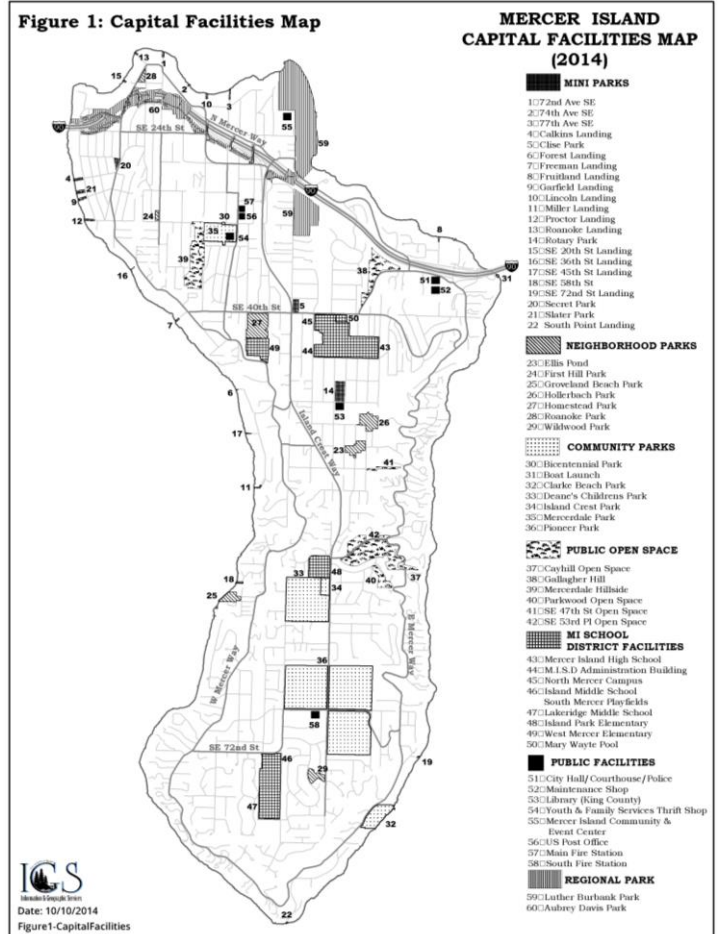
Storm Water System

The Island's storm water system is made up of a complex network of interconnected public and private conveyances for surface water. The system serves ~~54~~ 88 separate drainage basins. The major components of the system include more than ~~22~~ 15 miles of natural watercourses, ~~95~~ 60 percent of these are privately owned; ~~30~~ 26 miles of open drainage ditches, ~~75~~ 70 percent of which are on public property; ~~54~~ 58 miles of public storm drains; ~~10~~ 59 miles of private storm drains; more than ~~2,500~~ 4,500 public City owned catch basins; and ~~nearly 600~~ over 3,300 private non city owned catch basins.

Figure 1. Capital Facilities Map



Current Map (to be replaced)



Updated Map

III. LEVEL OF SERVICE & FORECAST OF FUTURE NEEDS

In analyzing capital financing over twenty years, the City must make estimates in two areas: Cost of New Facilities and the Cost to Maintain Existing Facilities. To estimate the former, the City must evaluate its established levels of service (LOS) for the various types of facilities - streets, parks, recreational facilities, open space, trails, public buildings -- and project future needed investments to reach those service targets. In this case, "Level of Service" refers to the quantitative measure for a given capital facility. [See Table 2 below.](#) In establishing an LOS standard, the community can make reasonable financial choices among the various "infrastructure" facilities that serve the local population.

Fortunately, Mercer Island has already acquired and/or built most of the facilities needed to meet its LOS goals (e.g. parks acreage, recreational facilities, water and sewer system capacity, street system capacity, police, fire and administration buildings). As a result, while a few "LOS deficiencies" must be addressed over the next twenty years (open space, new trail construction, some street capacity improvements), most capital financing projections for Mercer Island involve reinvesting in and maintaining existing assets.

Listed in Table 2 below is a summary of level of service and financial assumptions (by facility type) used in making a twenty year expenditure forecast. In looking at the assumptions and projections, the reader should bear in mind two things: 1) No detailed engineering or architectural design has been made to estimate costs. The

numbers are first level estimates; and, 2) The objective of the analysis is to predict where major financing issues may arise in the future. The estimates should be used for long range financial and policy planning; not as budget targets.

Table 2 - Level of Service & Financial Forecasts

Capital Facility	Level of Service Standard	Capital Needs	New Capital Cost (To address deficiency)	Annual Reinvestment Cost
Streets-Arterials -Residential -CBD	LOS " C " " D " None LOS " C " " D "	4 locations identified None None 4 locations identified	To be determined \$3,322,900 \$0 \$0 \$1,712,900	\$800,000 1,061,000/yr + \$684,350,000/yr. \$166,000
Parks & Open Space	Expenditure per capita	<u>Dock Infrastructure, Safe Facilities, Open Space, Trails and Athletic Fields</u>	To be assessed \$8 million	\$250,000/yr \$1.3 million. Parks & Open Space CIP
Recreational Facilities	See Park & Open Space Plan	None	None	None
Existing and New Pedestrian and Bicycle Facilities	Pedestrian and Bicycle Facilities Plan	Multiple <u>Shoulder improvements, 78th Ave. pedestrian and bike improvements, safe routes to school</u>	\$8 million N/A	\$375,000 130,000
Open Space	Expenditure per capita	Standard to be set	To be assessed	None
Water Syst – Supply Storage Distribution Fire Flow	6.7 mill. Gal/day 8.0 mill. Gal > 30 psi Multiple	None Energy Supply Line None None None	None \$1.2 mill. \$121,500,000 None None	\$500,00 from Utility Rates \$4.8 million
Storm & Surface Water System	Washington DOE Stormwater Manual	Multiple	\$350,000-\$425,000 from Utility Rates on average goes to one major basin improvement project annually	\$150,000 from Utility Rates \$1.1 million
Sanitary Sewer System	0 - Sewer Overflows	Inflow & Infiltration Sewer Lakeline-portion of reaches 3/4	\$13 \$26 million	\$500,000 \$1 million
Schools	Established in the Mercer Island School District No. 400 Six Year Capital Facilities Plan as may be amended.	Maintenance of existing buildings, new elementary school, middle school and high school expansions	<u>\$98.8 million bond</u>	\$9 million. levy passed February 2010
<u>Parking Facilities*</u>	<u>To be assessed*</u>	<u>To be assessed*</u>	<u>To be assessed*</u>	<u>To be assessed*</u>

*An analysis is in progress, capital needs and costs to be evaluated pending completion of studies, after completion of light rail.

[Note: More detailed LOS standards for capacity ~~and operational reliability~~, operational reliability, and capital facilities needs can be found in the following documents: Transportation

Improvement Plan, Water Comprehensive System Plan, Sewer Comprehensive General Sewer Plan, Comprehensive Storm Basin Review, Comprehensive Parks, Recreation, Open Space, and Arts Park and Open Space Plan, Pedestrian and Bicycle Facilities Plan, Open Space Vegetation Plan, Parks and Recreation Plan 2014-2019, Luther Burbank Master Plan, Ballfield Use Analysis, and the Transportation Element of this Comprehensive Plan.

IV. CAPITAL FACILITIES FINANCING

~~In light of the relatively large past investments in public facilities and the relatively low level of projected future growth, most future capital spending will go for repair, upgrade or replacement of existing capital assets. Generally speaking, Mercer Island will finance most of these capital reinvestment activities on a pay-as-you-go basis; or in the case of school renovations—local general obligation debt will be the primary financing technique.~~

The community should expect most funding for future capital improvements to come from local public sources. Substantial investments in transportation facilities—including parking, sewage collection and conveyance, and stormwater facilities will be needed over the 20 year planning period. Funding for open space acquisition and parks improvements may also be needed to meet community expectations. Private development will finance some minor new capital improvements, such as stormwater facilities, sewage conveyance improvements, and transportation improvements where proposed development will exceed adopted levels of service. Impact fees on new development will also generate some revenue to offset the impact of such growth on Mercer Island’s public schools, parks and open space, and transportation facilities.

Revenue Sources

The City's capital program is funded by a variety of revenue sources ranging from largely unrestricted, discretionary sources like General Funds and REET 1 to very restricted sources like fuel taxes and grants. Listed below is a description of the major capital funding sources used by the City.

General Fund Revenues - Revenues from property, sales and utility taxes as well as licenses and permit fees, other user fees, and state shared revenues. Funds can be used for any municipal purpose and are generally dedicated to the operation of the City's (non-utility) departments and technology and equipment upgrades.

Real Estate Excise Taxes (1 & 2) - Taxes imposed on the seller in real estate transactions. Both REET 1 & 2 taxes are levied at 1/4 of 1% of the sale price of the property. ~~Revenues are to be dedicated only to projects identified in the City's Capital Facilities Element.~~ Revenues must be used on the following types of projects:

- **REET 1** - only to projects identified in the City's Capital Facilities Element. Funds can be used for ~~p~~lanning, acquisition, construction and repair of streets, roads, sidewalks, streets and road lighting, traffic signals, bridges, water systems storm and

sanitary sewer systems, parks, recreational facilities, trails and public buildings.

- **REET 2** - planning, acquisition, construction and repair of streets, roads, sidewalks, streets and road lighting systems, traffic signals, bridges, water systems, storm and sanitary sewer systems, parks, and

planning, construction, repair or improvement of parks.

Fuel Taxes - City's share of fuel taxes imposed and collected by the state. Revenues must be used for maintenance and construction of the City's arterial and residential streets.

Voted Debt - General Obligation bonds issued by the City and paid for by a voter-approved increase in property taxes.

User Fees - Utilities

Fee for the purchase of a City-provided service or commodity (e.g. water, storm and sanitary sewage collection/treatment). Fees usually based on quantity of service or commodity consumed. Revenues (rates) can be used for any operating or capital project related to the delivery of the utility service or commodity.

Impact Fees

The Growth Management Act (GMA) authorizes cities to impose certain types of impact fees on new development. These fees should pay for the development's proportionate share of the cost of providing the public facilities needed to serve the development. Impact fees can be collected for schools, streets, parks and open space, and fire protection.

The Capital Improvement Program

The City of Mercer Island separates the Capital Improvement Program into two parts: The Capital Reinvestment Program (CRP) and the Capital Facilities Program (CFP). The CRP contains all major maintenance projects for existing public assets. The CFP consists of proposed new capital facilities.

Capital Reinvestment Plan (CRP)

The CRP's purpose is to organize and schedule repair, replacement and refurbishment of public improvements for the City of Mercer Island. The CRP is a six-year program setting forth each of the proposed maintenance projects, the cost and funding source. These capital projects are generally paid for from existing City resources.

The program emphasis in a reinvestment plan is timely repair and maintenance of existing facilities. To this effect, while new equipment and improvements are made to some older fixed assets, the intent is to design a program which will preserve and maintain the City's existing infrastructure. The maintenance and enhancement of the taxpayer's investment in fixed assets remains the City's best defense against the enormous cost of the replacement of older but still very valuable public improvements.

The CRP is intended to be a public document. For this purpose, it is organized by functional area. Hence, any individual who wishes to gain knowledge about a project need not know the funding source or any other technical information but only needs to know the general type of improvement in order to find the relevant

CIP Project Summary

General Government		Project Costs										Source of Funds								
		2014	2015	2016	2017	2018	2019	2020	Total	REET	Street	Utilities	General	Beaufif	Fees	Contrib'	Grants	Levy	Debt	Other
Funded - No Changes																				
46	Computer Equipment Replacements	Technology	207	112	105	142	131	122	122	734	0	0	0	0	0	734	0	0	0	0
47	High Accuracy Orthophotos	Technology	0	30	0	0	30	0	0	60	0	0	0	60	0	0	0	0	0	0
48	Firefighting Equipment	Small Technology/Equipment	29	36	35	32	40	30	36	209	0	0	0	209	0	0	0	0	0	0
49	Website Redesign	Technology	0	0	0	0	39	0	0	39	0	0	0	39	0	0	0	0	0	0
50	Financial System Upgrades	Technology	67	0	0	0	0	93	0	93	0	0	19	74	0	0	0	0	0	0
51	Server Software Updates	Technology	120	0	0	0	0	120	120	240	0	0	0	240	0	0	0	0	0	0
52	Mobile Asset Data Collection	Technology	0	0	84	0	0	84	0	168	0	168	0	0	0	0	0	0	0	0
53	City Information via Web Based GIS	Technology	0	0	0	55	0	0	55	110	0	0	0	110	0	0	0	0	0	0
54	Fuel Clean Up	Other Equipment	79	80	60	82	82	0	0	324	0	0	0	0	0	0	0	0	0	324
55	Self Contained Breathing Apparatus Replacement	Other Equipment	0	0	0	0	306	0	0	306	0	0	0	306	0	0	0	0	0	0
56	Police In-Car Video System Replacement	Technology	0	0	0	0	0	63	0	63	0	0	0	0	0	0	0	0	0	63
Funded - Modified																				
57	City Hall Building Repairs	Public Buildings	97	186	143	350	206	128	131	1,144	1,144	0	0	0	0	0	0	0	0	0
58	Maintenance Building Repairs	Public Buildings	35	50	64	94	108	204	72	592	147	0	445	0	0	0	0	0	0	0
59	Thrift Shop Repairs	Public Buildings	55	63	46	49	32	37	35	262	0	0	0	0	0	262	0	0	0	0
60	North Fire Station Repairs	Public Buildings	58	56	46	60	77	112	142	493	493	0	0	0	0	0	0	0	0	0
61	South Fire Station Repairs	Public Buildings	0	0	0	30	30	42	144	144	0	0	0	0	0	0	0	0	0	0
62	Luther Burbank Admin Building Repairs	Public Buildings	103	95	79	145	31	199	78	627	627	0	0	0	0	0	0	0	0	0
63	Mt Community and Event Center Building Repairs	Public Buildings	110	175	192	191	218	180	346	1,302	1,257	0	0	45	0	0	0	0	0	0
64	Fire Apparatus Replacements	Other Equipment	0	338	0	0	745	0	0	1,083	0	0	0	0	0	0	0	0	1,083	0
65	Maintenance Management System	Technology	0	0	0	199	0	0	0	199	0	0	150	49	0	0	0	0	0	0
66	Fleet Replacements	Other Equipment	414	684	539	1,136	661	262	973	4,255	0	0	0	0	4,255	0	0	0	0	0
Funded - New Project																				
67	Disaster Recovery	Technology	0	85	38	0	0	0	0	123	0	0	0	123	0	0	0	0	0	0
68	Public Infrastructure Data Projects	Small Technology/Equipment	0	87	68	0	0	0	0	135	0	0	0	135	0	0	0	0	0	0
69	Recreation and Facility Booking System	Technology	0	0	186	0	0	0	0	186	0	0	0	186	0	0	0	0	0	0
70	Telemetry Communications Replacement	Technology	0	47	0	0	0	0	0	47	0	0	47	0	0	0	0	0	0	0
Unfunded or Partially Funded/Modified																				
71	MICREC Technology & Equipment Replacement	Small Technology/Equipment	0	175	58	93	50	43	51	470	0	0	0	470	0	0	0	0	0	0
Total General Government costs			1,374	2,279	1,763	2,858	2,786	1,719	2,203	13,408										

CIP Project Summary

Sewer Utility		Project Costs										Source of Funds								
		2014	2015	2016	2017	2018	2019	2020	Total	REET	Street	Utilities	General	Beaufif	Fees	Contrib'	Grants	Levy	Debt	Other
Funded - No Changes																				
72	General Sewer System Improvements	Sewer System Improvements	0	300	350	400	400	400	400	2,250	0	0	2,250	0	0	0	0	0	0	0
73	Sewer System Emergency Repairs	Sewer System Rehabilitation	50	50	50	50	50	50	50	300	0	0	300	0	0	0	0	0	0	0
74	Sewer System Generator Replacement	Sewer System Rehabilitation	0	0	160	0	170	0	0	330	0	0	330	0	0	0	0	0	0	0
75	Sewer System Pump Station Improvements	Sewer System Rehabilitation	60	65	65	65	65	65	65	390	0	0	390	0	0	0	0	0	0	0
76	Street Related Sewer CIP Projects	Sewer System Improvements	50	30	30	30	30	30	30	180	0	0	180	0	0	0	0	0	0	0
Funded - Modified																				
77	East Mercer Way Sewer Replacement	Sewer System Improvements	0	0	0	500	0	0	0	500	0	0	500	0	0	0	0	0	0	0
78	General Sewer Plan - 20 year Capital Plan Update	Sewer System Improvements	50	75	0	0	0	0	0	75	0	0	75	0	0	0	0	0	0	0
Funded - New Project																				
79	Backyard Sewer System Improvements	Sewer System Improvements	0	25	175	25	175	25	175	600	0	0	600	0	0	0	0	0	0	0
80	Sewer System Special Catch Basins	Sewer System Rehabilitation	0	150	150	0	0	0	0	300	0	0	300	0	0	0	0	0	0	0
81	Sewer Main Repair in Sub-Basin 27 Watercourse	Sewer System Rehabilitation	0	315	0	0	0	0	0	315	0	0	315	0	0	0	0	0	0	0
82	Reach 4 Lake Line Replacement - Feasibility & Assess	Other Sewer System Projects	0	0	0	0	0	0	150	150	0	0	150	0	0	0	0	0	0	0
Total Sewer Utility costs			210	1,010	980	1,070	890	570	870	5,390										
Storm Drainage Utility		Project Costs										Source of Funds								
Project Description		2014	2015	2016	2017	2018	2019	2020	Total	REET	Street	Utilities	General	Beaufif	Fees	Contrib'	Grants	Levy	Debt	Other
Funded - No Changes																				
83	Neighborhood Spot Drainage Improvements	Neighborhood Drainage Improvements	80	85	85	90	90	95	95	540	0	0	540	0	0	0	0	0	0	0
84	Watercourse Condition Assessments	Watercourse Projects	25	15	25	15	25	15	25	120	0	0	120	0	0	0	0	0	0	0
Funded - Modified																				
85	Drainage System Replacements (2017-2020)	Other Storm Drainage System Projects	0	0	0	125	125	125	125	500	0	0	500	0	0	0	0	0	0	0
86	Watercourse Minor Repairs/Maintenance	Watercourse Projects	15	20	20	20	20	20	20	120	0	0	120	0	0	0	0	0	0	0
87	Watercourse Stabilization Projects (2017-2020)	Watercourse Projects	0	0	0	289	427	416	329	1,461	0	0	1,461	0	0	0	0	0	0	0
88	Sub-Basins 51a, 1/52.1 Watercourse Stabilization Proje	Watercourse Projects	0	0	183	0	0	0	0	183	0	0	183	0	0	0	0	0	0	0
89	Sub-Basin 49b Watercourse Stabilization Project	Watercourse Projects	0	0	256	0	0	0	0	256	0	0	256	0	0	0	0	0	0	0
90	Sub-Basin 27a Ph. 1- Watercourse Stabilization	Watercourse Projects	0	341	0	0	0	0	0	341	0	0	341	0	0	0	0	0	0	0
91	Drainage System Video Inspection Program	Other Storm Drainage System Projects	30	60	0	0	0	0	0	60	0	0	60	0	0	0	0	0	0	0
92	Drainage System Emergency Repairs	Other Storm Drainage System Projects	15	20	20	20	20	20	20	120	0	0	120	0	0	0	0	0	0	0
Funded - New Project																				
93	Sub-Basin 18c Drainage System Extension	Watercourse Projects	0	175	0	0	0	0	0	175	0	0	175	0	0	0	0	0	0	0
94	Sub-Basin 6 Drainage System Extension	Other Storm Drainage System Projects	0	100	0	0	0	0	0	100	0	0	100	0	0	0	0	0	0	0
95	Sub-Basin 14 Drainage System Extension	Other Storm Drainage System Projects	0	115	0	0	0	0	0	115	0	0	115	0	0	0	0	0	0	0
96	Sub-Basin 27a Culvert Replacement- 4900 ICW	Other Storm Drainage System Projects	0	0	150	0	0	0	0	150	0	0	150	0	0	0	0	0	0	0
Total Storm Drainage Utility costs			165	931	739	559	707	691	614	4,241										

CIP Project Summary

Water Utility		Project Costs									Source of Funds										
		2014	2015	2016	2017	2018	2019	2020	Total	REET	Street	Utilities	General	Beautif	Fees	Contrib'	Grants	Levy	Debt	Other	
Funded - No Changes																					
97	Water Model Updates/ Fire Flow Analysis	Other Water System Projects	25	0	25	0	25	0	25	75	0	0	75	0	0	0	0	0	0	0	
98	Water System Plan Update	Other Water System Projects	60	0	0	0	0	0	60	60	0	0	60	0	0	0	0	0	0	0	
99	ICW & 85th Ave. Water System Improvements	Water System Improvements	0	1,747	0	0	0	0	0	1,747	0	0	1,747	0	0	0	0	0	0	0	
100	SE 29th Street Water System Improvements	Sub-standard Water Main Replacement	0	0	0	0	54	314	0	368	0	0	368	0	0	0	0	0	0	0	
101	93rd, 89th, & 90th Ave SE Water System Improvement	Sub-standard Water Main Replacement	166	971	0	0	0	0	0	971	0	0	971	0	0	0	0	0	0	0	
102	Street Related Water CIP Projects	Water System Improvements	200	150	200	200	200	200	200	1,150	0	0	1,150	0	0	0	0	0	0	0	
103	Water System Components Replacement	Water System Improvements	30	35	35	35	35	35	210	0	0	210	0	0	0	0	0	0	0	0	
104	3838 WNW Water System Improvements	Sub-standard Water Main Replacement	0	0	65	377	0	0	0	442	0	0	442	0	0	0	0	0	0	0	
Funded - Modified																					
105	Hydrant Replacements	Water System Improvements	0	0	300	0	300	0	300	900	0	0	900	0	0	0	0	0	0	0	
106	Meter Replacement Program	Other Water System Projects	45	100	100	100	100	100	600	600	0	0	600	0	0	0	0	0	0	0	
107	EMW 5400 to 6000 Block Watermain & PRV Stations	Water System Improvements	0	0	219	1,276	0	0	0	1,495	0	0	1,495	0	0	0	0	0	0	0	
108	Madrona Crest West Addition Water Sys Improvements	Sub-standard Water Main Replacement	0	280	1,622	0	0	0	0	1,902	0	0	1,902	0	0	0	0	0	0	0	
Funded - New Project																					
109	82nd Ave & Forest Ave Water System Improvements	Water System Improvements	0	0	0	120	695	0	0	815	0	0	815	0	0	0	0	0	0	0	
110	SE 22nd St - SE 22nd Pl Water System Improvement	Sub-standard Water Main Replacement	0	0	0	0	142	823	0	965	0	0	965	0	0	0	0	0	0	0	
111	9700 Block SE 41st St Water System Improvements	Sub-standard Water Main Replacement	0	80	461	0	0	0	0	541	0	0	541	0	0	0	0	0	0	0	
112	76th Ave SE Water System Improvements	Sub-standard Water Main Replacement	0	0	0	0	68	394	0	462	0	0	462	0	0	0	0	0	0	0	
113	Madrona Crest East Addition Water Sys Improvements	Sub-standard Water Main Replacement	0	0	0	0	0	285	2,092	2,377	0	0	2,377	0	0	0	0	0	0	0	
114	Reservoir Generator Replacement	Other Water System Projects	0	0	100	0	0	0	0	100	0	0	100	0	0	0	0	0	0	0	
Total Water Utility costs			526	3,363	3,127	2,108	1,619	2,151	2,812	15,180											
Total Capital Reinvestment Plan			3,369	12,372	9,402	10,732	9,904	8,923	8,833	60,166											

CIP Project Summary

Capital Facilities Plan

Parks, Recreation and Open Space		Project Costs									Source of Funds									
		2014	2015	2016	2017	2018	2019	2020	Total	REET	Street	Utilities	General	Beautif	Fees	Contrib'	Grants	Levy	Debt	Other
Funded - No Changes																				
115	Recreational Trail Connections	Open Space	0	89	90	91	93	95	0	458	0	0	0	0	0	0	0	0	458	0
Funded - New Project																				
116	Luther Burbank Playground Mosaic	Parks Improvements	0	26	0	0	0	0	0	26	0	0	0	0	0	0	0	0	0	0
117	Wall Murals at I-90/West Mercer Way on ramp	Parks Improvements	0	25	0	0	0	0	0	25	0	0	0	0	0	0	0	0	0	25
Total Parks, Recreation and Open Space costs			0	140	90	91	93	95	0	509										
Streets, Pedestrian and Bicycle Facilities		Project Costs									Source of Funds									
Project Description		2014	2015	2016	2017	2018	2019	2020	Total	REET	Street	Utilities	General	Beautif	Fees	Contrib'	Grants	Levy	Debt	Other
Funded - No Changes																				
118	Pedestrian and Bicycle Facilities Plan Implementation	Pedestrian and Bicycle Facilities	45	0	0	45	45	45	45	180	0	180	0	0	0	0	0	0	0	0
119	Safe Routes to New Elementary School	Pedestrian and Bicycle Facilities	0	454	0	0	0	0	0	454	0	454	0	0	0	0	0	0	0	0
Funded - Modified																				
120	East Mercer Way Roadside Shoulders, Phases 9-11	Pedestrian and Bicycle Facilities	0	0	358	0	303	0	406	1,067	0	1,067	0	0	0	0	0	0	0	0
Funded - New Project																				
121	Safe Routes - Madrona Crest (66th Ave) Sidewalk	Pedestrian and Bicycle Facilities	0	170	0	0	340	0	0	510	0	510	0	0	0	0	0	0	0	0
122	West Mercer Way Roadside Shoulders (7400-6000 blk)	Pedestrian and Bicycle Facilities	0	0	417	0	0	0	0	417	0	417	0	0	0	0	0	0	0	0
123	84th Ave Path (SE 39th to Upper Luther Burbank Park)	Pedestrian and Bicycle Facilities	0	70	0	0	0	0	0	70	0	70	0	0	0	0	0	0	0	0
Total Streets, Pedestrian and Bicycle Facilities costs			45	694	775	45	688	45	451	2,688										
General Government		Project Costs									Source of Funds									
Project Description		2014	2015	2016	2017	2018	2019	2020	Total	REET	Street	Utilities	General	Beautif	Fees	Contrib'	Grants	Levy	Debt	Other
Funded - No Changes																				
124	Small Technology/Equipment Items	Small Technology/Equipment	25	25	25	50	50	50	50	250	0	0	0	250	0	0	0	0	0	0
Funded - Modified																				
125	Car Port (Patrol Vehicles)	Public Buildings	0	76	0	0	0	0	0	76	38	0	0	0	0	0	0	0	0	38
126	Sustainability Project Investment	Public Buildings	0	25	0	0	0	0	0	25	0	0	0	25	0	0	0	0	0	0
Funded - Modified																				
127	Light Rail Station Planning	Planning and Design	0	0	0	50	0	0	0	50	0	0	0	0	50	0	0	0	0	0
Total General Government costs			25	126	25	100	50	50	50	401										

V. CAPITAL FACILITIES GOALS AND POLICIES

Together with the City's Management and Budget Policies contained in the City's Budget (and Capital Improvement Program), the following goal and policies guide the acquisition, maintenance and investment in the City's capital assets.

GOAL 1: Ensure that capital facilities and public services necessary to support existing and new development are available at locally adopted levels of service.

- | | |
|--|---|
| <p>1.1 The Capital Improvement Plan (CIP) shall identify and plan for projects needed to maintain adopted levels of service for services provided by the City.</p> | <p>1.5 Within the context of a biennial budget, the City shall update the six-year Capital Improvement Plan (CIP)</p> |
| <p>1.2 The City shall schedule capital improvements in accordance with the adopted six-year Capital Improvement Program. From time to time, emergencies or special opportunities may be considered that may require a re-scheduling of projects in the CIP.</p> | <p>1.6 The City's two-year capital budget shall be based on the six-year CIP.</p> |
| <p>1.3 The CIP shall be developed in accordance with requirements of the Growth Management Act and consistent with the Capital Facilities Element of the City's Comprehensive Plan.</p> | <p>1.7 The Capital Facilities Element shall be periodically updated to identify existing and projected level of service deficiencies and their public financing requirements, based on projected population growth. Capital expenditures for maintenance, upgrades and replacement of existing facilities should be identified in the biennial budget and six-year Capital Improvement Program.</p> |
| <p>1.4 If projected expenditures for needed capital facilities exceed projected revenues, the City shall re-evaluate the established service level standards and the Land Use Element of the Comprehensive Plan, seeking to identify adjustments in future growth patterns and/or capital investment requirements.</p> | <p>1.8 The City shall coordinate development of the capital improvement budget with the General Fund budget. Future operation costs associated with new capital improvements should be included in operating budget forecasts.</p> |
| | <p>1.9 The City shall seek to maintain its assets at a level adequate to protect capital investment and minimize future maintenance and replacement costs.</p> |
| | <p>1.10 Highest priority for funding capital projects should be for improvements that protect the public health and safety.</p> |
| | <p>1.11 The City will adopt a Hazard Mitigation Plan. This plan will be updated periodically and shall guide City efforts to maintain reliability of key infrastructure and address vulnerabilities and potential impacts associated with natural hazards.</p> |
| | <p>1.12 Maintenance of and reinvestment in existing facilities should be financed</p> |

on a "pay as you go" basis using ongoing revenues.

- 1.13 Acquisition or construction of new capital assets should be financed with new revenues (such as voter approved taxes or external grants).
- 1.14 Water, sanitary sewer and storm water capital investments should be financed through utility user fees.
- 1.15 The City shall coordinate with other entities that provide public services within the City to encourage the consistent provision of adequate public services.
- 1.16 Develop and adopt new impact fees, or refine existing impact fees, in accordance with the Growth Management Act, as part of the financing for public facilities. Public facilities for which impact fees may be collected shall include public streets and roads; publicly owned parks, open space and recreation facilities; school facilities; and City fire protection facilities.
- 1.17 In accordance with the Growth Management Act, impact fees shall only be imposed for system improvements which are reasonably related to the new development; shall not exceed a proportionate share of the costs of system improvements reasonably related to the new development; and shall be used for system improvements that will reasonably benefit the new development.
- 1.18 The City adopts by reference the "standard of service" for primary and secondary education levels of service set forth in the Mercer Island School District's capital facilities plan, as adopted and periodically amended by the Mercer Island School District Board of Directors.
- 1.19 The School District's capital facilities plan, as amended yearly, is adopted

by reference as Appendix D of this Comprehensive Plan for the purpose of providing a policy basis for collection of school impact fees

- 1.1620 -City operations should be optimized to minimize carbon footprint impacts, especially with respect to energy consumption and waste reduction. New Capital Facilities should incorporate and encourage the sustainable stewardship of the natural environment, and consider the benefit of creating cutting-edge, demonstration projects.
- 1.1721 City procurement should include consideration of total lifecycle costs, recycled content, and other common measures of product sustainability.
- 1.1822 Current City facilities are operated in an energy-efficient manner, and opportunities for improvement are implemented when feasible. New City facilities should explore meeting public and private-sector sustainable building certification standards, such as the 'BuiltGreen' system and the Leadership in Energy and Environmental Design (LEED) system.
- 1.1923 Parks & Open Space – Implement sustainability measures identified within the City's Parks and Recreation Management Plan, including special attention to direct sustainability measures, such as tree retention, preference for native vegetation and habitat creation, minimized use of chemicals, and reductions in energy and fuel use.
- 1.2024 Implement proposed projects in the City's Pedestrian and Bicycle Facilities Plan (PBF), with emphasis placed on quick and affordable early fixes that demonstrate the City's progress in providing safe alternative transportation modes to the public.

VI. CAPITAL FACILITIES FINANCIAL FORECAST

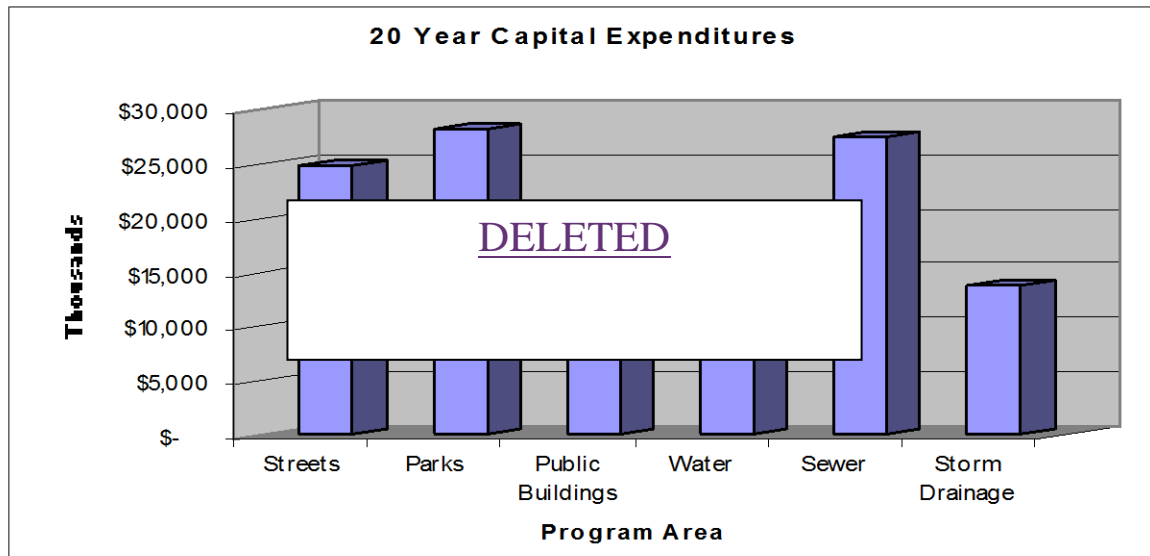
In analyzing the City's existing and projected expenditure and revenues for its capital facilities in light of the City's established Levels of Service standards (LOS) and capital financing policies (City Budget), a sustainable twenty year forecast emerges. **Figure 2** below shows the twenty year impacts of capital investments the City's infrastructure.

Figure 2 - Capital Facilities Forecast

Figures in Thousands \$\$

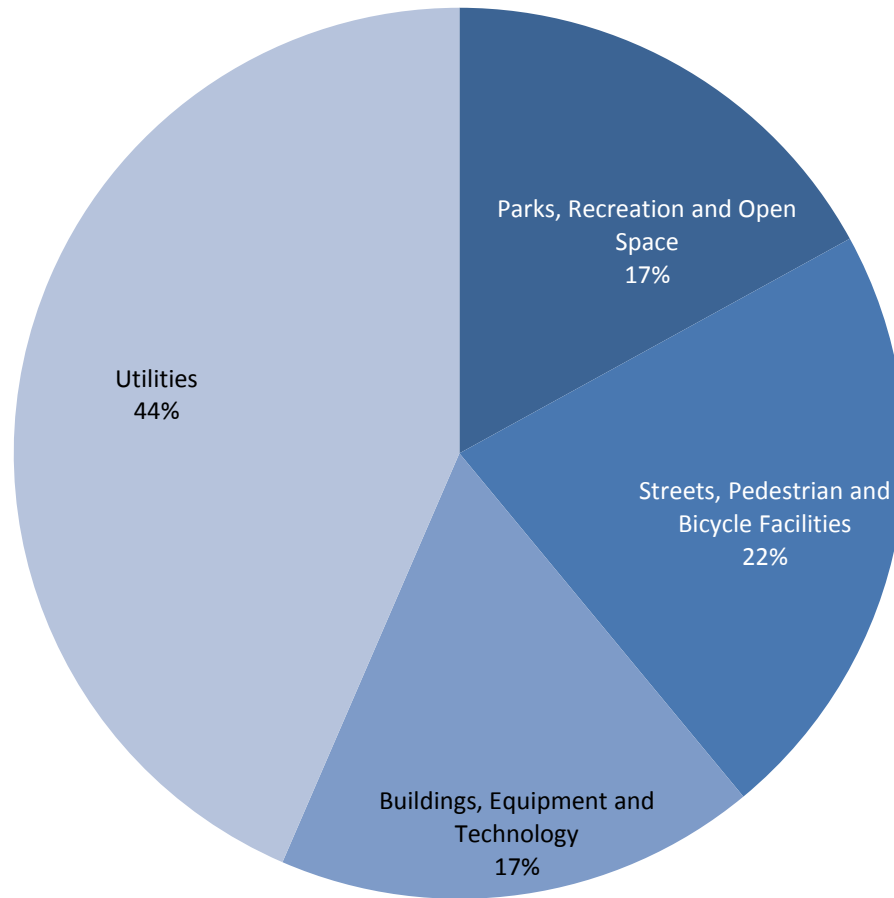
	20 Years Required Expenditure	20 Years Total Revenue	Revenue Surplus Shortfall	Discretionary		Restricted		Grants		Local - Untapped			
				Capital Reserve	Fuel Taxes	REET-1	REET-2	ISTEA	Other	Water Rates	Sewer Rates	Storm Drain Rates	Voted GO Debt
Available Revenue				5,000	1,000	1,000	1,000			1,100	4,000	450	—
Streets and Trails (PBF)	24,820	24,820			8,900		15,250	670					
Parks and Open Spaces	28,291	28,494	202			10,147	9,347						
Public Buildings	15,450	15,450	—	5,000		5,450							5,000
Water	16,838	16,838	—							16,838			
Sewer	27,493	27,493	—								27,493		
Storm Drainage	13,838	13,838	—									13,838	
Total	126,731	126,933	202	5,000	8,900	24,597	24,597	670		16,838	27,493	13,838	5,000

Figures in Thousands \$\$



	<u>Capital Costs</u>	<u>Revenue Sources</u>										
	<u>20 year est. capital expenditures</u>	<u>Reet 1</u>	<u>Reet 2</u>	<u>Grants</u>	<u>Fuel Taxes</u>	<u>Water Rates</u>	<u>Sewer Rates</u>	<u>Storm Drainage Rates</u>	<u>Levy</u>	<u>Debt</u>	<u>Transportation Benefit District</u>	<u>Other</u>
<u>Streets and Trails (PBF)</u>	<u>60,300,600</u>	-	<u>43,209,298</u>	<u>1,000,000</u>	<u>7,081,833</u>						<u>7,000,000</u>	<u>2,009,469</u>
<u>Parks & Open Space</u>	<u>43,613,471</u>	<u>28,564,570</u>		<u>3,292,500</u>					<u>458,000</u>			<u>14,410,753</u>
<u>Public Buildings</u>	<u>19,039,743</u>	<u>14,644,728</u>		<u>3,292,500</u>						<u>1,560,000</u>		<u>2,835,015</u>
<u>Water</u>	<u>121,593,481</u>					<u>247,137,290</u>						
<u>Sewer</u>	<u>26,280,635</u>						<u>216,381,050</u>					
<u>Storm Drainage</u>	<u>28,072,472</u>			<u>150,000</u>				<u>50,135,809</u>				

2015-2016 Proposed CIP Budget by Project Category



~~VII. SUMMARY & CONCLUSIONS~~

~~Mercer Island has made substantial past investments in its infrastructure. Most future investments will be for maintenance of existing capital assets. However, additional investments will be needed in transportation facilities, stormwater facilities, and sewage collection and conveyance over the twenty year planning period. The City will invest approximately \$12.4 million in the development of a new Community Center at Mercer View. This facility is expected to provide recreation and other services to meet community needs well beyond the 20 year planning period. Utility rate adjustments in all utilities will be required over time to support reinvestment in these aging facilities. When viewed over a twenty year period, Mercer Island will have sufficient funding capacity to achieve its LOS goals and construct and maintain its capital facilities.~~

~~To identify specific locations of future facilities, see the annually updated Six-Year Transportation Improvement Plan, 2004 2014 Comprehensive Parks, Recreation, Open Space, and Arts, Pedestrian and Bicycle Facilities Plan, 2014-01 Water System Plan, and 2003 General Sewer Plan. Specific storm drainage improvements will be identified as development and implementation of capital improvements to the public storm drainage utility (and drainage basins analyses) progress.~~

VIII. PROCESS FOR SITING PUBLIC FACILITIES

Background - State & County

The Growth Management Act requires that jurisdictions planning under its authority develop and adopt a process for identifying and siting essential public facilities, including those facilities typically difficult to site.

The State Office of Financial Management maintains a list of those essential State facilities that are required or likely to be built within the next six years. The list includes: airports; state education facilities; state or regional transportation facilities; state and local correctional facilities; solid waste handling facilities; in-patient facilities including substance abuse facilities, mental health facilities and group homes; waste water treatment facilities; utility and energy facilities; and parks and recreation facilities.

King County Policies also identify the parameters for the siting of new public capital facilities of a county- or state-wide nature. The facilities shall be sited so as to support countywide land use patterns, support economic activities, mitigate environmental impacts, provide amenities or incentives, and minimize public costs. Public facilities development projects are also to be prioritized, coordinated, planned and sited through an inter jurisdictional process.

Interstate 90 represents the community's largest essential public facility of a regional or statewide nature. Given the lack of available land, the residential nature of Mercer Island and the comparatively high land and development costs, future siting of major regional or state facilities on Mercer

Island is most likely unrealistic and incompatible with existing land uses.

Mercer Island Facilities

At the local level, the City of Mercer Island identifies facilities as essential to the community: public safety facilities (fire and police), general administration and maintenance (City Hall), public library, public schools and facilities housing human services and recreation/community service programs. These facilities are not generally classified as “essential public facilities” as they do not have the same level of regional importance and difficulty in siting. Though not “essential” under GMA, these public facilities provide public services that are important to the quality of life on Mercer Island and should be available when and where needed.

The City of Mercer Island employs many methods in the planning for and siting of public facilities: land use codes, environmental impact studies, and compliance with state and federal regulatory requirements. In addition, the Transportation, Utilities and Capital Facilities Elements of the Comprehensive Plan identify existing and future local public facilities and require substantial public involvement in the siting of those facilities.

However, because the vast majority of Mercer Island's available land has been developed for residential uses (over 95%), siting most public facilities that are generally regarded as not compatible with residential land uses becomes problematic.

In the past, siting local public or human services facilities has produced a wide range of responses within the community. Community acceptance is a significant issue and nearly always has a strong influence on final site selection. Developing a basic framework for community involvement early in the facilities development process clearly enhances the whole siting process. The City should establish a public participation plan that involves the community during the siting and development processes and, if necessary, after operations begin at the facility.

In large part, the most effective facilities siting approaches include early community notification and ongoing community involvement concerning both the facilities and the services provided at the site. Use of these strategies creates opportunities to build cooperative relationships between the City, the adjacent neighbors and the broader community who use the services. They also help to clearly define the rights and responsibilities of all concerned.

Policies for Siting Public Facilities and Essential Public Facilities

The purpose of the Essential Public Facilities Siting Process is to ensure that public services are available and accessible to Mercer Island and that the facilities are sited and constructed to provide those services in a timely manner. Site selection is an important component in facilities development and should occur within a process that includes adequate public review and comment and promotes trust between City and the community.

- 2.1 Essential public facilities should be sited consistent with the King County Countywide Planning Policies.
- 2.2 Siting proposed new or expansions to existing essential public facilities shall consist of the following:
 - a. An inventory of similar existing essential public facilities, including their locations and capacities;
 - b. A forecast and demonstration of the future need for the essential public facility;
 - c. An analysis of the potential social and economic impacts and benefits to jurisdictions receiving or surrounding the facilities;
 - d. An analysis of the proposal's consistency with County and City policies;
 - e. An analysis of alternatives to the facility, including decentralization, conservation, demand management and other strategies;
 - f. An analysis of alternative sites based on siting criteria developed through an inter-jurisdictional process;
 - g. An analysis of environmental impacts and mitigation; and
 - h. Extensive public involvement consistent with the Public Participation Principles outlined in the Introductory section of the Comprehensive Plan.
- 2.3 Local public facility siting decisions shall be consistent with the Public Participation Principles outlined in the Introductory section of the Comprehensive Plan.

- 2.4 Local public facility siting decisions shall be based on clear criteria that address (at least) issues of service delivery and neighborhood impacts.
- 2.5 City departments shall describe efforts to comply with the Essential Public Facilities Siting process when outlining future capital needs in the Capital Improvements Program budget.
- 2.6 City departments shall develop a community notification and involvement plan for any proposed capital improvement project that involves new development or major reconstruction of an existing facility and which has been approved and funded in the biennial Capital Improvement Program budget.

Shorelines



City of Mercer Island

Comprehensive Plan

Shoreline Master Program Policies

INTRODUCTION

The purpose of this document is four-fold:

1. To fulfill the requirements of the Shoreline Management Act (SMA) of 1971, Chapter 286, Laws of 1971, Chapter 90.58. RCW and Chapter 173- 26 WAC by developing a Master Program to guide the future use and development of Mercer Island's shoreline.
2. To recognize the Lake Washington/Cedar/Sammamish Watershed (WRIA 8) Chinook Salmon Conservation Plan.
3. To provide guidelines for revising local ordinances and zoning codes.
4. To provide a basis for evaluating applications for shoreline permits on Mercer Island.

The State of Washington Shoreline Management Act of 1971 recognizes that the shorelines of the state are among our most valuable and fragile natural resources and directs all local governments to develop a Master Program for the management of these shorelines. The Law specifies that all lakes over 1,000 acres in surface area are Shorelines of Statewide Significance. Lake Washington is such a shoreline and in our planning we must, as the Shoreline Management Act specifies, provide for uses in the following order of preference: those which

1. Recognize and protect the state-wide interest over local interest;
2. Preserve the natural character of the shoreline;
3. Result in long term over short term benefit;
4. Protect the resources and ecology of the shoreline;
5. Increase public access to publicly owned areas of the shoreline;
6. Increase recreational opportunities for the public in the shoreline;
7. Provide for any other element deemed appropriate or necessary.

PROLOGUE

Mercer Island was originally utilized as a source of timber, and although proposed as a "regional park" in its entirety at one time, it became a recreational and, later, a prime residential area. Until 1940, boat and ferry travel was the primary means of reaching the Island from Seattle. In 1940 the Lake Washington floating bridge was completed. At this time the population of the Island and, subsequently, the complexion of development changed rapidly. Developers took advantage of the relatively easy access and relatively close proximity to Seattle's employment centers, and land quickly changed from forest to subdivision.

Planning during this time and up until the early 1960's was conducted by King County. Since accepting the County zoning upon incorporation of the City in 1960, few changes affecting shoreline uses have occurred, with single-family residential and recreation constituting the primary shoreline uses.

The City developed its first Shoreline Master Program in 1974. Key considerations within this plan included conservation, public access to the shoreline, residential development, and the guidance for recreational uses along the Mercer Island shoreline. These initial policy objectives are reflected in today's protection of the City's shoreline, which includes approximately 6,000 lineal feet of publicly owned shoreline, developed as waterfront recreation areas. Included in these publicly owned lands are nineteen street ends; Groveland Beach Park; Clarke Beach Park; and Luther Burbank Park, which was transferred in 2003 from King County to the City of Mercer Island via an Intergovernmental Land Transfer Agreement.

During the 35 years since the City adopted its first SMP, the Mercer Island has matured to the point where it is largely developed with the priority uses planned for in the first SMP. For example, an inventory of the shoreline prepared as part of this SMP update identified only 30 shoreline properties that are currently undeveloped.

Since 1990, when the state enacted the Growth Management Act, state policy has promoted greater density in urban areas, such as the City of Mercer Island and the other cities that surround Lake Washington. In addition, the increased land values on the Island have created pressures for more intense use of lands during redevelopment.

The City's and region's development during this time has impacted the shoreline. Docks and bulkheads, impervious surfaces in shoreline area and in adjacent areas have impacted the shoreline environment, including salmonid habitat. In 1999, Chinook salmon and bull trout were listed as "Threatened" under the Federal Endangered Species Act. New scientific data and research has improved our understanding of shoreline ecological functions and their value in terms of fish and wildlife, water quality, and human health. Scientific information, however, remains incomplete and sometimes inconsistent in some areas important to Mercer Island's development pattern.

INTENT

To address changes in the shoreline environment, comply with the mandates of the Shoreline Management Act, and enable the City to plan for emerging issues, the City has initiated an extensive update of its Shoreline Master Program. The new program is intended to respond to current conditions and the community's vision for the future.

The largely built out character of the shoreline, as well as the increasing protections under state and federal law for shoreline habitat are two factors that have strongly influenced the Update's direction. In updating the program, the City's primary objectives are to:

- Enable current and future generations to enjoy an attractive, healthy and safe waterfront.
- Protect the quality of water and shoreline natural resources to preserve fish and wildlife.
- Protect the City's investments, as well as those of property owners along and near the shoreline.

- Produce an updated Shoreline Master Program (SMP) that is supported by Mercer Island’s elected and appointed officials, citizens, property owners, the State of Washington, and other key groups with an interest in the shoreline.
- Fairly allocate the responsibilities for increased shoreline protection among new development and redevelopment.
- Assure that regulatory or administrative actions do not unconstitutionally infringe upon private property rights

The City of Mercer Island, through adoption of the Shoreline Master Program, intends to implement the Washington State Shoreline Management Act (RCW 90.58) and its policies, including protecting the State’s shorelines and their associated natural resources, planning for and fostering all reasonable and appropriate uses, and providing opportunities for the general public to have access to and enjoy shorelines.

The City of Mercer Island’s Shoreline Master Program represents the City’s participation in a coordinated planning effort to protect the public interest associated with the shorelines of the State while, at the same time, recognizing and protecting private property rights consistent with the public interest. The Program preserves the public’s opportunity to enjoy the physical and aesthetic qualities of shorelines of the State and protects the functions of shorelines so that, at a minimum, the City achieves a ‘no net loss’ of ecological functions, as evaluated under the Final Shoreline Analysis Report issued in July 2009. The Program also promotes restoration of ecological functions where such functions are found to have been impaired, enabling functions to improve over time.

The goals and policies of the SMA constitute one of the goals for growth management as set forth in RCW 36.70A.020 and, as a result, the goals and policies of this SMP serve as an element of Mercer Island’s Comprehensive Plan and should be consistent with other elements of the Comprehensive Plan. In addition, other portions of the SMP adopted under chapter 90.58 RCW, including use regulations, are considered a part of the city's development regulations.

I. DESIGNATED ENVIRONMENTS

WAC 173-26-211 states, “Master programs shall contain a system to classify shoreline areas into specific environment designations. This classification system shall be based on the existing use pattern, the biological and physical character of the shoreline, and the goals and aspirations of the community as expressed through comprehensive plans as well as the criteria in this section. Each master program's classification system shall be consistent with that described in WAC 173-26-211 (4) and (5) unless the alternative proposed provides equal or better implementation of the act.”

WAC 173-26-211(4)(c) allows for local governments to establish a designation system, provided it is consistent with the purposes and policies of WAC 173-26-211 and WAC 173-26-211(5).

Mercer Island contains two distinct shoreline designations, pursuant to WAC 173-26-211(4)(c): urban residential, and urban park.

This system is designed to encourage uses in each environment which enhance the character of that environment. The basic intent of this system is to utilize performance standards which regulate use activities in accordance with goals and objectives defined locally. Thus, the particular uses or type of developments placed in each environment should be designed and located so that there are no effects detrimental to achieving the objectives of the environment designations and local development criteria. This approach provides an ‘umbrella’ environment class over local planning and zoning on the shorelines. Since every area is endowed with different resources, has different intensity of development and attaches different social values to these physical and economic characteristics, the enforcement designations should not be regarded as a substitute for local planning and land-use regulations.”

1. Urban Residential

The purpose of the urban residential environment is to accommodate residential development and appurtenant structures that are consistent with this chapter. An additional purpose is to provide appropriate public access and recreational uses.

Designation Criteria: Areas that are predominantly single-family or multifamily residential development or are planned and platted for residential development.

Management Policies:

1. Standards for density or minimum frontage width, setbacks, lot coverage limitations, buffers, shoreline stabilization, vegetation conservation, critical area protection, and water quality should be set to assure no net loss of shoreline ecological functions, taking into account the environmental limitations and sensitivity of the shoreline area, the level of infrastructure and services available, and other comprehensive planning considerations.
2. Development of multifamily, recreational and residential subdivisions of five or more lots should provide public access and joint use for community recreational facilities, except when there are constitutional or other legal constraints.
3. Access, utilities, and public services should be available and adequate to serve existing needs and/or planned future development.
4. Non-commercial recreational areas should be allowed.

2. Urban Park Environment

The purpose of the urban park environment is to protect and restore ecological functions in urban and developed settings, while allowing public access and a variety of park and recreation uses.

Designation Criteria: An urban park environment designation will be assigned to publicly owned shorelands, including all parks, street ends and public access points.

Management policies:

1. Uses that preserve the natural character of the area or promote preservation of open space, or sensitive lands either directly or over the long term should be the primary allowed uses. Uses that result in restoration of ecological functions should be allowed if the use is otherwise compatible with the purpose of the environment and the setting.
2. Standards should be established for shoreline stabilization measures, vegetation conservation, water quality, and shoreline modifications within the urban park designation. These standards should ensure that new development does not result in a net loss of shoreline ecological functions.
3. Public access and public recreation objectives should be implemented whenever feasible and significant ecological impacts can be mitigated.
4. Water-oriented uses should be given priority over nonwater-oriented uses. Water-dependent uses should be given highest priority.

II. GENERAL GOALS AND POLICIES

1. PUBLIC ACCESS

The following goal and policies address the ability of the public to reach, touch, view, and travel on Lake Washington and to view the water and the shoreline from public places

GOAL

Increase and enhance public access to and along the Mercer Island Shoreline where appropriate and consistent with public interest, provided public safety, private property rights, and unique or fragile areas are not adversely affected.

POLICIES

1. Public access to and along the water's edge should be consistent with the public safety, private property rights, and conservation of unique or fragile areas.
2. Public access to and along the water's edge should be available in publicly owned shoreline areas.
3. When substantial modifications or additions are proposed to substantial developments, the developer should be encouraged to provide for public access to and along the water's edge if physically feasible provided that no private property be taken involuntarily without due compensation.

4. In new developments on the shoreline, the water's edge should be kept free of buildings.
5. Where publicly owned shoreline areas are available for public pedestrian pathways, these should be developed as close to the water's edge as reasonable.
6. Views of the shoreline and water from shoreline and upland areas should be preserved and enhanced. Enhancement of views should not be construed to mean excessive removal of vegetation.
7. Rights-of-way on the shoreline should be made available for public access where appropriate.
8. Access onto shoreline public street ends should be enhanced.
9. Consideration should be given to the handicapped, disabled, and elderly when developing public access to shoreline areas.

2. CONSERVATION AND WATER QUALITY

The following goal and policies address the protection of the resources of the shoreline.

GOAL

The resources and amenities of Lake Washington are to be protected and preserved for use and enjoyment by present and future generations.

POLICIES

1. Existing natural resources should be conserved, consistent with private property rights.
 - a. Aquatic habitats, particularly spawning grounds, should be protected, improved and, if feasible, increased.
 - b. Wildlife habitats should be protected, improved and, if feasible, increased.
 - c. Critical areas have been mapped. Access and use should be restricted if necessary for the conservation of these areas. The type and degree of development to be allowed should be based upon such factors as: slope, soils, vegetation, geology and hydrology.

- d. Water quality should be maintained at a level to permit recreational use (specifically swimming), provide a suitable habitat for desirable forms of aquatic life and satisfy other required human needs.
2. Existing and future activities on Lake Washington and its shoreline should be designed to minimize adverse effects on the natural systems.
3. Uses or activities within all drainage basins related to Lake Washington should be considered as an integral part of shoreline planning.
 - a. Developers should be required to bear the cost of providing safeguards to prevent storm drainage damage resulting from their development.
 - b. Excessive soil erosion and sedimentation and other polluting elements should be prevented from entering and adversely affecting the Lake and its constituent watercourses.
 - c. Restoration of natural systems adversely affected by sedimentation and pollution should be encouraged.
 - d. The destruction of watercourses feeding into Lake Washington should be discouraged.
 - e. The planning and control of surface drainage water from Mercer Island into Lake Washington should be based on such factors as the quality and quantity of water, rate of flow and containment, etc. The latest applicable data should be used in the implementation of a storm drainage system.
4. Shoreline areas having historical, archaeological, cultural, educational or scientific value should be protected and restored.
 - a. Public and private cooperation should be encouraged in site preservation and protection.
 - b. Suspected or newly discovered archaeological sites should be kept free from intrusion until their value is determined.
5. Festivals and temporary uses involving public interest and not substantially or permanently impairing water quality or unique and fragile areas should be permitted.
6. Protect, conserve and establish vegetation along the shoreline edge, especially native vegetation.

7. Critical areas should be protected at a level at least equal to that provided by the City's critical area regulations adopted pursuant to the Growth Management Act.

III. SHORELINE MODIFICATIONS

1. SHORELINE STABILIZATION

The following policy addresses shoreline stabilization.

POLICY

1. Non-structural stabilization measures are preferred over "soft" structural measures. Soft structural measures are preferred over hard structural measures.

2. PIERS AND MOORAGES

The following policies address piers and moorages.

POLICIES

1. New piers and docks should be allowed only for water-dependent uses or public access. Piers and docks associated with single family residences are considered a water-dependent use.

2. New piers and docks should be designed and constructed to avoid or, if that is not possible, to minimize and mitigate the impacts to ecological functions.

3. The repair, renovation, and replacement of existing piers and docks should be allowed.

4. Property owners who repair, renovate or replace existing piers and docks should be provided information on the best materials and methods for environmental enhancement.

3. LANDFILL AND DREDGING

Landfill is usually contemplated in locations where the water is shallow and where rooted vegetation often occurs. In their natural condition these same areas provide suitable habitat for fish and wildlife feeding, breeding and shelter. Biologically the shallow vegetation areas tend to be highly productive portions of the Lake. For these reasons governmental agencies and scientific experts have generally taken a stand against landfill.

In most cases when dredging is done it also occurs in shallow areas and may disturb the environment in the following ways: 1) temporary reduction of water clarity from suspended sediments, 2) losses in aquatic plants and animals by direct removal or from the sedimentation of suspended materials, 3) alteration in the nutrient and oxygen levels of the water column, and 4) suspension of toxic materials from the sediments into the water column.

POLICIES

1. Fills should be located, designed, and constructed to protect shoreline ecological functions and ecosystem-wide processes, including channel migration.
2. Fills waterward of the ordinary high-water mark should be allowed only when necessary to support: water-dependent use, public access, cleanup and disposal of contaminated sediments as part of an interagency environmental clean-up plan, disposal of dredged material considered suitable under, and conducted in accordance with the Dredged Material Management Program of the Department of Natural Resources, expansion or alteration of transportation facilities of statewide significance currently located on the shoreline and then only upon a demonstration that alternatives to fill are not feasible, mitigation action, environmental restoration, beach nourishment or enhancement project . Fills waterward of the ordinary high-water mark for any use except ecological restoration should require a conditional use permit.
3. Dredging and dredge material disposal should be done in a manner which avoids or minimizes significant ecological impacts and impacts which cannot be avoided should be mitigated in a manner that assures no net loss of shoreline ecological functions.
4. New development should be sited and designed to avoid or, if that is not possible, to minimize the need for new and maintenance dredging. Dredging for the purpose of establishing, expanding, or relocating or reconfiguring navigation channels and basins should be allowed where necessary for assuring safe and efficient accommodation of existing navigational uses and then only when significant ecological impacts are minimized and when mitigation is provided. Maintenance dredging of established navigation channels and basins should be restricted to maintaining previously dredged and/or existing authorized location, depth, and width.
5. Dredging waterward of the ordinary high-water mark for the primary purpose of obtaining fill material should not be allowed, except when the material is necessary for the restoration of ecological functions. When allowed, the site where the fill is to be placed must be located waterward of the ordinary high-water mark. The project must be either associated

with a MTCA or CERCLA habitat restoration project or, if approved through a shoreline conditional use permit, any other significant habitat enhancement project.

4. BREAKWATERS AND SIMILAR FEATURES

POLICY

1. The use of new breakwaters and other similar structures should be limited.

5. SHORELINE HABITAT AND NATURAL SYSTEMS ENHANCEMENT PROJECTS

POLICY

1. Foster habitat and natural system enhancement projects that are consistent with the City's Shoreline Restoration Plan and whose primary purpose is restoration of the natural character and ecological functions of the shoreline.

IV. SPECIFIC SHORELINE USES AND ACTIVITIES

The following goal and policy address the general distribution, location, and extent of all uses within shoreline jurisdiction.

GOAL

Ensure that the land use patterns within shoreline areas are compatible with shoreline environment designations and will be sensitive to and not degrade habitat, ecological systems, and other shoreline resources.

POLICY

1. All activities, development and redevelopment within the City's shoreline jurisdiction should be designed to ensure no net loss of shoreline ecological functions.

1. BOATING FACILITIES

The following policies address boating facilities.

POLICIES

1. New boating facilities should be designed to meet health, safety, and welfare requirements; mitigate aesthetic impacts; minimize impacts to neighboring uses; provide public access; assure no net loss of ecological functions and prevent other significant adverse impacts; and protect the rights of navigation and access to recreational areas.

2. RECREATIONAL DEVELOPMENT

Mercer Island has approximately 15 miles of shoreline most of which is devoted to low density single family residences. It could be said that almost 100% of the developed shoreline of Mercer Island is devoted to water-dependent recreation, assuming that the waterfront residents find both active and passive enjoyment from their shoreline location. The remainder of the shoreline is set aside for public or semi-public water-related recreation except for a fraction which is utilized for bridge crossings and utilities. The latter, in some cases, is also available for public access to the water.

The City presently owns approximately 6,000 feet of shoreline which is developed as waterfront parks with facilities for swimming, fishing and car-top boat launching. Beaches at Luther Burbank Park and Groveland Beach Park are staffed with lifeguards during the summer season. Unguarded designated swimming areas also exist at Calkins Landing and Clarke Beach Park. Dock facilities that serve fishing and other activities are located at Luther Burbank Park and Proctor Landing, and seasonally at Clarke and Groveland Beaches. The City manages several summer camps for youth and adult with instruction on sailing and kayaking based at Luther Burbank Park.

Nineteen street ends of widths varying from 30' to 75' add an additional 600 lineal feet of shoreline to the public domain and provide the potential for considerable access to the water's edge in all segments of the Island. Development of some street ends has been undertaken as a cooperative effort between the city and the adjacent neighborhoods. Some provide swimming access, others offer car-top launching access, others provide minimal access solely for passive enjoyment because of the limitation of size or topography, and lack of neighborhood interest and availability of funds. Three street ends were re-developed in 2003, which included eliminating bulkheads and enhancing near shore habitat.

There are two private waterfront clubs owning a combined 1,194 feet of frontage. They provide swimming, moorage, and boat launching facilities to a significant portion of the Island's families.

Covenant Shores, a continuing care retirement community, owns approximately 650 feet of shoreline which serves as open space, swimming, picnicking, and moorage for its residential units. Numerous private neighborhood waterfront "parks," with shared access for neighboring residences, exist along the shoreline.

Regarding waterfront recreation, The City of Mercer Island Parks and Recreation Plan,

adopted in 2007, calls for Capital improvements at 2 waterfront facilities to enhance recreation opportunities. Shoreline restoration, swim beach enhancements and dock area improvements are anticipated at Luther Burbank Park, and improved boat launching and retrieval is anticipated with planned improvements at the Mercer Island Boat Launch. Future development of Luther Burbank Park is also subject to the Luther Burbank Master Plan.

GOAL

Water-dependent recreational activities available to the public are to be encouraged and increased on the shoreline of Mercer Island where appropriate and consistent with the public interest.

POLICIES

1. Provide additional public water-oriented recreation opportunities.
2. Locate public recreational uses in shoreline areas that can support those uses without risks to human health, safety, and/or security, while minimizing effects on shoreline functions, private property rights, and/or neighboring uses.
3. Priority should be given to recreational development for access to and use of the water.

3. RESIDENTIAL DEVELOPMENT

Present residential zoning on Mercer Island's shoreline is for single family residential uses, and conditional uses that are complementary to the single family environment, such as public parks, private recreational areas, retirement homes located on properties used primarily for a place of worship, and noncommercial recreational areas. It should be noted that some of the shoreline is not yet developed as intensely as it could be under existing zoning. Several large shoreline properties now used by one family could be subdivided to allow from one to three additional residences.

GOAL

Existing residential uses are to be recognized, and new residential construction will be subject to certain limitations where applicable.

POLICIES

1. Existing single-family residential uses will be protected. New construction or modifications should be allowed within the framework of the policies in this document and City Ordinance.

2. In single-family developments within the shoreline, the water's edge should be kept free of buildings.
3. Public access does not include the right to enter upon private residential property without the permission of the owner.
4. New overwater residential dwellings should not be permitted.
5. Single family residences should be identified as a priority use.

4. TRANSPORTATION FACILITIES

A. CIRCULATION

Principal transportation routes on Mercer Island include Inter-State 90, a highway that crosses Lake Washington via Mercer Island and two connecting bridges, and a series of arterial roads that follow the shoreline around the Island a short distance inland.

Thus, shoreline-related roads form an important element of principal transportation routes on the Island. In addition, numerous lateral roads connect the shoreline following arterials with properties along the water's edge, and frequently provide public access to the lake through developed and undeveloped street ends as well as visual access to the lake.

A rudimentary system of pedestrian and bicycle ways has gradually developed along portions of the shoreline following arterials; more definitive development of such ways is planned via the City's Pedestrian and Bicycle Facility Plan. Buses provide important modes of on-Island transportation as well as access to neighboring municipalities and employment centers.

GOAL

A balanced transportation system for moving people and goods is to be encouraged within existing corridors.

POLICIES

1. Develop efficient circulation systems in a manner that assures the safe movement of people and goods while minimizing adverse effects on shoreline use, developments and shoreline ecological functions.
2. Provide and/or enhance physical and visual public access to shorelines along public roads in accordance with the public access goals.

3. Encourage shoreline circulation systems that provide alternative routes and modes of travel. Within the I-90 corridor, allow movement of people by means of transit.

B. PARKING

The following policies address parking.

POLICIES

1. Parking facilities for motor vehicles or boat trailers should be minimized in the shoreline area.
 - a. Parking facilities should not be permitted along the water's edge.
 - b. Upland parking facilities for shoreline activities should provide adequate pedestrian access to the shoreline.
 - c. Upland parking facilities should be designed and landscaped to minimize adverse impacts on the shoreline and adjacent lands.
 - d. Parking facilities should be planned, located and designed where they will have the least possible adverse effect on unique or fragile shoreline features, and will not result in a net loss of shoreline ecological functions or adversely impact existing or planned water-dependent uses.
 - e. Parking facilities in shorelines should minimize the environmental and visual impacts.

5. UTILITIES

The following policies address utilities.

POLICIES

1. Utility facilities should be designed and located to assure no net loss of shoreline ecological functions, preserve the natural landscape, and minimize conflicts with present and planned land and shoreline uses while meeting the needs of future populations.
2. Utilities should be located in existing rights of way and corridors whenever possible.

Appendix A

Commute Trip Reduction Program



**CITY OF MERCER ISLAND
ORDINANCE NO. 09C-10**

**AN ORDINANCE OF THE CITY OF MERCER ISLAND, WASHINGTON
RESCINDING MERCER ISLAND CITY CODE CHAPTER 10.70,
COMMUTE TRIP REDUCTION PLAN; ADOPTING MERCER ISLAND
CITY CODE CHAPTER 10.71, COMMUTE TRIP REDUCTION PLAN**

WHEREAS, motor vehicle traffic is a major source of emissions that pollute the air, and air pollution causes significant harm to public health and degrades the quality of the environment; and

WHEREAS, increasing motor vehicle traffic aggravates traffic congestion in the Town Center of Mercer Island; and

WHEREAS, traffic congestion imposes significant cost on City business, government, and individuals in terms of lost working hours and delays in the delivery of goods and services as well as making the City a less desirable place to live, work, visit, and do business; and

WHEREAS, capital and environmental costs of fully accommodating the existing and projected motor vehicle traffic on roads and highways are prohibitive while decreasing the demand for vehicle trips is significantly less costly and is at least as effective in reducing traffic congestion and its impacts as constructing new transportation facilities; and

WHEREAS, employers have significant opportunities to encourage and facilitate the reduction of single-occupant vehicle commuting by employees; and

WHEREAS, in 1991 the state legislature enacted the State Commute Trip Reduction (CTR) Law, now known as the Commute Trip Reduction Efficiency Act, to require local governments in those counties experiencing the greatest automobile-related air pollution and traffic congestion to develop and implement plans to reduce single-occupant vehicle commute trips; and

WHEREAS, in 2006 the state legislature updated the Commute Trip Reduction Efficiency Act, codified in RCW 70.94.521, to extend the effective date and to make other significant revisions to the Act; and

WHEREAS, state policy, as set forth in RCW 70.94.527 and the CTR Board Guidelines, requires the City of Mercer Island to develop and implement a plan to reduce single occupant vehicle commute trips and vehicle miles travelled; and

WHEREAS, the City of Mercer Island recognizes the importance of increasing individual citizens' awareness of air quality, energy consumption, and traffic congestion and the contribution individual actions can make toward addressing these issues, and

WHEREAS, the City of Mercer Island's Commute Trip Reduction Plan was approved by the Puget Sound Regional Council in October 2007 and the State CTR Board in January 2008; and

WHEREAS, this ordinance is consistent with the CTR Board guidelines and RCW 70.94.521 through RCW 70.94.551;

WHEREAS, the State of Washington's 2006 update to the Commute Trip Reduction Efficiency Act caused Chapter 10.70 MICC to be outdated and in need of substantial revisions;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MERCER ISLAND, WASHINGTON DOES HEREBY ORDAIN AS FOLLOWS:

Section 1: MICC Chapter 10.70 Commute Trip Reduction (CTR) Plan. MICC Chapter 10.70 "Commute Trip Reduction (CTR) Plan" is hereby rescinded.

Section 2: MICC Chapter 10.71 Commute Trip Reduction (CTR) Plan. MICC Chapter 10.71 "Commute Trip Reduction (CTR) Plan" is hereby adopted, as follows:

10.71.010 Definitions

For the purpose of this Chapter, the following definitions shall apply:

"Affected Employee" means a full-time employee who begins his or her regular work day at a single worksite for an effected employer between 6:00 a.m. and 9:00 a.m. (inclusive) on two or more weekdays for at least twelve continuous months. Seasonal agricultural employees, including seasonal employees of processors of agricultural products, are excluded from the count of affected employees.

"Affected Employer" means an employer that employs one hundred (100) or more full-time employees at a single worksite, within the City of Mercer Island, who are scheduled to begin their regular work day between 6:00 a.m. and 9:00 a.m. (inclusive) on two or more weekdays for at least twelve continuous months. Construction worksites, when the expected duration of the construction is less than two years, are excluded from this definition.

"Baseline measurement" means the survey of affected employers to determine the drive-alone rate and vehicle miles traveled per employee at the worksite. The City uses this measurement to develop commute trip reduction goals for the affected employer. The baseline measurement must be conducted in a manner that meets the requirements specified by City.

"Carpool" means a motor vehicle, including a motorcycle, occupied by two to six people of at least 16 years of age traveling together for their commute trip, resulting in the reduction of a minimum of one motor vehicle commute trip.

"City" means the City of Mercer Island.

"Commute Trips" mean trips made from a worker's home to an affected worksite on weekdays.

“CTR” is the abbreviation of Commute Trip Reduction.

“CTR Plan” or “Commute Trip Reduction Plan” means the City’s plan authorized by MICC 10.71.020.

"CTR Program" means an affected employer's City approved strategies to reduce employees' drive alone trips and average VMT per employee.

"Compressed Work Week" means an alternative work schedule, in accordance with employer policy, that regularly allows a full-time employee to eliminate at least one work day every two weeks by working longer hours during the remaining days, resulting in fewer commute trips by the employee. This definition is primarily intended to include weekly and bi-weekly arrangements, the most typical being four 10-hour days or 80 hours in nine days, but may also include other arrangements.

“Drive Alone” or “Single-Occupant Vehicle” means a motor vehicle occupied by one (1) person for commute purposes, including a motorcycle.

“Employee Transportation Coordinator (ETC)” means a person who is designated as responsible for the development, implementation and monitoring of an employer's CTR program.

“Full-Time Employee” means a person, other than an independent contractor, whose position is scheduled on a continuous basis for 52 weeks for an average of at least 35 hours per week.

“Good Faith Effort” means that an employer has met the minimum requirements identified in RCW 70.94.531 and this Chapter, and is working collaboratively with the City to continue its existing CTR program or is developing and implementing program modifications likely to result in improvements to its CTR program over an agreed-upon length of time.

"Implementation" means active pursuit by an employer of the CTR goals of RCW 70.94.521-555 and this Chapter as evidenced by appointment of an employee transportation coordinator (ETC), distribution of information to employees regarding alternatives to drive alone trips, and commencement of other measures according to its approved CTR program and schedule.

"Proportion of Drive Alone Trips" or "Drive Alone Rate" means the number of commute trips over a set period made by employees in single-occupancy vehicles divided by the number of actual commute trips by employees working during that period.

“Single Worksite” means a building or group of buildings on physically contiguous parcels of land or on parcels separated solely by private or public roadways or rights-of-way.

"Vehicle Miles Traveled (VMT) Per Employee" means the sum of the individual vehicle commute trip lengths in miles made by employees over a set period divided by the number of employees during that period.

10.71.020 City of Mercer Island CTR Plan

The City Manager or his/her designee shall adopt and administer a Commute Trip Reduction Plan that will regulate affected employers' CTR programs, and set CTR goals for affected employers that are consistent with this Chapter. The City will review the CTR Plan each year and update the CTR Plan as necessary and at least once every 4 years.

10.71.030 Applicability

The provisions of this Chapter shall apply to any affected employer within the corporate limits of the City of Mercer Island.

10.71.040 Baseline Survey and CTR Program

A. Affected employers shall perform a baseline measurement within (90) days from the effective date of this Chapter or within 90 days of becoming an affected employer, whichever occurs later.

B. If an affected employer has performed a baseline measurement or equivalent thereto that was approved by the City pursuant to any previous Commute Trip Reduction Plan within three (3) years prior to the initial effective date of this Chapter, such measurement will be used as that employer's baseline measurement.

C. Affected employers shall identify themselves to the City within (90) days of becoming an affected employer.

D. Not more than 90 days after receiving written notification of the results of the baseline measurement from the City, an affected employer shall develop and submit a CTR Program to the City. The program will be developed in consultation with the City so as to be consistent with the goals of the CTR Plan. The program shall be implemented not more than 90 days after approval by the City.

E. If an affected employer has a City approved CTR Program in place at the time of the initial effective date of this Chapter, that Program shall remain effective until the Program's next scheduled update.

10.71.050 Change in Status as an Affected Employer

A. If an employer initially designated as an affected employer no longer employs one hundred (100) or more employees and expects not to employ one hundred (100) or more affected employees for the next twelve (12) months, that employer may submit a written request to the City to no longer be treated as an affected employer. If the employer proves to the City's satisfaction that it will not employ one hundred or more employees for the next twelve months, that employer is no longer an affected employer.

B. If an employer satisfies the requirements in paragraph A of this Section and subsequently employs one hundred (100) or more affected employees within the same twelve (12) months, that employer will be considered an affected employer for the entire 12 months and will be required to continue its most recent approved CTR program.

C. If an employer satisfies the requirements in paragraph A of this Section and subsequently employs one hundred (100) or more affected employees twelve (12) or more months after its

change in status to an unaffected employer, that employer shall be treated as a newly affected employer and will be subject to the same program requirements as other newly affected employers.

10.71.060 Requirements for Employers

Every affected employer is required to make a good faith effort, as defined in RCW 70.94.534(2) and this Chapter, to develop and implement a CTR program that will encourage its employees to reduce VMT per employee and drive alone trips. Each affected employer's CTR program must include the mandatory elements as described in MICC 10.71.070 and the additional program elements as required in MICC 10.71.080.

10.71.070 Mandatory Program Elements

Each affected employer's CTR program shall include the following mandatory elements:

A. Employee Transportation Coordinator (ETC). The employer shall designate an ETC to administer the CTR program. The ETC and/or designee's name, location, and telephone number must be prominently displayed physically or electronically at each affected worksite. The ETC shall oversee all elements of the employer's CTR program and act as liaison between the employer and the City. The objective is to have an effective transportation coordinator presence at each worksite; an affected employer with multiple sites may have one ETC for all sites.

B. Information Distribution. Information about alternatives to drive alone trips as well as a summary of the employer's CTR Program shall be provided to employees at least once a year and to new employees at the time of hire. The summary of the employer's CTR Program shall also be submitted to the City with the employer's program description and regular report.

10.71.080 Additional Program Elements

In addition to the specific program elements described above, the employer's CTR program shall include additional elements as needed to meet CTR goals. Elements may include, but are not limited to, one or more of the following:

- A. Provision of preferential parking for high-occupancy vehicles
- B. Reduced parking charges for high-occupancy vehicles;
- C. Instituting or increasing parking charges for drive alone commuters;
- D. Provision of commuter ride matching services to facilitate employee ridesharing for commute trips;
- E. Provision of subsidies for rail, transit, or vanpool fares and/or transit passes;
- F. Provision of vans or buses for employee ridesharing;
- G. Provision of subsidies for carpools, walking, bicycling, teleworking, or compressed schedules;
- H. Provision of incentives for employees that do not drive alone to work;
- I. Permitting the use of the employer's vehicles for carpooling or vanpooling;
- J. Permitting flexible work schedules to facilitate employees' use of transit, carpools, or vanpools;
- K. Cooperation with transportation providers to provide additional regular or express service to the worksite;

- L. Construction of special loading and unloading facilities for transit, carpool, and vanpool users;
- M. Provision of bicycle parking facilities, lockers, changing areas, and showers for employees who bicycle or walk to work;
- N. Provision of a program of parking incentives such as a rebate for employees who do not use the parking facilities;
- O. Establishment of a program to permit employees to work part- or full-time at home or at an alternative worksite closer to their homes which reduces commute trips;
- P. Establishment of a program of alternative work schedules, such as a compressed work week, which reduces commute trips;
- Q. Implementation of other measures designed to facilitate the use of high-occupancy vehicles, such as on-site day care facilities, emergency taxi services, or guaranteed ride home programs;
- R. Charging employees for parking, and/or the elimination of free parking; and
- S. Other measures that the employer believes will reduce the number and length of commute trips made to the site.

10.71.090 CTR Program Report and Description

A. Affected employers shall review their program and file a biennial CTR Program Report and Description with the City in accordance with the format and schedule provided by the City. The CTR Program Report and Description outlines the strategies to be undertaken by an employer to achieve the commute trip reduction goals for the reporting period. Employers are encouraged to consider innovative strategies and combine program elements in a manner that will best suit their location, site characteristics, business type, and employees' commuting needs. Employers are further encouraged to cooperate with each other to implement program elements.

B. At a minimum, the employer's CTR Program Report and Description must include:

1. A general description of the employment site location, transportation characteristics, employee parking availability, on-site amenities, and surrounding services;
2. The number of employees affected by the CTR program and the total number of employees at the site;
3. Documentation on compliance with the mandatory CTR program elements as described in MICC 10.71.070;
4. Description of any additional elements included in the employer's CTR program (as described in MICC 10.71.080); and
5. A statement of organizational commitment to provide appropriate resources to the program to meet the employer's established goals.

C. Document Review. The City shall review each affected employers' proposed CTR program within 90 days of receiving it from an affected employer. The City will approve, reject, or request modifications to the proposed CTR program within the 90 day review period unless the City provides written notification to the affected employer that the City will extend the review period by no more than 90 days. If the City does not expressly approve, reject, or request modifications to the proposed CTR program within the review period, the proposed CTR program will be deemed accepted. In the event the City requires modifications to the CTR program within a certain time frame or otherwise extends the review period, the implementation date for the employer's CTR program will be extended an equivalent number of days.

D. Modification of CTR Program Elements

1. Employer Requested Modifications. Any affected employer may submit a request to the City for modification of its approved CTR program. Such request may be granted if one of the following conditions exist:

- a. The affected employer can demonstrate it would be unable to comply with the CTR program elements for reasons beyond the control of the employer, or
- b. The affected employer can demonstrate that compliance with the program elements would constitute an undue hardship.

The City may ask the affected employer to substitute a program element of similar trip reduction potential rather than grant the employer's request.

2. City Required Modifications.

a. If an affected employer meets either the drive alone or VMT goals established in the CTR Plan, the employer has satisfied the objectives of the CTR plan and will not be required to improve its CTR program;

b. If an affected employer makes a good faith effort, as defined in RCW 70.94.534(2) and this Chapter, but has not met the applicable drive alone or VMT goal, no additional modifications are required.

c. If an affected employer fails to make a good faith effort as defined in RCW 70.94.534(2) and this Chapter, and fails to meet the applicable drive alone or VMT reduction goal, the City shall direct the employer to revise its program within 30 days to come into compliance with the measures defined by RCW 70.94.534(2), including specific recommended program modifications. In response to the recommended modifications, the employer shall submit a revised CTR Program Report and Description, including the requested modifications or equivalent measures, within 30 days of receiving written notice to revise its program. The City shall review the revisions and notify the employer of acceptance or rejection of the revised program. If a revised program is not accepted, the City will send written notice to that effect to the employer within 30 days and, if necessary, require the employer to attend a conference with program review staff for the purpose of reaching a consensus on the required program. A final decision on the required program will be issued in writing by the City within 10 working days of the conference.

E. Extensions. An affected employer may request additional time to submit a CTR Program Description and Report, or to implement or modify a program. Such requests shall be via written notice directed to the City Manager or his/her designee at least 30 days before the due date for which the extension is being requested. Extensions not to exceed 90 days shall be considered for reasonable causes. The City shall grant or deny the employer's extension request by written notice within 10 working days of its receipt of the extension request. If there is no response issued to the employer, an extension is automatically granted for 30 days. Extensions shall not exempt an employer from any responsibility in meeting program goals. Extensions granted due to delays or difficulties with any program element(s) shall not be cause for discontinuing or failing to implement other program elements. An employer's regular reporting date shall not be adjusted permanently as a result of these extensions. An employer's biennial reporting date may be extended at the discretion of the City.

10.71.100 Biennial Measure of Employee Commute Behavior

In addition to the baseline measurement, affected employers shall conduct a survey as a means of determining worksite progress toward meeting CTR goals. As part of the program evaluation, the employer shall distribute and collect Commute Trip Reduction Program Employee Questionnaires (surveys) to all affected employees at least once every two years, and strive to achieve at least a 70% response rate from affected employees in the City of Mercer Island.

10.71.110 Record Keeping

Affected employers shall maintain a copy of their approved CTR Program Description and Report, their CTR Program Employee questionnaire results, and all supporting documentation for the descriptions and assertions made in any CTR report to the City for a minimum of 48 months.

10.71.120 Exemptions and Goal Modifications

A. **Worksite Exemptions.** An affected employer may request the City to grant an exemption from any or all CTR program requirements or penalties for a particular worksite. The employer must demonstrate that it would experience undue hardship in complying with some or all the requirements of this Chapter as a result of the characteristics of its business, its work force, or its location(s). An exemption may be granted if, and only if, the affected employer demonstrates that it faces extraordinary circumstances, such as bankruptcy, and is unable to implement any measures that could reduce the proportion of drive alone trips and VMT per employee. Exemptions may be granted by the City at any time based on a written request provided by the affected employer. The request should clearly explain the conditions for which the affected employer is seeking an exemption from some or all the requirements of this Chapter. The City shall grant or deny the request within 30 days of receipt of the request. The City shall review annually all affected employers receiving exemptions, and shall determine whether the exemption will be in effect during the following program year.

B. **Employee Exemptions.** Employees who are required to drive alone to work as a condition of employment may be exempted from a worksite's CTR program. Exemptions may also be granted for employees who work variable shifts throughout the year and who do not rotate as a group to identical shifts. The City will use the criteria identified in the CTR Board Administrative Guidelines to assess the validity of affected employee exemption requests. The City shall grant or deny the request within 30 days of receipt of the request. The City shall review annually all employee exemption requests, and shall determine whether the exemption will be in effect during the following program year.

C. Modification of CTR Program Goals

1. An affected employer may request that the City modify its CTR program goals. Such requests shall be filed in writing at least 60 days prior to the date the worksite is required to submit its program description or biennial report. The goal modification request must clearly explain why the worksite is unable to achieve the applicable goal. The worksite must also demonstrate that it has implemented all of the elements contained in its approved CTR program.

2. The City will review and grant or deny requests for goal modifications in accordance with procedures and criteria identified in the CTR Board Guidelines.

3. An employer may not request a modification of the applicable goals until one year after City approval of its initial program description or biannual report.

10.71.130 Civil Monetary Penalties

A. Each day an affected employer violates this Chapter shall constitute a separate violation and shall be considered a Class I infraction pursuant to RCW 7.80.120. The penalty for a violation shall be \$50 per day.

B. No affected employer with an approved CTR program which has made a good faith effort will be required to pay a civil monetary penalty solely for its failure to reach its applicable drive alone or VMT goal;

C. An affected employer shall not be liable for civil monetary penalties if failure to implement an element of a CTR program was the result of an inability to reach agreement with a certified collective bargaining agent under applicable laws where the issue was raised by the employer and pursued in good faith. Unionized employers shall be presumed to act in good faith compliance if they:

1. Propose to a recognized union any provision of the employer's CTR program that is subject to bargaining as defined by the National Labor Relations Act; and

2. Advise the union of the existence of the statute and the mandates of the CTR program approved by the City and advise the union that the proposal being made is necessary for compliance with state law (RCW 70.94.531).

10.71.140 Appeals

A. Reconsideration of Decisions – Conference. Any affected employer wishing to appeal a decision regarding program approval, goal modifications, program modifications, or exemptions must request a conference with the City Manager or his or her designee to request a reconsideration of the decision. Such a conference must be requested within ten (10) City business days of the decision and shall be scheduled within thirty (30) days of the decision. The City shall issue a final decision on the reconsideration request within ten (10) City business days of the completion of the conference. Any action seeking judicial review of the final decision must be filed within (14) days from the date the decision is rendered.

B. Appeals of Notice of Infraction. Any appeal of a notice of infraction issued for a violation of this Chapter may be appealed pursuant to Chapter 7.80 RCW and rules of procedure governing the Mercer Island Municipal Court.

Section 4: Ratification. Any act consistent with the authority and prior to the effective date of this ordinance is hereby ratified and affirmed.

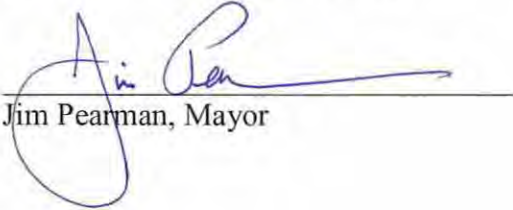
Section 5: Severability/Validity. The provisions of this ordinance are declared separate and severable. If any section, paragraph, subsection, clause or phrase of this ordinance is for any reason held to be unconstitutional or invalid, such decision shall not affect the validity of the remaining portion of this ordinance. The City Council hereby declares that they would have passed this ordinance and each

section, paragraph, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, paragraphs, clauses or phrases were unconstitutional or invalid.

Section 5: Effective Date. This ordinance shall take effect and be in force thirty (30) days after its passage and publication.

PASSED by the City Council of the City of Mercer Island, Washington at its regular meeting on the 7th day of December, 2009 and signed in authentication of its passage.

CITY OF MERCER ISLAND


Jim Pearman, Mayor

ATTEST:


Allison Spietz, City Clerk

Approved as to Form:


Katie Knight, City Attorney

Date of Publication: 12/16/09

2015 COMPREHENSIVE PLAN UPDATE

SCOPE OF WORK

February 3, 2014

1. All Elements
 - a. Review and amend for consistency with Growth Management Act and applicable State laws; Vision 2040; Transportation 2040; and King County Countywide Planning Policies.
 - b. Update all maps and graphics as needed.
 - c. Update all demographic information and statistics.
 - d. Review and consider policies related to sustainability.

2. Land Use Element
 - a. Update buildable lands analysis.
 - b. Update growth target numbers.
 - c. Update land use map to reflect projected twenty-year growth, if needed.
 - d. Update critical area policies, including conservation or protection measures necessary to preserve or enhance anadromous fisheries.
 - e. Identify lands useful for public purposes.
 - f. Update economic development policies, if needed.
 - g. Consider health and active living policies.

3. Housing Element
 - a. Update inventory and analysis of existing and projected housing needs.
 - b. Identify sufficient land for housing.
 - c. Analyze housing needs for various economic segments.
 - d. Update Housing Strategy Plan.

4. Transportation Element
 - a. Update transportation facility and service inventory.
 - b. Update existing Level of Service (LOS).
 - c. Update LOS projection based on growth targets, if needed.
 - d. Update LOS policy, if needed.
 - e. Identify actions to bring transportation facilities and services to established LOS.
 - f. Update CIP to fund transportation projects to help meet LOS standards, as needed.

5. Utilities Element
 - a. Update general location and capacity of existing and proposed utilities: water utility, sewer utility, stormwater, solid waste, electricity, natural gas, telecommunications.

6. Capital Facilities Element
 - a. Update inventory of capital facilities: public streets and roads, pedestrian and bicycle facilities, parks and open space, public buildings, public schools, water system, sewer system, storm water system.
 - b. Update existing capital facilities Level of Service (LOS).

- c. Update forecast of future capital needs.
 - d. Update LOS standard based on future needs.
 - e. Update LOS policy if needed.
 - f. Identify deficiencies (if any) and actions to bring transportation facilities and services to established LOS.
 - g. Update capital facilities financing sources.
 - h. Update 6-year CIP and 20-year capital facilities financial forecast to recognize proposed capital facility projects.
7. Shorelines Element
- a. Incorporate adopted new Shoreline Master Program goals and policies.
8. Development Regulations
- a. Update critical area regulations, if needed.
 - b. Update regulations for consistency with any Comprehensive Plan changes, if needed.



Memorandum

To: City Council
From: Planning Commission
Subject: 2015 Comprehensive Plan Update
Date: November 19, 2014

Enclosed is the Planning Commission's recommendation for the required 2015 Comprehensive Plan update. During the update process, the Planning Commission recognized the limited scope of work, due to schedule and time. We also understand that the Town Center Visioning Subcommittee is working on visioning, and later, changes to the development regulations and potential Comprehensive Plan amendments.

Based on these factors, the Planning Commission would request that the following to be considered as future work program items, as time and budget allows:

- a) Complete an update that provides for a more cohesive flow of language and chronology of events, and which takes into consideration the various updates overtime;
- b) Provide a matrix of action items that are in the Comprehensive Plan;
- c) Ensure the Comprehensive Plan is consistent with any new goals developed by the Town Center Visioning Subcommittee;
- d) Consider policy revisions throughout the document, not just with the updated information reflecting the most recent Countywide Planning Policies;
- e) Ensure that the development code, when updated is consistent with the comprehensive plan;
- f) Examine future parking supply and demand, and traffic flow, in the Town Center in the context of the planned light rail station, anticipated growth.

After eight meetings working on the 2015 Comprehensive Plan Update, we hope that the City Council will find our recommendation of help.



**CITY OF MERCER ISLAND
PLANNING COMMISSION
FINDINGS OF FACT AND
CONCLUSIONS OF LAW**

**Agenda Item: 1
Nov. 19, 2014**

File Numbers:	CPA14-001/SEP14-026
Description:	An Open Record Public Hearing on the Comprehensive Plan amendment to comply with the state required update, per RCW 36.70A.130
Applicant:	City of Mercer Island
Locations:	Citywide
	George Steirer, Principal Planner
Exhibits:	<ol style="list-style-type: none">1. Draft Comprehensive Plan Update2. Draft Memorandum to City Council, from the Planning Commission3. Draft Ordinance Amending Mercer Island City Code Title 194. Previous Public Comments

I. SUMMARY

Pursuant to Revised Code of Washington (RCW) 36.70A.130(5), the Washington State Growth Management Act (GMA) requires the City of Mercer Island to update the Comprehensive Plan by June 30, 2015. The update, must comply with the GMA requirements, which includes consistency with the Countywide Planning Policies (CPP's). After eight Planning Commission meetings, and an open house, a complete draft is included for review (Exhibit 1).

A Comprehensive Plan amendment is a legislative action as set forth in MICC 19.15.010(E). Applicable procedural requirements for a legislative action are contained within MICC 19.15.020 including having the Planning Commission conduct an open record public hearing and forward a recommendation to the City Council. As the final decision making authority for legislative actions, the City Council will then conduct a public hearing and take action.

The decision criteria by which a Comprehensive Plan amendment request is evaluated is contained in MICC 19.15.020(G)(1). The criteria addresses both amendment requests that affect the city as a whole as well as site specific amendment requests.

A State Environmental Policy Act (SEPA) review for a non-project action as defined by WAC 197-11-704(2)(b)(ii) is required for a proposed Comprehensive Plan amendment. A SEPA checklist has been prepared for this proposal. A determination of Non-significance was issued on November 17, 2014.

The City issued a Public Notice of Application and Open Record Hearing, which was published in the City's weekly permit bulletin on October 6, 2014. The Notice was also published in the Mercer Island Reporter on October 29, 2014. The initial public comment period ran from October 6, 2014 through

5:00 P.M. on November 12, 2014. The City received no written comments concerning the proposed amendment during the comment period. Comments received prior to the formal comment period have previously been forwarded to the Planning Commission. The comments are also included as Exhibit 4.

The SEPA Responsible Official determined that this proposal would not have a probable significant adverse impact on the environment, and a SEPA Determination of Non-Significance (DNS) was issued on November 17, 2014.

II. PLANNING COMMISSION FINDINGS, ANALYSIS AND CRITERIA FOR REVIEW

Following is the criteria (**in bold**) outlined in MICC 19.15.020(G)(1) and included as Attachment 2 that the Planning Commission must use in making a recommendation to the City Council. Planning Commission analysis and findings (*in italics*) describe how the proposal relates to the code criteria for a Comprehensive Plan amendment. Planning Commission findings are based on the information used in forming the proposal, professional judgment based on accepted planning principals, and the goals, regulations and policies of the Unified Land Development Code and Comprehensive Plan.

19.15.020(G)(1) Comprehensive Plan Amendment

a. There exists obvious technical error in the information contained in the comprehensive plan;

Planning Commission Analysis and Findings:

This proposed update of the Comprehensive Plan would replace outdated information with current information. As the current document is outdated, they consist of technical errors.

b. The amendment is consistent with the Growth Management Act, the Countywide planning policies; and the other provisions of the Comprehensive Plan and its policies;

Planning Commission Analysis and Findings:

The adopted 2005 Comprehensive Plan was consistent with the Growth Management Act, Countywide Planning Policies and other requirements. However, due to updates in the GMA and Countywide Planning Policies (such as required housing and employment targets) the current adopted Comprehensive Plan is not entirely consistent. The draft update is proposed to be consistent with the changes in the GMA and CPP's.

c. The amendment addresses changing circumstances of the city as a whole;

Planning Commission Analysis and Findings:

Yes, the proposed updates to the Comprehensive Plan address changing circumstances of the city as a whole. This application reflects a non-project, citywide legislative update. The proposed updates include the following:

- 1. Updated population, housing and forecast projections reflecting the allocations determined by the Growth Management Planning Council and in support of the regional growth strategy.*
- 2. A traffic study and subsequent change to the level of service (LOS) of arterial street intersections, plus a list of capital transportation improvements needed to maintain LOS standards.*
- 3. Consideration of a "complete streets" policy emphasizing choice in transportation modes and multimodal, complete arterial streets.*

4. *New policies addressing climate change and greenhouse gas emissions, in concert with Puget Sound Regional Council's Transportation 2040 and Vision 2040 plans.*

d. If the amendment is directed at a specific property, the following additional findings shall be determined:

Planning Commission Analysis and Findings:

This provision is not applicable, as the draft update to the Plan is citywide, with no changes to property zoning, uses, or development standards. Therefore, the other criterion in 19.15.020(G)(1)(d) is not applicable.

III. PLANNING COMMISSION RECOMMENDATION

Based on the analysis and findings included herein, the Planning Commission hereby recommends that the City Council approve the Comprehensive Plan update as provided as Exhibit 1, and to authorize the Chair of the Planning Commission to sign the recommendation to the City Council on behalf of the Planning Commission.



Jon Friedman
Planning Commission Chair

November 19, 2014
Date

I. DISCUSSION TOPICS

Topic	City Council Direction to Staff
<p>1. <u>Population Growth</u>: Land Use Element page 26, Action Plan Policy 1.6. What are implications of accepting population growth to 25,200 persons by 2030? Should we adopt as part of our CP a statement that the City can no longer plan for continuous population growth increases due to our geography. The second sentence (dealing with build out by 2035) is important and we need to understand what it means, whether it is correct, how other cities have dealt with this, what our options are for dealing with this.</p>	<p><i>This topic will be discussed by Council at a future date.</i></p>
<p>2. <u>Affordable Housing</u>: Housing Element page 2, Introduction and Growth Management Act Discussion. Do we want to continue to include in our CP an expressed desire to promote affordable housing on Mercer Island?</p>	<ul style="list-style-type: none"> • <i>Look at the Countywide Planning Policies about affordable housing.</i> • <i>Keep in the Comprehensive Plan a desire to promote affordable housing.</i>
<p>3. <u>Residential Zoning Outside Town Center</u>: Land Use Element, page 22, Goal 15 –raises this issue as well as discussion of demonstration projects/cottage housing in the Housing Element, page 22. CP assumes that most growth will occur in Town Center but we still have many lots in single family zones that are larger than minimum required and could be combined and/or subdivided to create additional buildable lots. We also have some citizens who would prefer we permit denser housing in single family zones. Conflicting goals of smaller/more affordable/diverse housing in Single Family Zones versus less housing units through increasing lot sizes in order to control future population growth. Also there is the issue of allowing houses that are too large on smaller lots (First Hill issue).</p>	<ul style="list-style-type: none"> • <i>Tighten up the existing regulations to address the “low hanging fruit” concerning residential development such as potentially eliminating fence height and impervious surface deviations.</i> • <i>Keep the proposed language for a potential demonstration project in the Housing Element (Policy 3.11).</i> • <i>Consider a policy that would encourage development to better reflect existing lot size rather than what might be allowed under a specific zoning designation.</i>
<p>4. <u>Historical Homes</u>: do we want to include language</p>	<p><i>Incentivize people to keep the house they have.</i></p>

AB 5175
Exhibit 5

<p>recognizing architecturally or historically significant homes on the Island, and encouraging that they be remodeled rather than torn down by creating incentive to do so.</p>	
<p>5. <u>Town Center Purpose – Economic Development:</u> Land Use Element, Economic Development, page 22, Policy 14.6 raises issue of whether Town Center should have as one of its purposes to draw consumers from other areas of Puget Sound.</p>	<p><i>This topic will be discussed by Council at a future date.</i></p>
<p>6. <u>Impact Fees for Schools/Parks/Transportation:</u> should we refer to this in CP and, if so, should we include a policy that avoids these adversely impacting affordable housing development.</p>	<p><i>The City should consider a policy regarding the implementation of impact fees so that growth pays for growth. Staff Update (5/2/16): Impact fee policies were added in 2015.</i></p>
<p>7. <u>Level of Service:</u> Transportation Element, page 13, policies 10.1 and 10.3. Do we want to go to a LOS D standard at some or all intersections.</p> <ul style="list-style-type: none"> • What is the significance of going to LOS D and what does it mean to drivers. • Which intersections now operate at LOS D or lower? • What keeping LOS C permit us to charge higher impact fees? • Can we state that LOS C remains our aspirational goal but LOS D would be acceptable when necessary? • If Section 10.3 is intended to give the City some flexibility if the LOS standard cannot be maintained, why not keep Sect. 10.1 at LOS C? Otherwise, 10.3 would seem to give us an excuse to go to LOS E in some areas? 	<p><i>This topic will be discussed by Council at a future date.</i></p>

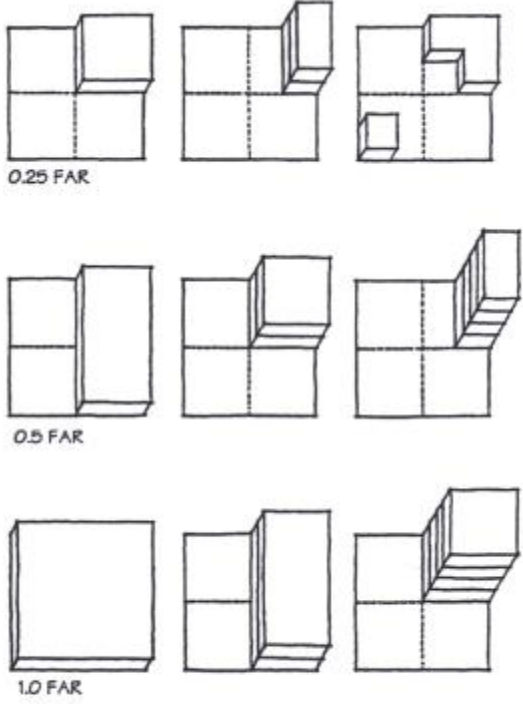
II. QUESTIONS FOR STAFF TO ANSWER DURING PRESENTATION

A. GENERAL.

Location	Issue	Comments
Introduction, page 9- Population	The sentence starting out with “Mercer Islanders...” is incorrect. 23,310 is an estimate by the Office of Financial Management. PSRC has not produced estimate since 2010.	<ul style="list-style-type: none"> • 23,310 is an estimate forecasted by OFM: OFM Forecast - Page 3 • The PSRC estimates are based on data from 2013. The actual projection for 2030 is 25,243: PSRC Forecast - Page 79
	Do we need a “rural element” in our CP to comply with GMA requirements?	<ul style="list-style-type: none"> • Pursuant to RCW 36.70A.070(5), “Counties shall include a rural element...” Rural elements are not required for cities that are required to plan. • Also, per RCW 36.70A.030(16), “Rural development” refers to development outside the urban growth area and outside agricultural, forest, and mineral resource lands designated pursuant to RCW 36.70A.170.” Mercer Island is within King County’s Urban Growth Area Boundary: UGA Boundary
	Is there any advantage to including/excluding “optional elements” such as “economic development?”	<i>Land Use Goal 4 contains the City’s economic development policies. The commercial area within the City is relatively small. The City could add more economic development policies into the Land Use Element without creating a specific Economic Development Element.</i>

B. LAND USE ELEMENT

Location	Issue	Comments
Land Use, page 4- New text	Why is “sustainability” discussion included in Land Use element	<i>“Sustainability” is used throughout the Comprehensive Plan.</i>
Land Use, page 5- Table 1	Meaning and calculation of Total FAR. Also, can data in this table be updated as they now reflect 2004 information	<ul style="list-style-type: none"> • FAR is an acronym for “floor area ratio.” It’s a calculation of the gross floor area of a building relative to its net site area. The net site area excludes rights-of-way, critical areas, and land used for public purposes.

		 <p>0.25 FAR</p> <p>0.5 FAR</p> <p>1.0 FAR</p> <p>Examples of floor area ratios</p> <ul style="list-style-type: none"> • Staff has updated the information in this table.
<p>Land Use, page 6 - 2nd para</p>	<p>Is it still true that 95% of residential land is developed</p>	<p><i>The Comprehensive Plan states that approximately 95% of land is developed, which intends to illustrate that Mercer Island is built out. This is likely slightly higher than 95%. However, it is an approximation intended to illustrate the built out status of the Island.</i></p>
<p>Land Use, page 6 - 3rd para</p>	<p>How much additional capacity do we have from larger lots that can still be subdivided</p>	<p><i>Staff is presently working on this request. The information will be provided to Council as soon as it is available.</i></p>
<p>Land Use, page 7 - 1st para</p>	<p>Should Shorewood reference be updated to reflect proposed expansion</p>	<p><i>No. Shorewood has submitted for land use permits, but they are not vested, as they have not applied for building permits.</i></p>
<p>Land Use, page 8 - 2nd para</p>	<p>How does one compute job capacity</p>	<p><i>After determining which parcels are either redevelopable (based on improvement to land value ratio of 0.5 or less) or vacant, the total net area of the parcels is calculated for each zone that allows commercial uses. For the Town Center, 19.44 acres were determined to be</i></p>

		<p>redevelopable. No vacant land was included. A market factor of 20% was removed leaving 15.55 redevelopable acres. Based on previous developments, it was determined that 49% of the redevelopable land in the Town Center is usually used for commercial purposes. This leaves 7.62 acres for commercial development. The net land area is multiplied by the assumed future FAR, which is 2.66, based on building area/net lot area in the Town Center for developments constructed between 2006 through 2011. The FAR is multiplied by the land with commercial capacity for a total commercial capacity of 20.27 acres (882,926 sq. ft.). Existing floor area on parcels determined to be redevelopable is subtracted out so that those jobs are not counted twice. 16.83 acres or 733,050 sq. ft. remain. 400 sq. ft. per employee for the new floor area is assumed. $733,050/400 =$ an employment capacity of 1832.62 in the Town Center. This is added to the additional capacity in the pipeline of 66.96 jobs for a total of 1899.58 jobs.</p>
<p>Land Use, page 9 - 4th para</p>	<p>What is basis for saying that 614 new housing units could be accommodated in Single Family zones (vacant lots, ADUs, subdividing?)</p>	<p>This takes into consideration vacant parcels and those properties that can be subdivided in Single Family zones. It is based on achieved densities from subdivisions and permits issued for net new units from 2006 through 2011. The building permits issued for net new units include ADUs, so ADUs factor into the achieved density that informs future capacity.</p>
<p>Land Use, page 9 - 4th para</p>	<p>Explain methodology for computing 1,247 additional units in Town Center</p>	<p>Housing capacity in the Town Center, like with single family residential capacity, is based on achieved residential density in the Town Center from 2006 through 2011. The achieved density is 99.16 dwelling units/acre. Approximately 19.44 net acres (excluding public right-of-way) of the Town Center were determined to be redevelopable. A market factor of 20% was excluded, so 15.55 acres remained. Based on previous developments, 51% of that area would likely be residential. The rest would be comprised of other uses. This left 7.93 redevelopable acres. Using the achieved density of 99.16 dwelling units per acre, the housing capacity was assumed to be 786.49 units. Added to that capacity were the 461 units “in the pipeline” in the Town Center at the end of 2011. Pipeline projects are those where the permitting process has commenced, and permits may have been issued, but permits have not finalized. Therefore, the total housing capacity in the Town Center was calculated to be 1247 units (786.49+461).</p>

<p>Land Use, page 9 - 5th para</p>	<p>Explain what “improvement to land value ratio of 0.5 or less” means and how it is calculated</p>	<p><i>Staff looked at the King County property report for parcels in the Town Center. The 2011 Tax Year “Appraised Improvements Value” was divided by the “Appraised Land Value” to come up with a ratio of improvements to land value. For example, the 2011 ratio for the Walgreens property is 0.07 (498,000/6,821,400), which would classify it as redevelopable. To contrast, the Mercer’s ratio is 4.24 (29,590,000/6,964,000). This is a continuation of the threshold used for Mercer Island in previous Buildable Lands reports. This methodology is also consistent with that used for Buildable Lands by other jurisdictions within King County for determining redevelopable parcels.</i></p>
<p>Land Use, page 10 - 1st para</p>	<p>Are the housing and population forecast numbers a more accurate projection than the numbers allocated to Mercer Island by the Growth Management Policy Council in 2009? What is the significance of the fact that the PSRC numbers are lower than the GMPC numbers, if any? Can the lower PSRC numbers be used by the City in 2017 as part of the discussion with the GMPC when it reviews the allocation of housing units that the Island should take?</p>	<ul style="list-style-type: none"> • <i>One set of numbers is not necessarily more accurate than the other. The housing and population forecast numbers provided differ in sources, methodologies, and forecasting horizons.</i> • <i>There is no significance in the PSRC numbers being lower than the GMPC numbers. The PSRC numbers were projected using UrbanSim modeling software.</i> • <i>The PSRC numbers could potentially be used by the City in 2017 in discussions with the GMPC to support reduced housing targets.</i>
<p>Land Use, page 12 - Table 4</p>	<p>Is this the current forecast for the build out at the future dates and the actual build out for 2010? Reconcile the numbers in the table with the 1300 additional units we’ve previously discussed. Multi-family shows a very small increase from 2236 to 2261, yet that’s where we’ve said the growth will occur.</p>	<ul style="list-style-type: none"> • <i>The first row of the table is actual data from the 2010 census, except for ADUs, which was the actual number in 2010 according to City records.</i> • <i>The 1,300 units cannot be reconciled due to the differences in the numbers discussed above.</i> • <i>The forecasted multi-family numbers are from PSRC’s UrbanSim model and do not accurately reflect expected growth.</i>
<p>Land Use, page 12 - Table 4</p>	<p>The housing forecast is 50% different than the population forecast based upon household size.</p>	<p><i>The figures were provided by either the PSRC or the Census. They’re not from the City.</i></p>

Land Use, page 12 - Table 4 Notes	Why delete Notes 2-4	<i>The notes are being deleted because they no longer apply. Staff previously calculated the figures in the table. However, the proposed figures were determined using the PSRC's UrbanSim software.</i>
Land Use, page 13 - 1 st para	Seems outdated – strip malls no longer constitute the main message	<i>The following text revision was made: Consequently, the Town Center consists of principally <u>many</u> one story strip centers, surrounded by vast parking lots</i>
Land Use, page 13 - 2 nd para (deleted)	Does not reflect last 10 years of growth	<i>The entire section was deleted and renumbered.</i>
Land Use, page 26 - Policy 1.6	The second sentence (dealing with build out by 2035) is important and we need to understand what it means, whether it is correct, how other cities have dealt with this, what our options are for dealing with this.	<i>This will be addressed as part of the Council's future discussion topics.</i>
Land Use, page 27 -	What changes were made in new Land Use Plan	<i>No changes were made. A mistake in the designation of Mercerdale Park was corrected.</i>

C. HOUSING ELEMENT

Location	Issue	Comments
Housing, page 23 -Policy 3.18	What are “Universal Design Improvements”	<i>This is a term found in the Housing Element of the City of Sammamish’s Housing Element that deals with accessibility. It is defined as “a broad spectrum of ideas meant to produce products, buildings, or other built environments that are usable to the greatest extent possible by everyone, regardless of their age, ability, or status in life. Wheelchair ramps, essential for people in wheelchairs but also used by all, are a common example. There are also cabinets with pull-out shelves, kitchen counters at several heights to accommodate different tasks and postures, and low floor buses that “kneel” (bring their front end to ground level, rather than on-board lifts).</i>

D. TRANSPORTATION ELEMENT

Location	Issue	Comments
Transportation, page 7 – Policy 2.6	What is “compact development”	<i>Compact development is the type of development that you would see in the Town Center that includes higher density, multi-story, mixed-use projects with good access to transit.</i>

Transportation, page 10 – Policy 6.4	Why “six years”	<i>Six years is specified regarding concurrency in the Growth Management Act as the period of time a development has to meet the specified level of service.</i>
Transportation, page 35 – 2 nd para (deleted)	Why include any reference to I-90 tolling	<i>Both references to I-90 tolling in the Transportation Element have been removed.</i>
Transportation, page 45 – 2 nd para	What is the meaning of “Combined the City anticipates approximately \$2.3 million to \$2.6 million in annual revenues.	<i>The figures provided add up to \$2.3 million. However, a range was given to anticipate likely increases in real estate excise taxes and/or the gas tax.</i>

III. OMITTED ITEMS – OUTSIDE SCOPE OF TONIGHT’S DISCUSSION

Issue	Description
Closure of Center Roadway	While not directly part of the Comp Plan, the closure of the center lanes that are currently scheduled in 2017 should impact the traffic flow on the Island. This impact was never specifically addressed (at least I did not see it). Can Noel and/or Scott state what is the status of the lane closure and also state to the best of our knowledge why closure has to begin in 2017 and not later. I think we all want to better understand the construction schedule to see if it can be adjusted with the least adverse impact on the Island without jeopardizing the 2023 target date. Whether we want to retain our own experts to review the ST/Metro explanation would be a different issue.
Bus Intercept	Page 84 says that the Transportation Element must be consistent with the Land Use Element that discusses housing and economic growth. Does the Transportation Element take into consideration the possible impact due to the bus intercept proposal? If not, won't that proposal have an impact?

IV. STYLE/TYPO COMMENTS – FOR STAFF REFERENCE ONLY AND NOT FOR COUNCIL DISCUSSION

Location	Issue	Comments
General	Should GMA goals be shown at the beginning of each CP element	<i>There are many goals that inform the Comprehensive Plan from GMA, Vision 2040 and the Countywide Planning Policies. A reference to these documents will be added to the Introduction chapter.</i>
Introduction, page 5 –	“Mercer Islanders expect from their”	<i>Per Council’s direction, this correction was made.</i>

3 rd value (Grammar)		
Introduction, page 8 – 6 th para	Should not delete “diversity” references as that is part of later discussion in Housing Element	<i>“Diversity” references will be added back into the text.</i>
Introduction, page 12 – 2 nd para	Should reference current Visioning process	<i>The following text was added, but will be updated as needed to reflect final timing of decisions for the Town Center work: <u>Concurrent to the Comprehensive Plan update, the City is conducting a Town Center Visioning process to assess growth in the Town Center’s and prepare new design objectives and standards. Public involvement throughout the Town Center Visioning process has incorporated the efforts of a citizen stakeholder group, as well as a liaison group of both Councilmembers and Commissioners. Public input meetings were also held to encourage participation from residents.</u></i>
Land Use, page 3 – 4 th (last) para (Grammar)	‘was’ should be ‘were’ in last paragraph	<i>Per Council’s direction, this correction will be made.</i>
Land Use, page 3 – 4 th (last) para	Come up with wording other than “are now bearing fruit” as people can disagree as to what that means.	<i>The following changes have been made to the text: The <u>effects of the City’s efforts to focus growth and revitalize the Town Center through targeted capital improvements, development incentives and design standards to foster high quality development are now bearing fruit materializing.</u></i>
Land Use, page 10 – 1 st para	Conflict between 2035 housing target goal of 2,320 new units at 2.54 people/household = 5,893 people compared to a population growth estimate of 2,501 additional population growth by 2030. Note: Switching between 2030 (population) and 2035 (housing) makes comparisons difficult to follow.	<i>The King County Countywide Planning Policies establish the housing target goal via the King County Growth Management Planning Council (GPMC). The Housing and Population Forecast was generated by the PSRC using the UrbanSim land use model. Unfortunately, they each use different methodologies and forecast horizons, so their figures will not be the same.</i>
Land Use, page 10 – 5 th (last) para	Planning staff predict that PSRC’s multifamily unit growth estimates for the period through 2030 are likely to be	<i>The existing text has been replaced by the proposed text.</i>

<p><i>Added Text at End: Suggested Rewrite)</i></p>	<p>surpassed as early as 2020. This prediction is based on the established pattern of larger, mixed use developments adding 100-200 units at a time to the City’s multifamily housing supply and projects that are now in the development pipeline.</p>	
<p>Land Use, page 12 – Table 4</p>	<p>Suggest doing separate tables for actuals and forecasts and to also specify when forecast was made and the period it applies to.</p>	<p><i>This suggestion has been noted.</i></p>
<p>Land Use, page 13 – 1st para of Outside Town Center</p>	<p>Delete “a relatively small amount of” as people can argue as to whether 6% growth is or is not relatively small for MI. No need to characterize this.</p>	<p><i>This has been deleted.</i></p>
<p>Land Use, pages 14 – 22</p>	<p>Note that these will need to be reviewed after Visioning Process is completed</p>	<p><i>The Joint Commission recommended Comprehensive Plan amendments, which are incorporated here and reflect the new subareas.</i></p>
<p>Housing, page 4 – 4th, 5th, and 6th para</p>	<p>Reading paragraphs together suggests that 2014 Buildable Lands Report is outdated. Wouldn’t it make sense to have one number that reflects current situation?</p>	<p><i>Staff moved paragraph 6 up to paragraph 4 so that the order reads more clearly.</i></p>
<p>Housing, page 12 – 4th para</p>	<p>Add “lifestyle choice” to affordability.</p>	<p><i>The text will be modified as follows: An accessory unit built into an existing home can provide a separate living unit that provides additional income to the home owner as well as more affordable living <u>or variety in lifestyle choice</u> for renters.</i></p>
<p>Housing, page 19 – 4th para</p>	<p>Change “young Mercer Islanders” to “young adults.”</p>	<p><i>The text was modified as follows: ... young Mercer Islanders<u>adults</u> wishing to begin home ownership in the community where they grew up.</i></p>

Transportation, page 10 – Policy 6.5	May need to be adjusted if we adopt Impact Fees	<i>This comment is noted and will be revisited since Impact Fees have been adopted.</i>
Transportation, page 45 – 3 rd para	Modify to reflect that TBD has been formed.	<i>The text has been modified as follows: In 2014, the City is considering<u>established</u> a Transportation Benefit District that will added a \$20 per vehicle fee to provide an estimated \$350,000 annually to support transportation needs.</i>



CITY COUNCIL PLANNING SCHEDULE

All meetings are held in the City Hall Council Chambers unless otherwise noted.
 Special Meetings and Study Sessions begin at 6:00 pm. Regular Meetings begin at 7:00 pm.
 Items listed for each meeting are not in any particular order.

MAY 2 – 5:30 PM		
Item Type	Topic/Presenter	Time
<i>Study Session (5:30-7:00pm)</i>	Town Center Vision and Development Code Update Briefing from Joint Commission – S. Greenberg	90
<i>Consent Calendar</i>	Interlocal Agreement with the State of Washington Department of Enterprise Services for Surplus Operations Services – Z. Houvener	--
<i>Consent Calendar</i>	Madrona Crest West Project Construction Bid Award – Rona Lin	--
<i>Consent Calendar</i>	Planting and Landscape Easement Relinquishment and Termination - Pagliacci Pizza Project – S. Restall	--
<i>Regular Business</i>	Town Center Vision and Development Code Update – S. Greenberg	60
<i>Regular Business</i>	Periodic Comprehensive Plan Update – S. Greenberg	60
<i>Executive Session #1</i>	To discuss potential or pending litigation pursuant to RCW 42.30.110(1)(i) for 30 minutes	30
<i>Executive Session #2</i>	To discuss potential or pending litigation pursuant to RCW 42.30.110(1)(i) for 30 minutes	30

MAY 5 (THURSDAY)		
6:00-8:00 pm	City Manager Interviews Public Reception (Mercer Room, MICEC)	

MAY 6 (FRIDAY)		
8:00 am-4:00 pm	City Manager Interviews (MICEC)	

MAY 6 (MONDAY) - 6:00 PM		
<i>Public Hearing (6:00-9:00pm)</i>	Town Center Development Code Update and Comprehensive Plan Policies Public Hearing	

MAY 16 – 6:00PM		
Item Type	Topic/Presenter	Time
<i>Special Business</i>	Kids to Parks Day Proclamation – D. Mortenson	5
<i>Special Business</i>	Affordable Housing Week Proclamation – S. Greenberg	5
<i>Consent Calendar</i>	Arts Council Annual Report & Work Plan – A. Britton	--
<i>Regular Business</i>	Development Cost of Service Study and Development Fee Resolution – K. Taylor	45
<i>Regular Business</i>	1 st Quarter 2016 Financial Status Report & Budget Adjustments – C. Corder	15
<i>Regular Business</i>	Town Center Vision and Development Code Update (1st Reading) – S. Greenberg	60
<i>Regular Business</i>	Periodic Comprehensive Plan Update (1st Reading) – S. Greenberg	60

JUNE 6		
Item Type	Topic/Presenter	Time
<i>Consent Calendar</i>	2016 Summer Celebration Fireworks Permit Approval – S. Heitman	--
<i>Regular Business</i>	2016 Fireworks Sales Permit Approval – S. Heitman	20
<i>Regular Business</i>	2015 General Fund & REET Surplus Disposition – C. Corder	30
<i>Public Hearing</i>	Public Hearing: Council Preview of 2017-2022 Transportation Improvement Program – P. Yamashita	90
<i>Regular Business</i>	Town Center Vision and Development Code Update (2nd Reading) – S. Greenberg	30
<i>Regular Business</i>	Periodic Comprehensive Plan Update (2nd Reading) – S. Greenberg	30

JUNE 11 (SATURDAY)		
	Mini-Planning Session (MICEC)	5

JUNE 20		
Item Type	Topic/Presenter	Time
<i>Regular Business</i>	School Bus Cameras ILA & Ordinance (1st Reading) – C. Schuck	45
<i>Regular Business</i>	Preview of Preliminary 2017-2022 Capital Improvement Program	90
<i>Regular Business</i>	Six Year Sustainability Plan – R. Freeman	30

JULY 5 (TUESDAY) – 6:00 PM		
Item Type	Topic/Presenter	Time
<i>Study Session</i>	2015 Mercer Island Report Card – C. Corder	60
<i>Regular Business</i>	School Bus Cameras ILA & Ordinance (2 nd Reading) – C. Schuck	15
<i>Regular Business</i>	Adoption of the 2017-2022 Transportation Improvement Program – P. Yamashita	30
<i>Regular Business</i>	Title 19 Code Amendments to Add Comprehensive Plan Amendment Process (1 st Reading) – S. Greenberg	45
<i>Regular Business</i>	Planning Commission Rules of Procedure – S. Greenberg	30
<i>Regular Business</i>	CenturyLink Cable Franchise (1st Reading) – K. Sand	45

JULY 19 (TUESDAY) – 6:00 PM		
Item Type	Topic/Presenter	Time
<i>Study Session</i>	Fire Sprinkler Requirements for 1 & 2 Family Dwellings – S. Heitman	60
<i>Regular Business</i>	CenturyLink Cable Franchise (2nd Reading) – K. Sand	15
<i>Regular Business</i>	Title 19 Code Amendments to Add Comprehensive Plan Amendment Process (2nd Reading) – S. Greenberg	30

AUGUST 1		
Item Type	Topic/Presenter	Time
<i>Regular Business</i>	Water System Plan Update – J. Kintner	30

AUGUST 15		
Item Type	Topic/Presenter	Time
	<i>Potentially canceled</i>	

SEPTEMBER 6 (TUESDAY)		
Item Type	Topic/Presenter	Time
<i>Regular Business</i>	2 nd Quarter 2016 Financial Status Report & Budget Adjustments – C. Corder	45

SEPTEMBER 19 – 6:00 PM		
Item Type	Topic/Presenter	Time
<i>Study Session</i>	Residential Development Standards – S. Greenberg	60
<i>Regular Business</i>	Title 10 Code Amendments and Comprehensive Plan Amendment for National Pollutant Discharge Elimination System (NPDES) Update (1 st Reading) – P. Yamashita	60

OCTOBER 3 – 6:00 PM		
Item Type	Topic/Presenter	Time
<i>Study Session</i>	Emergency Management & Communities That Care/Healthy Youth Initiative Updates – J. Franklin & C. Goodwin	60
<i>Regular Business</i>	2017-2018 Preliminary Budget Presentation & Distribution – C. Corder	60
<i>Regular Business</i>	Title 10 Code Amendments and Comprehensive Plan Amendment for National Pollutant Discharge Elimination System (NPDES) Update (2 nd Reading) – P. Yamashita	30

OCTOBER 17 – 6:00 PM		
Item Type	Topic/Presenter	Time
<i>Regular Business</i>	2017-2018 Preliminary Budget: Operating Budget Review – C. Corder	180

NOVEMBER 7 – 6:00 PM		
Item Type	Topic/Presenter	Time
<i>Regular Business</i>	2017-2018 Preliminary Budget: Capital Improvement Program Review – C. Corder	180

NOVEMBER 21		
Item Type	Topic/Presenter	Time
<i>Regular Business</i>	2017-2018 Preliminary Budget: Finalize Changes to Budget, Pass 2017 NORCOM Budget Resolution, Pass 2017 Utility Rate Resolutions, and Adopt 2017 Property Tax Levy Ordinances – C. Corder	90
<i>Regular Business</i>	Residential Development Standards (1 st Reading) – S. Greenberg	60

DECEMBER 5

Item Type	Topic/Presenter	Time
<i>Regular Business</i>	3 rd Quarter 2016 Financial Status Report & Budget Adjustments – C. Corder	30
<i>Regular Business</i>	2017-2018 Final Budget Adoption – C. Corder	15
<i>Regular Business</i>	Residential Development Standards (2 nd Reading) – S. Greenberg	60
<i>Regular Business</i>	2017 Legislative Agenda – K. Taylor	20

DECEMBER 19

Item Type	Topic/Presenter	Time
	<i>Potentially Canceled</i>	

OTHER ITEMS TO BE SCHEDULED:

- Pioneer Park NW Quadrant Leash Law Amendment (Q1) – P. West
- City Manager Recruitment (Q2) – K. Segle
- I-90 Loss of Mobility Negotiations (Q2) – S. Lancaster
- Light Rail Station Design Oversight (Q2) – K. Taylor
- Mercer Island Center for the Arts (MICA) (Q2) – K. Sand
- Interlocal Agreement for Counseling Services (Q3) – C. Goodwin
- King County Sewer Project (Q4) – J. Kintner
- MICEC Master Plan (Q4) – B. Fletcher
- Planning Commission 2017 Work Plan (Q4) – S. Greenberg
- PSE Electric Franchise (Q4) – K. Sand
- Zayo Telecom Franchise (Q4) – K. Sand

COUNCILMEMBER ABSENCES:

- Bertlin: July 19
- Wisenteiner: July 19