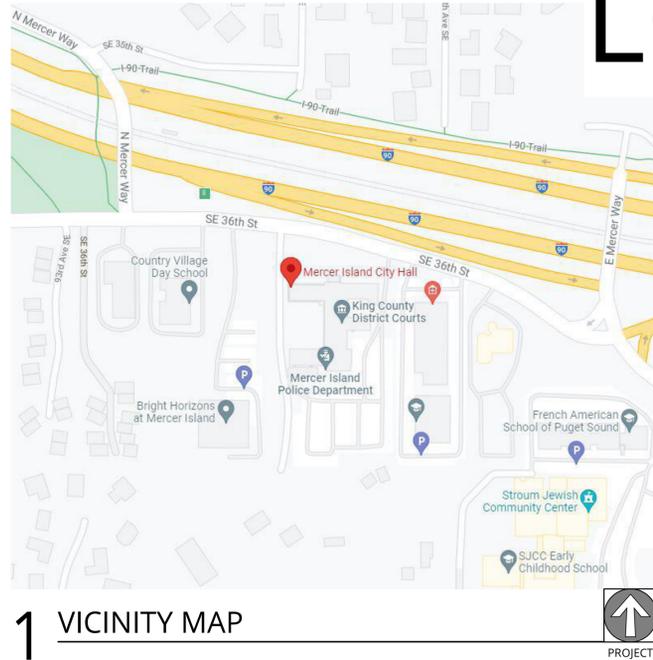
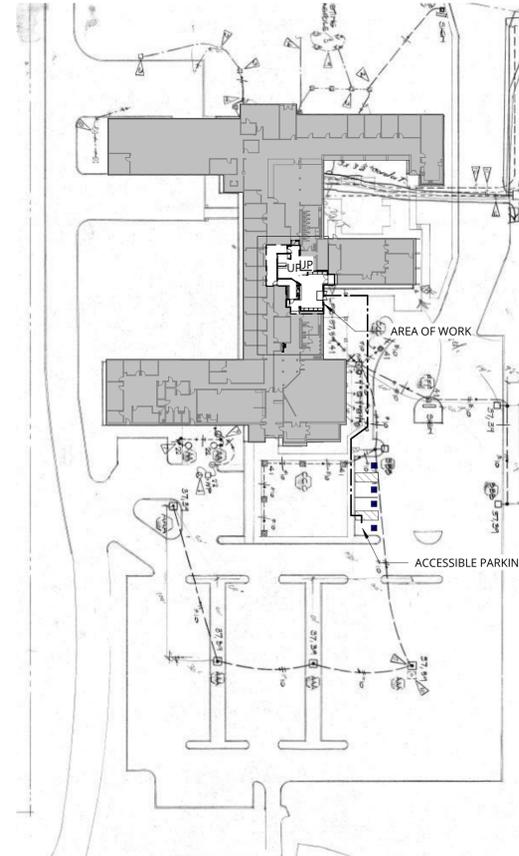


MERCER ISLAND CITY HALL LOBBY RENOVATION



1 VICINITY MAP



2 KEY PLAN
1" = 60'-0"

GENERAL SYMBOLS

TAGS

- DOOR NUMBER
- KEYNOTE NUMBER
- REVISION NUMBER
- WINDOW TYPE
- INTERIOR ELEVATION
- DETAIL
- WALL ASSEMBLY
- CEILING HEIGHT
- ROOM

SYMBOLS

- GRID
- NORTH ARROWS
- TRUE PROJECT
- ELEVATION DATUM

BUILDING INFORMATION

SITE ZONING:

CO

PARCEL NUMBER:

265550-0075

LEGAL DESCRIPTION:

FRUITLAND ACRES ADD LESS POR LY WLY OF LN DAF BEG 48.19 FT S 88-31-24 E FR SW COR OF LOT 8 TAP ON CRV CTR WCH BR5 N 81-45-41 W 1353.34 FT TH NLY ALG CRV ARC DIST OF 132.87 FT TAP OF COMP CRV TH NLY ALG CRV TO LEFT RAD 319.53 FT ARC DIST 99.50 FT TAP OF TAN TH N 15-13-43 W 9.76 FT TH N 7-07-23 W 52.33 FT TAP ON CRV TH NLY ALG CRV TO RTG RAD 68.60 FT ARC DIST OF 9.98 FT TAP OF TAN TH N 1-12-51 E TO N LN OF LOT 8 LESS HWY AKA PAR A LOT LN REV MI 84-03-10 REC NO 8403159004

APPLICABLE CODE(S):

BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE
 ELECTRICAL CODE: 2020 WASHINGTON CITIES ELECTRICAL CODE
 MECHANICAL CODE: 2018 INTERNATIONAL MECHANICAL CODE
 FUEL GAS CODE: 2018 INTERNATIONAL FUEL GAS CODE
 PLUMBING CODE: 2018 UNIFORM PLUMBING CODE
 FIRE CODE: 2018 INTERNATIONAL FIRE CODE
 EXISTING BUILDING CODE: 2018 INTERNATIONAL EXISTING BUILDING CODE
 ENERGY CODE: WASHINGTON STATE ENERGY CODE
 ACCESSIBILITY CODES: ICC A117.1-2009
 2010 ADA STANDARDS

	EXISTING	PROPOSED
CONSTRUCTION TYPE:	III-B	UNCHANGED
SPRINKLERED:	N	UNCHANGED
BUILDING STORIES (ABOVE GRADE):	1 FLOORS	UNCHANGED
BUILDING STORIES (BELOW GRADE):	1 FLOORS	UNCHANGED
BUILDING OCCUPANCY:	B	B
TENANT IMPROVEMENT AREA:	1,079 USF	1,079 USF
OCCUPANT LOAD FOR TENANT IMPROVEMENT:	8	REFER TO EGRESS PLAN

PRICING ALTERNATES

- A. PROVIDE LINE ITEM PRICING TO PROVIDE AND INSTALL A NEW AIR CURTAIN AT DOOR 100. AIR CURTAIN TO BE RECESSED IN NEW GWB HEADER, HEIGHT TO ALIGN WITH EXISTING DOOR HEADER. PRICE TO INCLUDE POWER PATHWAY TO AIR CURTAIN AND INTEGRATE WITH DOOR CONTROLS. AIR CURTAIN SPECIFICATION: BERNER AIR CURTAIN, ARCHITECTURAL RECESSED 12, ARD12 - OR APPROVED EQUAL.

SHEET INDEX

A0.00	COVER SHEET
A0.01	PROJECT NOTES
A0.02	RENDERINGS
A0.05	ACCESSIBILITY
A0.06	ACCESSIBILITY
A0.10	FIRE AND LIFE SAFETY PLAN
A0.20	INTERIOR WALL ASSEMBLIES
A0.30	FIRE RESISTANCE RATING
A1.00	LEVEL 1 DEMOLITION
A1.10	LEVEL 1 DEMOLITION RCP
A2.00	LEVEL 1 FLOOR PLAN
A2.10	LEVEL 1 POWER & DATA PLAN
A3.00	LEVEL 1 REFLECTED CEILING PLAN
A4.00	LEVEL 1 FINISH PLAN
A6.00	INTERIOR ELEVATIONS
A7.00	INTERIOR DETAILS
A7.01	CEILING DETAILS
A7.02	CASEWORK DETAILS
A7.03	CASEWORK DETAILS
A7.04	CASEWORK DETAILS
A7.05	STOREFRONT DETAILS
A8.00	DOOR LEGEND & SCHEDULE

DEFERRED SUBMITTALS

- ELECTRICAL
- MECHANICAL
- PLUMBING
- FIRE ALARMS

PROJECT TEAM

BUILDING ADDRESS	9611 SE 36TH STREET MERCER ISLAND, WA 98040
OWNER	MERCER ISLAND 9611 SE 36TH STREET MERCER ISLAND, WA 98040 CONTACT: JAIME PAGE PHONE: 206-275-7845 EMAIL: JAIME.PAGE@MERCERISLAND.GOV
ARCHITECT	ANKROM MOISAN ARCHITECTS, INC. 1505 5TH AVE., SUITE 300 SEATTLE, WA 98101 PHONE: 206.576.1600 FAX: 206.447.5514
CONTACT:	AAREN DEHAAS PHONE: 206.876.3050
CONTRACTOR	TBD TBD TBD CONTACT: TBD PHONE: ###.###.#### FAX: ###.###.#### CCB#:

SCOPE OF WORK

TENANT IMPROVEMENT OF LOBBY SPACE. DEMOLITION OF EXISTING NON-STRUCTURAL COLUMNS, STRUCTURAL COLUMN FINISH CLADDING, LIGHTING, FINISHES THROUGHOUT AREA OF WORK. PARTIAL DEMOLITION OF EXISTING GYPSUM CEILING AND CORRIDOR WALL TO ENLARGE LOBBY. INSTALLATION OF NEW NON-STRUCTURAL PARTITIONS, CEILING, AND LIGHTING. ADDITION OF CASEWORK RECEPTION DESK AND SECONDARY UTILITIES DESK WITH FULL HEIGHT GLAZING. NEW BANQUETTES, CASEWORK AND FINISHES THROUGHOUT

THE PROPOSED PROJECT CONSISTS OF PHASE 1 OF THE PROJECT SCOPE. PHASE 2 SCOPE OF WORK CONSISTS OF THE CITY MANAGER SUITE, PERMIT CENTER, BREAK ROOM CITY COUNCIL AND POLICE DEPARTMENT LOBBY. THIS WILL BE ISSUED AS A SEPARATE DRAWING SET.

MERCER ISLAND CITY HALL LOBBY RENOVATION
9611 SE 36th St, Mercer Island, WA 98040
CITY OF MERCER ISLAND

COVER SHEET

BID/CD SET

DATE: 03.10.2022 PROJECT NUMBER: 213360

SHEET NUMBER

A0.00



38 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
503.245.7100

1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
206.576.1600

1014 HOWARD STREET
SAN FRANCISCO, CA 94103
415.252.7063

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PROJECT NOTES

GENERAL REQUIREMENTS

- THESE DRAWINGS ARE THE PROPERTY OF ANKROM MOISAN ARCHITECTS AND SHALL NOT BE COPIED OR REUSED FOR ANY OTHER PROJECT.
- REFER TO BUILDING MANUAL FOR REQUIREMENTS AND SPECIFICATIONS (IF APPLICABLE).
- VERIFY SITE CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
- CARE HAS BEEN TAKEN TO DOCUMENT EXISTING CONSTRUCTION CONDITIONS. HOWEVER, FIELD CONDITIONS AND HIDDEN CONDITIONS MAY DIFFER AND POSE POTENTIAL CONFLICTS WITH THE DRAWINGS. FAILURE TO REPORT DISCREPANCIES OR CONFLICTS TO ARCHITECT PRIOR TO PERFORMING WORK MAY LEAD TO WORK IN QUESTION BEING REJECTED BY TENANT OR ARCHITECT.
- WORK SHALL BE PERFORMED PER APPLICABLE CODES AND STANDARDS.
- SEE ACCESSIBILITY SHEET(S) FOR ACCESSIBLE CLEARANCES TO BE PROVIDED.
- COORDINATE THE WORK OF DELEGATED DESIGNERS WITH THE WORK OF OTHER TRADES.
- IF WORK IS TO BE PERFORMED AFTER HOURS, CONTRACTOR TO CONFIRM WORK REQUIREMENTS WITH TENANT AND BUILDING MANAGEMENT.

SUBMITTALS, SAMPLES, MOCK-UPS, AND SHOP DRAWINGS

- NO BUILDING COMPONENT SHOWN ON THESE DRAWINGS SHALL BE INCORPORATED INTO THE WORK UNTIL SHOP DRAWINGS, SAMPLES (PROVIDE 3), BROCHURES OR OTHER SUBMITTALS CALLED FOR HEREIN HAVE BEEN APPROVED BY THE ARCHITECT. ALLOW (5) BUSINESS DAYS FOR REVIEW.
- PROVIDE SHOP DRAWINGS OF THE FOLLOWING ITEMS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION:
 - CASEWORK
 - DESIGN-BUILD SCOPES
 - DOORS, FRAMES AND HARDWARE
 - LIGHTING FIXTURES
 - CARPET SEAMING DIAGRAMS
 - WINDOW TREATMENT
- SUBMIT SAMPLES FOR THE FOLLOWING ITEMS, BUT NOT LIMITED TO:
 - PAINT DRAW-DOWNS
 - STAINED WOOD
 - WALL COVERINGS
 - CARPET
 - RESILIENT FLOORING
 - CERAMIC TILE
 - WOOD VENEERS
- SUBMIT WRITTEN SUBSTITUTION REQUESTS FOR APPROVAL PRIOR TO PURCHASE OR INSTALLATION OF ANY ITEM. WRITTEN SUBSTITUTION REQUESTS SHALL INCLUDE REASONS FOR SUBSTITUTION PLUS SUFFICIENT INFORMATION REGARDING COST, QUALITY, WARRANTY, INSTALLATION, AND ANY OTHER PERTINENT INFORMATION NEEDED BY THE OWNER AND ARCHITECT TO CONFIRM THE SUITABILITY OF THE MATERIAL BEING PROPOSED.
- ALLOW (5) BUSINESS DAYS FOR REVIEW OF ALL REQUESTS FOR INFORMATION (RFI).

DELEGATED DESIGN

- DESIGN, FURNISH AND INSTALL THE FOLLOWING WORK ON A DELEGATED DESIGN BUILD BASIS:
 - STRUCTURAL
 - METAL STUDS FOR WALLS, SOFFITS AND CEILINGS
 - MECHANICAL HVAC
 - PLUMBING
 - FIRE PROTECTION
 - ELECTRICAL LIGHTING AND POWER
 - LOW VOLTAGE
 - MODIFICATIONS TO EXISTING FIRE ALARM
- SUBMIT DELEGATED OR DEFERRED DESIGN ITEMS FOR REVIEW AND APPROVAL BY OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.
- PROVIDE DRAWINGS AND SPECIFICATIONS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION (AHJ) FOR PERMITTING PURPOSES
- CONFORM WITH THE APPLICABLE BUILDING CODES AND OTHER STATE AND LOCAL CODES AS REQUIRED.
- INFORMATION FROM OTHER TRADES (STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ETC) ON THESE DRAWINGS IS PROVIDED FOR REFERENCE ONLY. VERIFY REQUIREMENTS OF BUILDING MANAGEMENT AND TENANT.

STRUCTURAL

- SUBMIT WRITTEN PENETRATION DETAILS FOR REVIEW AND APPROVAL BY THE LANDLORD'S STRUCTURAL ENGINEER. DO NOT CORE DRILL, TRENCH, OR OTHERWISE PENETRATE EXISTING CONCRETE SLABS PRIOR TO RECEIVING APPROVAL. SLEEVE AND SEAL ALL THROUGH-SLAB PENETRATIONS IN ACCORDANCE WITH BUILDING STANDARD PENETRATION DETAILS.
- ANY AND ALL MECHANICAL FASTENING, CORE DRILLING, SLAB TRENCHING AND/OR PENETRATIONS OF THE EXISTING CONCRETE SLAB SHALL REQUIRE:
 - A CERTIFICATION BY THE TENANT'S AND LANDLORD'S STRUCTURAL ENGINEERS
 - BE SLEEVED AND SEALED AS INDICATED IN LANDLORD'S SHELL/CORE BUILDING FLOOR PENETRATION DETAIL.
- ALL PENETRATION WORK SHALL REQUIRE X-RAYING OF STRUCTURAL SLABS. TENANT/TENANT'S CONTRACTORS ARE NOT PERMITTED TO CHOP OR CUT FLOOR SLABS FOR THE PURPOSE OF TRENCH DRAINS OR ANY RECESSED EQUIPMENT WITHOUT LANDLORD'S WRITTEN APPROVAL.

PLUMBING

- INSTALL PLUMBING FIXTURES PER APPLICABLE CODES. FIXTURES AND APPLIANCES SHALL MEET REQUIREMENTS OF JURISDICTION AND LICENSING AGENCIES.
- FIXTURE CLEARANCES, MOUNTING HEIGHTS AND CONTROLS SHALL COMPLY WITH ADA.
- PROVIDE SUPPLY, WASTE AND VENT LINES, VALVES, FITTINGS, ETC. REQUIRED FOR PLUMBING FIXTURES, MECHANICAL FIXTURES AND APPLIANCES, ETC.
- PROVIDE NEW PLUMBING FIXTURES AS SPECIFIED PER DRAWINGS, OR PER BUILDING STANDARD, UNLESS OTHERWISE NOTED.
- PROVIDE HOT AND COLD WATER TO SINKS/DISHWASHERS AS APPLICABLE.
- INSTALL NEW WATER HEATERS WITH DRIP PAN CONNECTED TO WASTE LINE. VERIFY LOCATIONS WITH BUILDING MANAGEMENT AND INSPECTORS.

FIRE PROTECTION

- PROVIDE DRAWINGS INDICATING:
 - LAYOUT, LOCATION, AND SIZE OF SPRINKLER LINES AND HEADS
 - PRESSURE REQUIREMENTS
 - SPRINKLER HEAD SPECIFICATIONS
 - LOCATION OF FIRE PROTECTION RISERS AND WALL HYDRANTS
- VERIFY EXTENT OF EXISTING NFPA 13 FIRE SPRINKLER SYSTEM. EXISTING AND NEW WORK SHALL INCLUDE QUICK RESPONSE HEADS IN CONFORMANCE WITH APPLICABLE CODES AND STANDARDS.

HEATING, VENTILATION, AND AIR CONDITIONING

- INSTALL MECHANICAL SYSTEMS AND EQUIPMENT PER APPLICABLE CODES AND STANDARDS.
- PROVIDE BUILDING STANDARD HVAC SYSTEM WITH ALL MATERIALS, LABOR AND ACCESSORIES FOR COMPLETE OPERATION OF SYSTEM.
- CONTRACTOR TO BALANCE HVAC SYSTEM AND PROVIDE BALANCE REPORT AT COMPLETION OF WORK.
- PROVIDE DESIGN BUILD MECHANICAL ENGINEERING DRAWINGS INDICATING:
 - SIZES AND MATERIALS OF DUCTS
 - LOCATIONS OF DAMPERS, ACCESS PANELS, AND THERMOSTATS
 - AIR MOVEMENT REQUIREMENTS
 - SIZES OF GRILLS AND REGISTERS
- CLEAN, REPAIR OR REPLACE SOILED OR DAMAGED HVAC GRILLS, FILTERS AND THERMOSTATS.
- RE-ZONE, ALTER OR SEPARATE HVAC AS NECESSARY AS DIRECTED BY BUILDING MANAGEMENT FOR ALTERED SUITE.

ELECTRICAL AND LOW VOLTAGE

- COMPLETE ELECTRICAL, DATA, COMMUNICATION, LIGHTING, AND SECURITY WORK IN ACCORDANCE WITH ALL APPLICABLE CODES.
- CONFORM TO APPLICABLE ENERGY CODE. VERIFY APPROVED ENERGY CODE REQUIREMENTS AND ENERGY MANAGEMENT SYSTEM AS PART OF THE DESIGN BUILD CONTRACT.
- PROVIDE ALL WORK, EQUIPMENT AND LABOR FOR A COMPLETE AND OPERABLE ELECTRICAL SYSTEM.
- ARCHITECTURAL DRAWINGS INDICATE LOCATION ONLY OF DEVICES SHOWN. PROVIDE DESIGN BUILD ELECTRICAL ENGINEERING DRAWINGS INDICATING:
 - SWITCHING
 - CIRCUITING
 - LIGHTING FIXTURES
 - POWER & DATA DEVICES
 - EXIT SIGNS
 - EMERGENCY LIGHTING
- COORDINATE POWER/DATA, COMMUNICATIONS, FIRE SAFETY DEVICES, AND LIGHT FIXTURE MOUNTING LOCATIONS WITH INTERIOR ELEVATIONS, SYSTEM FURNITURE, FINISHES, AND CASEWORK.
- TENANT POWER, DATA, COMMUNICATION AND LIGHTING SHALL BE SEPARATE FROM OTHER TENANT SPACES OR AS DIRECTED BY BUILDING MANAGEMENT.
- VERIFY EXISTING CONDITIONS. PROVIDE ALTERATIONS TO EMERGENCY EXIT LIGHTING AND ACCESS PATHWAY LIGHTING PER APPLICABLE CODES AND STANDARDS.
- FIELD REVIEW LOCATION OF ALL WALL MOUNTED POWER AND DATA BOXES AND MUD RINGS WITH THE TENANT BEFORE INSTALLATION OF CONDUITS AND WIRING.
- PROVIDE SEPARATE CIRCUITS FOR TENANT'S EQUIPMENT (INCLUDING THE TELEPHONE SWITCH, COPIERS, COMPUTERS, ETC) WHEN NOTED ON THE CONSTRUCTION DOCUMENTS.
- VERIFY EXISTING SWITCHING WITH TENANT AND BUILDING MANAGEMENT. PROVIDE ALTERATIONS PER DRAWINGS, UNLESS NOTED OTHERWISE.
- PROVIDE EXTENSION RINGS AND MOUNTING ACCESSORIES WHERE REQUIRED FOR POWER/DATA DEVICES AND LIGHT FIXTURES. COORDINATE WITH INTERIOR FINISHES AND CASEWORK.
- REMOVE MUD RINGS FOR DATA AND COMMUNICATION AS SHOWN ON THE POWER AND DATA PLAN. EACH MUD RING TO HAVE A MINIMUM NUMBER OF WIRE PULLS AS INDICATED ON DRAWINGS. COORDINATE DATA CABLE CONFIGURATION WITH THE TENANT.
- CABLING FOR VOICE AND DATA TO BE PROVIDED BY TENANT'S VENDORS AND SHALL BE COORDINATED BY THE BUILDING MANAGER.
- REUSE EXISTING ELECTRICAL OUTLETS WHEREVER PRACTICAL, UNLESS NOTED OTHERWISE.
- PROVIDE NEW ELECTRICAL OUTLETS PER POWER AND DATA PLAN.
- MOUNT NEW ELECTRICAL DEVICES AT HEIGHTS CONFORMING TO ADA.
- GANG MULTIPLE DEVICES WHERE THEY OCCUR IN A SINGLE LOCATION.
- BACK-TO-BACK ELECTRICAL DEVICES ARE NOT PERMITTED. OFFSET ELECTRICAL DEVICES AT LEAST ONE STUD BAY MINIMUM AS REQUIRED FOR ACOUSTICAL CONTROL.
- PROVIDE GFI OUTLETS WITHIN THE CODE REQUIRED DISTANCE FROM SINKS
- COORDINATE CONSTRUCTION SCHEDULE WITH FURNITURE VENDOR FOR THE USE OF ELECTRICIANS DURING THE INSTALLATION OF TENANT'S NEW FURNITURE.
- COORDINATE LOCATION OF ELECTRICAL DEVICES WITH FURNITURE VENDOR.
- COORDINATE WITH THE OWNER SUPPLIED FURNITURE SYSTEMS TO INCLUDE BUT NOT LIMITED TO: ELECTRICAL AND DATA WIRING LOCATIONS, J-BOX LOCATIONS, CONNECTIONS AND WALL MOUNTED REQUIREMENTS.
- REUSE ALL EXISTING BUILDING STANDARD LIGHTING FIXTURES AS PRACTICAL, IN ACCORDANCE WITH REFLECTED CEILING PLANS AND TO MEET ENERGY CODE REQUIREMENTS. PROVIDE NEW LAMPS AND REPLACE FAULTY BALLASTS.

PROTECTION AND CLEANING

- PROVIDE SUITABLE BARRIERS TO CONTROL DUST AND DEBRIS, AND TO PROTECT PASSERS-BY DURING CONSTRUCTION. REMOVE TEMPORARY BARRIERS AT COMPLETION OF CONSTRUCTION AND RESTORE THE AFFECTED AREAS TO THEIR PRE-CONSTRUCTION CONDITION
- MAINTAIN THE PREMISES AND THE JOBSITE IN A NEAT, ORDERLY CONDITION. AT THE END OF EACH WORK DAY LEAVE THE SITE FREE FROM ACCUMULATED WASTE MATERIALS AND RUBBISH. REMOVE CRATES, CARTONS, AND OTHER FLAMMABLE WASTE MATERIALS OR TRASH FROM THE WORK AREA AT THE END OF EACH WORKING DAY.
- CLEAN PIPE AND DUCT SHAFTS, CHASES, FURRED SPACES, AND SIMILAR SPACES, AND LEAVE THEM FREE OF RUBBISH, LOOSE PLASTER, MORTAR DRIPPINGS, EXTRANEIOUS CONSTRUCTION MATERIAL, DIRT, AND DUST.
- UPON COMPLETION OF THE WORK, THOROUGHLY CLEAN THE PREMISES AND WASH THE INSIDE OF ALL WINDOWS AND MAKE THE SPACE OTHERWISE READY FOR OCCUPANCY.
- REMOVE, PROTECT AND STORE ALL EXISTING WINDOW TREATMENTS SCHEDULED FOR REUSE. CLEAN TO LIKE-NEW CONDITION PRIOR TO REINSTALLATION.

WORKMANSHIP

- PROVIDE ALL WORK LISTED, SHOWN, OR IMPLIED ON CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE.
- CONFORM TO LANDLORD'S BUILDING STANDARD DETAILS, UNLESS NOTED OTHERWISE.
- EXCEPT WHERE REUSE IS NOTED, ALL MATERIALS, EQUIPMENT AND APPLIANCES USED IN THE WORK SHALL BE NEW.
- EXERCISE CARE WHERE NEW WALL CONSTRUCTION ABUTS, INTERSECTS OR JOINS EXISTING ADJACENT CONSTRUCTION. MAINTAIN FIRE AND ACOUSTIC ASSEMBLY INTEGRITY WHERE NEW WALLS ABUT, INTERSECT, OR JOIN EXISTING.
- PATCH, REPAIR, AND OTHERWISE RESTORE EXISTING MATERIALS, EQUIPMENT AND FINISHES TO AS-NEW CONDITION.

WARRANTY

- WARRANT ALL PARTS, LABOR, EQUIPMENT, AND MATERIALS PROVIDED UNDER THIS CONTRACT FOR A PERIOD OF ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION.

ACOUSTICALLY RATED CONSTRUCTION

- PROTECT AND SEAL PENETRATIONS AND JOINTS AT ACOUSTICALLY RATED CONSTRUCTION. MATCH THE ACOUSTICAL RATING OF THE ASSEMBLIES BEING PENETRATED.

DIMENSIONS

- VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT OF CONFLICTS PRIOR TO CONSTRUCTION.
- DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- DO NOT ADJUST CLEAR DIMENSIONS WITHOUT APPROVAL OF THE ARCHITECT.
- DIMENSIONS ARE MEASURED FROM GRIDLINE, FACE OF CONCRETE, FACE OF MASONRY, FACE OF FINISH UNLESS OTHERWISE NOTED.
- DIMENSIONS NOTED AS 'INSIDE CLEAR' ARE MEASURED FROM THE FACE OF THE DEEPEST PROTRUSION FROM THE WALL SURFACE (CASEWORK, FIXTURE, BASE, HANDRAIL, WAINGSCOT, TRIM, ETC.)
- NOTES TO 'ALIGN' REFER TO FINISHED FACE OF INDICATED SURFACES.
- 'FLOOR LINE', 'FLOOR', OR 'FLOOR LEVEL' REFER TO TOP OF CONCRETE SLAB OR TOP OF CEMENTITIOUS UNDERLAYMENT. FINISH FLOORING IS INSTALLED ABOVE THE FLOOR LINE.
- 'FINISH FLOOR' REFERS TO THE TOP OF FINISH FLOORING.

CODE COMPLIANCE

- MAINTAIN REQUIRED COVERAGE FOR ALL EMERGENCY LIGHTING, SPRINKLERS, FIRE DETECTORS, AND FIRE ALARM COMMUNICATION DEVICES DURING CONSTRUCTION.
- VERIFY FIRE EXTINGUISHER LOCATIONS WITH THE FIRE MARSHAL. LOCATE FIRE EXTINGUISHERS IN ACCESSIBLE LOCATIONS, IN PLAIN VIEW, AND SPACED A MAXIMUM OF 75 FEET APART MEASURED ALONG PATH OF TRAVEL. VERIFY EXTINGUISHER CAPACITY TO PROVIDE NO MORE THAN ONE EXTINGUISHER FOR EVERY 3,000 SQUARE FEET OF FLOOR AREA.
- PROVIDE SMOKE DETECTORS PER APPLICABLE CODES.
- PROVIDE EXIT SIGNS AND ILLUMINATION IN ACCORDANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.

DEMOLITION

- DISMANTLE AND REMOVE ALL ITEMS NOT SCHEDULED TO REMAIN OR TO BE REUSED AS A PART OF NEW CONSTRUCTION. COORDINATE SALVAGE OF MATERIALS/ITEMS WITH TENANT.
- REMOVE ALL UTILITIES (WIRING, CONDUITS, SWITCHES, ELECTRICAL BOXES, EQUIPMENT, PIPING, FIXTURES, ETC) AND OTHER APPURTENANCES FROM EXISTING CONSTRUCTION SCHEDULED FOR DEMOLITION.
- REMOVE ABANDONED UTILITY FEEDS AND CONDUITS BACK TO THE CONNECTION TO THE MAIN SUPPLY.
- REMOVE HANGERS, SUPPORTS, BRACES AND OTHER APPURTENANCES FROM WALLS AND CEILINGS SCHEDULED FOR DEMOLITION.
- REMOVE EXISTING FLOOR FINISH THROUGHOUT THE WORK AREA, EXCEPT AS NOTED.
- CONDUCT DEMOLITION TO AVOID DAMAGE TO EXISTING BUILDING SHELL/ STRUCTURE. CEASE OPERATION AND NOTIFY OWNER IMMEDIATELY IF SHELL/ STRUCTURE APPEARS TO BE IN DANGER. DO NOT REMOVE ANY STRUCTURAL ELEMENTS WITHOUT PRIOR DIRECTION AND AUTHORIZATION BY A STRUCTURAL ENGINEER.
- PORTIONS OF WALLS SCHEDULED TO REMAIN MAY BE DEMOLISHED AND REPLACED WITH NEW AT THE CONTRACTOR'S OPTION PROVIDED QUALITY IS ACHIEVED WITHIN PROJECT BUDGET.
- PATCH, RESTORE, OR OTHERWISE RECONSTRUCT AREAS DAMAGED OR EXPOSED DURING DEMOLITION TO MATCH ADJACENT SURFACES.
- RELOCATE OR DEMO EXISTING LOUDSPEAKERS, SMOKE DETECTORS, AND MOTION DETECTORS AS NECESSARY. GC TO CONFIRM NEW LOCATION WITH BUILDING OWNER AND TENANT PRIOR TO DEMOLITION.
- RELOCATE EXISTING HVAC OR SPRINKLER HEADS IMPEDING ON NEW WALL CONSTRUCTION. FOLLOW NECESSARY CODES AND REGULATIONS.

FIRE RATED CONSTRUCTION

- PROTECT AND SEAL PENETRATIONS AND JOINTS AT FIRE RATED CONSTRUCTION. MATCH THE FIRE-RESISTIVE RATING OF THE ASSEMBLIES BEING PENETRATED. CONFORM TO THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
- FIRE RATED ASSEMBLIES: SEAL JOINTS, PENETRATIONS, AND INTERSECTIONS WITH FIRE CAULKING
- RECESSED DEVICES WITH FIRE PROTECTIVE COVERINGS SHALL MEET THE REQUIREMENTS OF THE LISTING SOURCE. INSTALL ALL MATERIALS IN STRICT ACCORDANCE WITH THE PUBLISHED REQUIREMENTS OF THE LISTING SOURCE, INCLUDING BUT NOT LIMITED TO: STUD GAGE AND SPACING, FASTENER SIZE AND SPACING, ORIENTATION OF GYPSUM WALLBOARD, OFFSETS OF JOINTS BETWEEN ADJACENT LAYERS OR OPPOSITE SIDES OF WALL, BRIDGING, AND CROSS BRACING.

INTERIOR WALLS

- WOOD IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE-TREATED.
- CONCEALED WOOD USED IN TYPE I AND TYPE I CONSTRUCTION SHALL BE FIRE RETARDANT TREATED.
- FASTENERS IN CONTACT WITH TREATED WOOD SHALL BE CORROSION RESISTANT.
- PROVIDE BLOCKING OR OTHER CONCEALED SUPPORTS WITHIN WALLS AS REQUIRED FOR HANDRAILS, CASEWORK, GRAB BARS, ARTWORK, SHELVING, AND OTHER APPLIED WALL MOUNTED FIXTURES, FINISHES OR EQUIPMENT.
- MAXIMUM STUD SPACING IS 24 INCHES ON CENTER UNLESS NOTED OTHERWISE. MINIMUM STUDS OR FURRING GAUGE IS 25.
- ADJUST STUD GAUGE AND SPACING TO MEET MANUFACTURER'S PUBLISHED SPAN TABLES, SPECIFIED DEFLECTION CRITERIA, AND TO SUPPORT ALL APPLIED LOADS FROM: FIXTURES, FURNISHINGS AND EQUIPMENT; CASEWORK; GRAB BARS; WALL FINISHES; PRESSURIZATION; ETC.
- UTILIZE MOISTURE RESISTANT GYPSUM WALLBOARD WHENEVER TILE FINISH IS INDICATED OR SCHEDULED.
- PROVIDE SMOOTH, LEVEL 4 FINISH AT NEW GYPSUM BOARD WALL SURFACES, PER AWC I STANDARDS, APPLY A DRYWALL PRIMER (SHEETROCK BRAND "FIRST COAT" OR EQUIV.) PRIOR TO FINAL FINISH COAT TO MINIMIZE SURFACE TEXTURE VARIATIONS.

DOORS AND HARDWARE

- PROVIDE AND INSTALL NEW DOORS AND FRAMES PER BUILDING STANDARD UNLESS NOTED OTHERWISE.
- SUBMIT HARDWARE SCHEDULE WITH CATALOG CUT SHEETS FOR ARCHITECT REVIEW.
- FINISH AND SPECIALTY HARDWARE INCLUDES ALL ACCESSORIES, TOOLS, AND FASTENERS REQUIRED FOR HARDWARE INSTALLATION AND MAINTENANCE. ITEMS NOT SPECIFICALLY MENTIONED, BUT NECESSARY TO COMPLETE THE WORK, SHALL BE FURNISHED MATCHING IN QUALITY AND FINISH OF SPECIFIED IN SIMILAR LOCATIONS.
- CONFORM TO THE BUILDING'S GRAND MASTER KEYING SYSTEMS. PROVIDE TWO (2) KEYS FOR EACH LOCK AND TWO (2) MASTER KEYS FOR THE SUITE. TAG KEYS WITH ROOM NUMBERS.
- SET UNITS LEVEL, PLUMB AND TRUE TO LINE AND LOCATION. ADJUST AND REINFORCE THE ATTACHMENT SUBSTRATE AS NECESSARY FOR PROPER INSTALLATION AND OPERATION.
- ADJUST AND CHECK EACH OPERATING ITEM OF HARDWARE AND EACH DOOR TO ENSURE PROPER OPERATION OR FUNCTION OF EVERY UNIT. REPLACE UNITS WHICH CANNOT BE ADJUSTED TO OPERATE FREELY AND SMOOTHLY.

WINDOWS

- PROVIDE AND INSTALL NEW GLAZED OPENINGS PER BUILDING STANDARD UNLESS NOTED OTHERWISE.
- SET UNITS LEVEL, PLUMB AND TRUE TO LINE AND LOCATION. ADJUST AND REINFORCE THE ATTACHMENT SUBSTRATE AS NECESSARY FOR PROPER INSTALLATION AND OPERATION.
- ADJUST AND CHECK EACH OPERATING ITEM OF HARDWARE AND EACH UNIT TO ENSURE PROPER OPERATION OR FUNCTION. REPLACE UNITS WHICH CANNOT BE ADJUSTED TO OPERATE FREELY AND SMOOTHLY.

PAINT AND STAIN

- UTILIZE MASTER PAINTERS INSTITUTE (MPI) ARCHITECTURAL PAINTING SPECIFICATIONS. APPROVED MPI PRODUCTS TO BE UTILIZED OR PROVIDE SUBSTITUTION FOR APPROVAL TO ARCHITECT.
- CONFORM TO THE REQUIREMENTS OF THE 'ARCHITECTURAL SPECIFICATIONS MANUAL' (AWS) FOR PAINT SYSTEMS. LATEX PAINT: AWS SYSTEM 3-B "CUSTOM" (2 COAT) GRADE LIGHT COLOR PAINT FINISH AND LATEX PAINT: AWS SYSTEM 3-B "CUSTOM" (2 COAT) GRADE DEEP TONE PAINT FINISH ON GYPSUM BOARD SURFACES.
- PREPARE ALL PAINTED SURFACES IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- PUTTY ALL NAIL HOLES, COUNTERSUNK SCREWS, BOLTS, CRACKS, ETC. BEFORE APPLYING FINISH.
- MAKE FINISH WORK UNIFORM AND SMOOTH, FREE OF RUNS, SAGS, DEFECTIVE BRUSHING AND CLOGGING. MAKE EDGES OF PAINT ADJOINING OTHER MATERIALS OR COLORS SHARP AND CLEAN WITHOUT OVERLAPPING.
- UPON COMPLETION OF WORK, REMOVE EXCESS PAINT, STAIN, VARNISH, ADHESIVE, CAULK, ETC. FROM ALL OTHER SURFACES THAT WERE NOT SPECIFIED TO RECEIVE SAME.
- TOUCH-UP AND PATCH SURFACES AS REQUIRED AFTER THE COMPLETION OF WORK BY OTHER TRADES.

CASEWORK

- NEW CASEWORK AND MILLWORK SHALL BE CONSTRUCTED TO AWC "PREMIUM" STANDARDS, UNLESS NOTED OTHERWISE.
- CABINET HARDWARE: FULL EXTENSION DRAWER GLIDES, STAINLESS STEEL CABINET PULLS, US320 FINISH, AND CONCEALED DOOR HINGES, SHELF HARDWARE, AND OTHER REQUIRED ITEMS, UNLESS NOTED OTHERWISE IN ELEVATIONS/DETAILS OR PER BUILDING STANDARD
- PLASTIC LAMINATE: HIGH-PRESSURE DECORATIVE LAMINATE SELECTED FROM WILSONART, NEVAMAR, AND FORMICA, UNLESS NOTED OTHERWISE. LAMINATE TO BE GENERAL-PURPOSE GRADE .050-INCH HORIZONTAL AND .030-INCH VERTICAL.
- PROVIDE POLYESTER OVERLAY INTERIOR CABINET SURFACES AND SHELVES, UNLESS NOTED OTHERWISE.
- FINISH SHELF WITH VINYL SHELF EDGING, UNLESS NOTED OTHERWISE.

SIGNAGE

- PROVIDE SIGNAGE AT EACH EXIT ACCESS DOORWAY AND AT EXIT DISCHARGE IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE CODES AND STANDARDS.
- PROVIDE CODE-REQUIRED 'IN CASE OF FIRE...' SIGNAGE AT ELEVATOR CALL STATIONS — SEE INTERIOR ELEVATIONS.
- PERMANENTLY IDENTIFY FIRE RATED CONSTRUCTION CONCEALED BY ACCESSIBLE FLOORS OR CEILINGS AS REQUIRED BY APPLICABLE CODES AND STANDARDS.
- PROVIDE SIGNAGE ABOVE THE MAIN EXIT DOOR: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" AS REQUIRED BY APPLICABLE CODES AND STANDARDS.

ABBREVIATIONS

ABBREVIATION	TERM
AV	AUDIO VISUAL
ACT	ACOUSTICAL CEILING TILE
AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
ARCH	ARCHITECTURAL
BD	BOARD
BLDG	BUILDING
BOT/BTM	BOTTOM
CAB	CABINET
CG	CORNER GUARD
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CORR	CORRIDOR
CTR	CENTER
D/W	DISHWASHER
DEMO	DEMOLITION
DEPT	DEPARTMENT
DET	DETAIL
DIM	DIMENSION
DWG	DRAWING
DWR	DRAWER
(E)EXIST	EXISTING
EA	EACH
ELEC	ELECTRICAL
ELEV	ELEVATOR
EMER	EMERGENCY
EQ	EQUAL
EQPT	EQUIPMENT
EW	EACH WAY
EWV	ELECTRIC WATER COOLER
FA	FIRE ALARM
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR
FIN	FINISH
FIXT	FIXTURE
FLR	FLOOR
FOIC	FURNISHED BY OWNER INSTALLED BY CONTRACTOR
FOIO	FURNISHED BY OWNER INSTALLED BY OWNER
FURRG	FURRING
GA	GAUGE
GD	GARBAGE DISPOSAL
GL	GLASS
GYP	GYPSUM
HDW	HARDWARE
HR	HOUR
HT	HEIGHT
JAN	JANITOR
LAM	LAMINATE
LAV	LAVATORY
LF	LINEAL FEET, LINEAR FOOTAGE
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
MW	MICROWAVE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OH	OVERHEAD
OPNG	OPENING
PTN	PARTITION
RCP	REFLECTED CEILING PLAN
REF	REFERENCE
REFR	REFRIGERATOR
RR	REST ROOM
SCHED	SCHEDULE
SD	SOAP DISPENSER
SHWR	SHOWER
SIM	SIMILAR
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STOR	STORAGE
STR	STAIR, STAIRS
TEL	TELEPHONE
THK	THICK
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
VFY	VERIFY
VIF	VERIFY IN FIELD
VNR	VENEER
W/	WITH
W/H	WATER HEATER
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD



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REVISION	DATE	REASON FOR ISSUE

PROJECT NOTES

BID/CD SET

DATE 03.10.2022	PROJECT NUMBER 213360
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SHEET NUMBER
A0.01



1 RENDERING VIEW 1
3/8" = 1'-0"



2 RENDERING VIEW 2
3/8" = 1'-0"



3 RENDERING VIEW 3
3/8" = 1'-0"



4 RENDERING VIEW 4
3/8" = 1'-0"



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RENDERINGS

BID/CD SET

DATE 03.10.2022 PROJECT NUMBER 213360

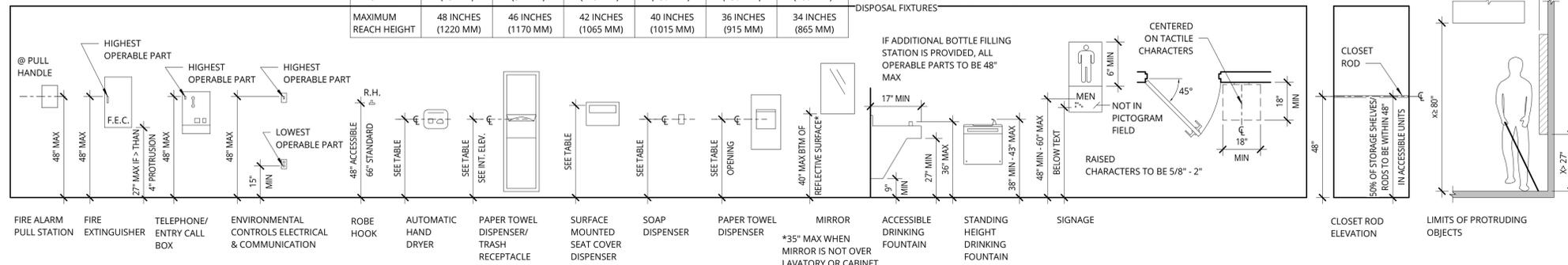
SHEET NUMBER A0.02



TABLE 603.6 MAXIMUM REACH DEPTH AND HEIGHT FOR OPERABLE PARTS ON TOWEL DISPENSERS AND HAND DRYERS SERVING ACCESSIBLE LAVATORIES.***

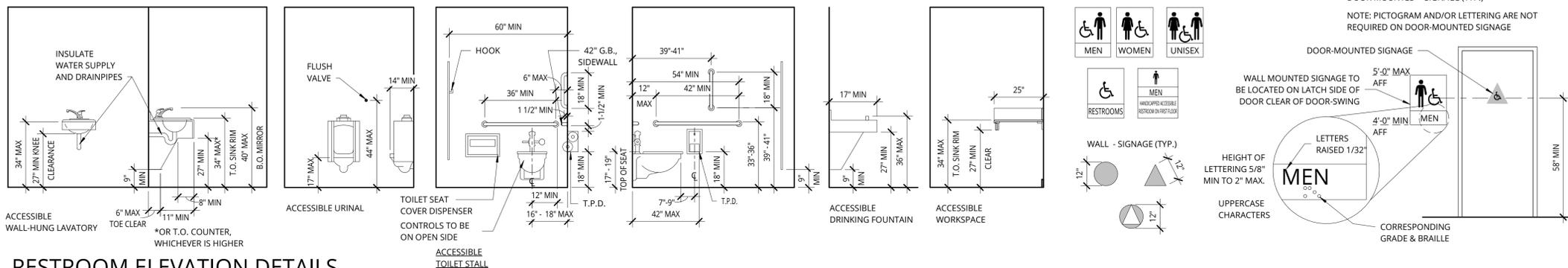
MAXIMUM REACH DEPTH	0.5 INCH (13 MM)	2 INCH (51 MM)	5 INCH (125 MM)	6 INCH (150 MM)	9 INCH (230 MM)	11 INCH (280 MM)
MAXIMUM REACH HEIGHT	48 INCHES (1220 MM)	46 INCHES (1170 MM)	42 INCHES (1065 MM)	40 INCHES (1015 MM)	36 INCHES (915 MM)	34 INCHES (865 MM)

***IN WASHINGTON, ALSO APPLIES TO CLEANSING PRODUCT DISPENSERS AND DISPOSAL FIXTURES



MOUNTING HEIGHTS

PUBLIC SPACES



RESTROOM ELEVATION DETAILS

PER ICC A117.1 CHAPTER 6

GENERAL NOTE: SOME DETAILS ON THIS SHEET MAY NOT APPLY TO THIS PROJECT.

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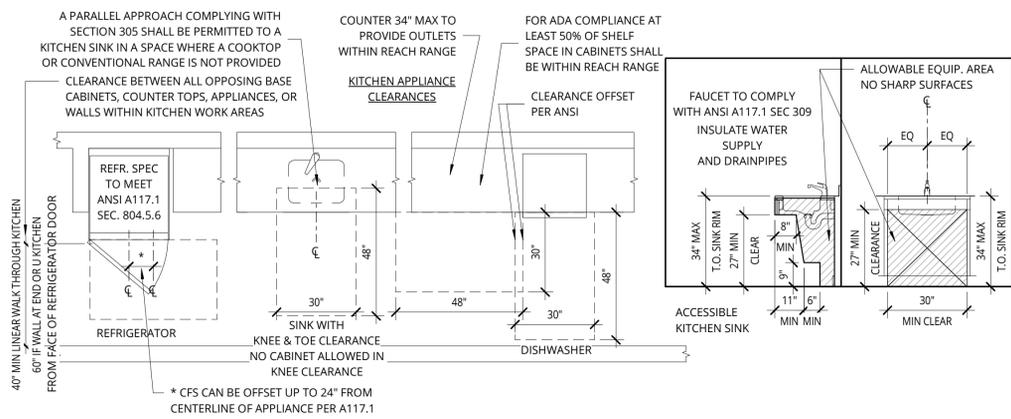
ACCESSIBILITY

BID/CD SET

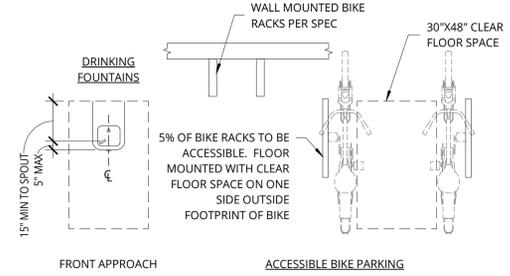
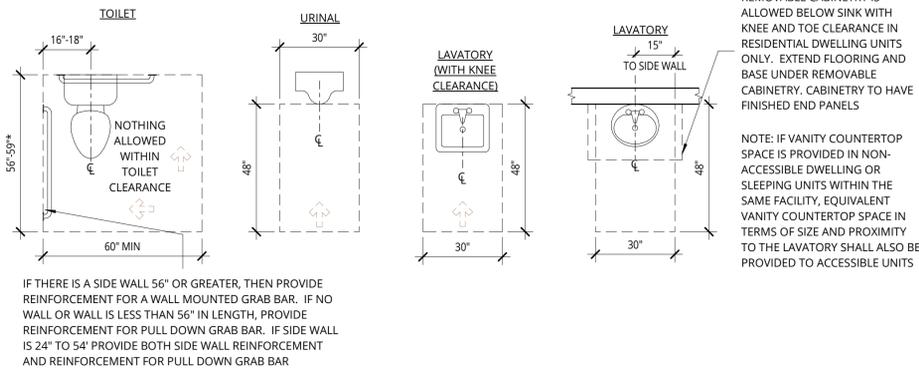
DATE 03.10.2022	PROJECT NUMBER 213360
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SHEET NUMBER

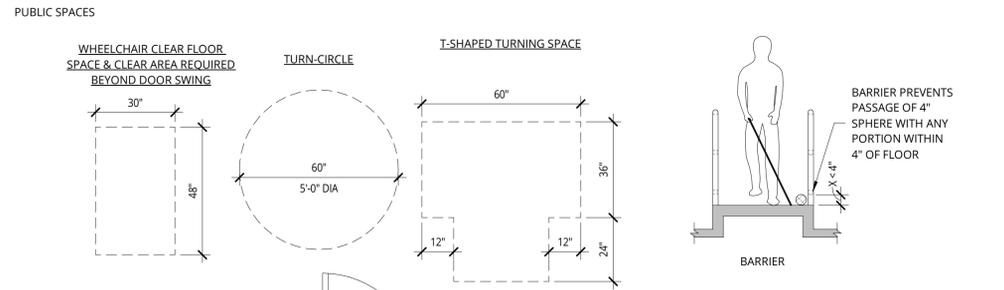
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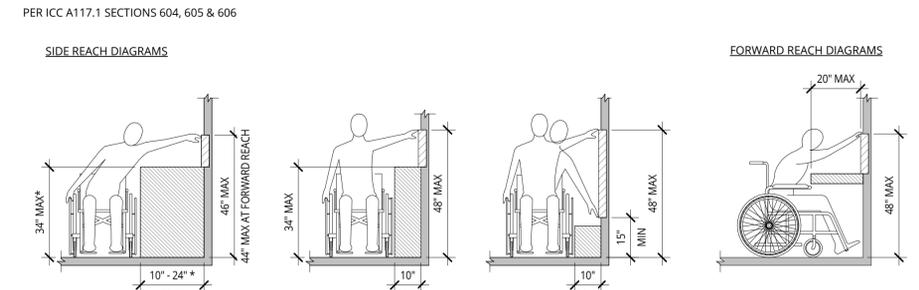
IF TOILET IS WITHIN A STALL AND FLOOR MOUNTED, THEN 59" MIN. 56" IS FOR WALL MOUNTED TOILET IN STALL OR FLOOR MOUNTED TOILET NOT IN A STALL



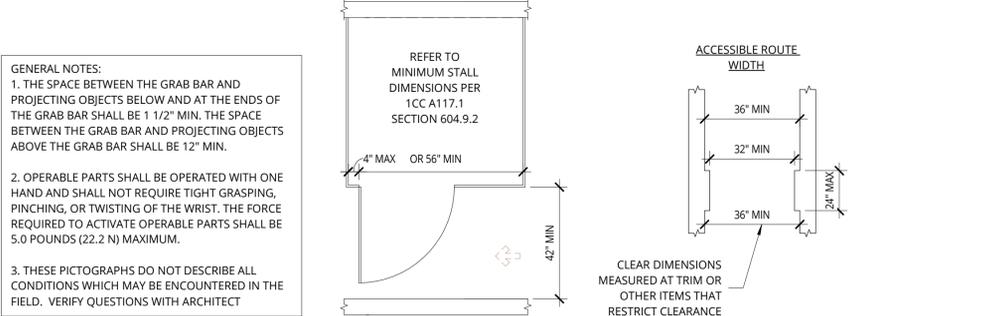
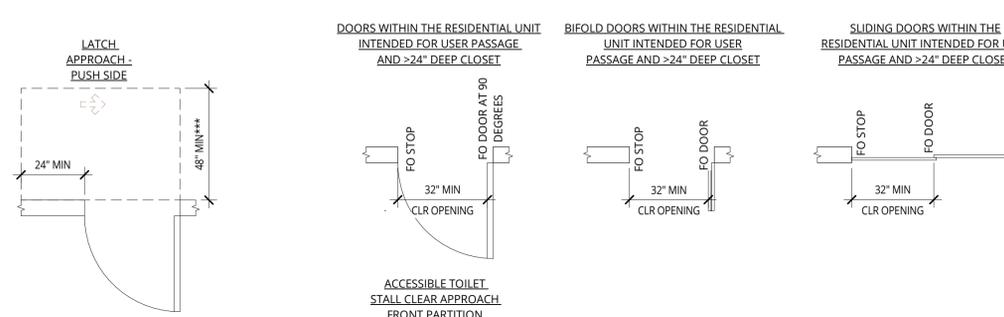
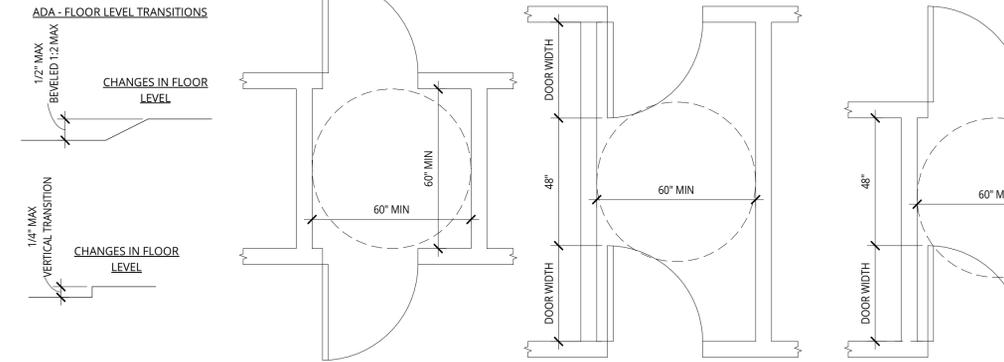
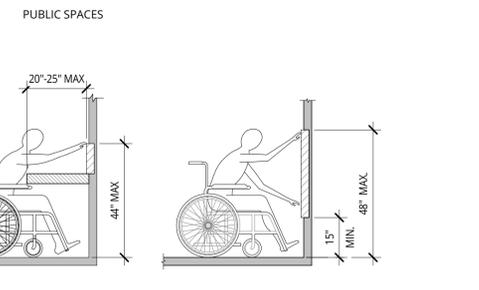
BREAK ROOM DET WHEREVER TURNING SPACE IS REQUIRED, EITHER 5' DIAMETER TURNING CIRCLE OR T-SHAPED TURNING SPACE MAY BE USED



RESTROOM PLAN DETAILS



MISC. PLAN DETAILS



GENERAL NOTES:

- THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS BELOW AND AT THE ENDS OF THE GRAB BAR SHALL BE 1 1/2" MIN. THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS ABOVE THE GRAB BAR SHALL BE 12" MIN.
- OPERABLE PARTS SHALL BE OPERATED WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5.0 POUNDS (22.2 N) MAXIMUM.
- THESE PICTOGRAPHS DO NOT DESCRIBE ALL CONDITIONS WHICH MAY BE ENCOUNTERED IN THE FIELD. VERIFY QUESTIONS WITH ARCHITECT

BUILDING CLEARANCES LEGEND

PER ICC A117.1 CHAPTER 4 -- ALL DETAILS MAY NOT APPLY TO THIS PROJECT

GENERAL NOTE: SOME DETAILS ON THIS SHEET MAY NOT APPLY TO THIS PROJECT.

6054 REGISTERED ARCHITECT

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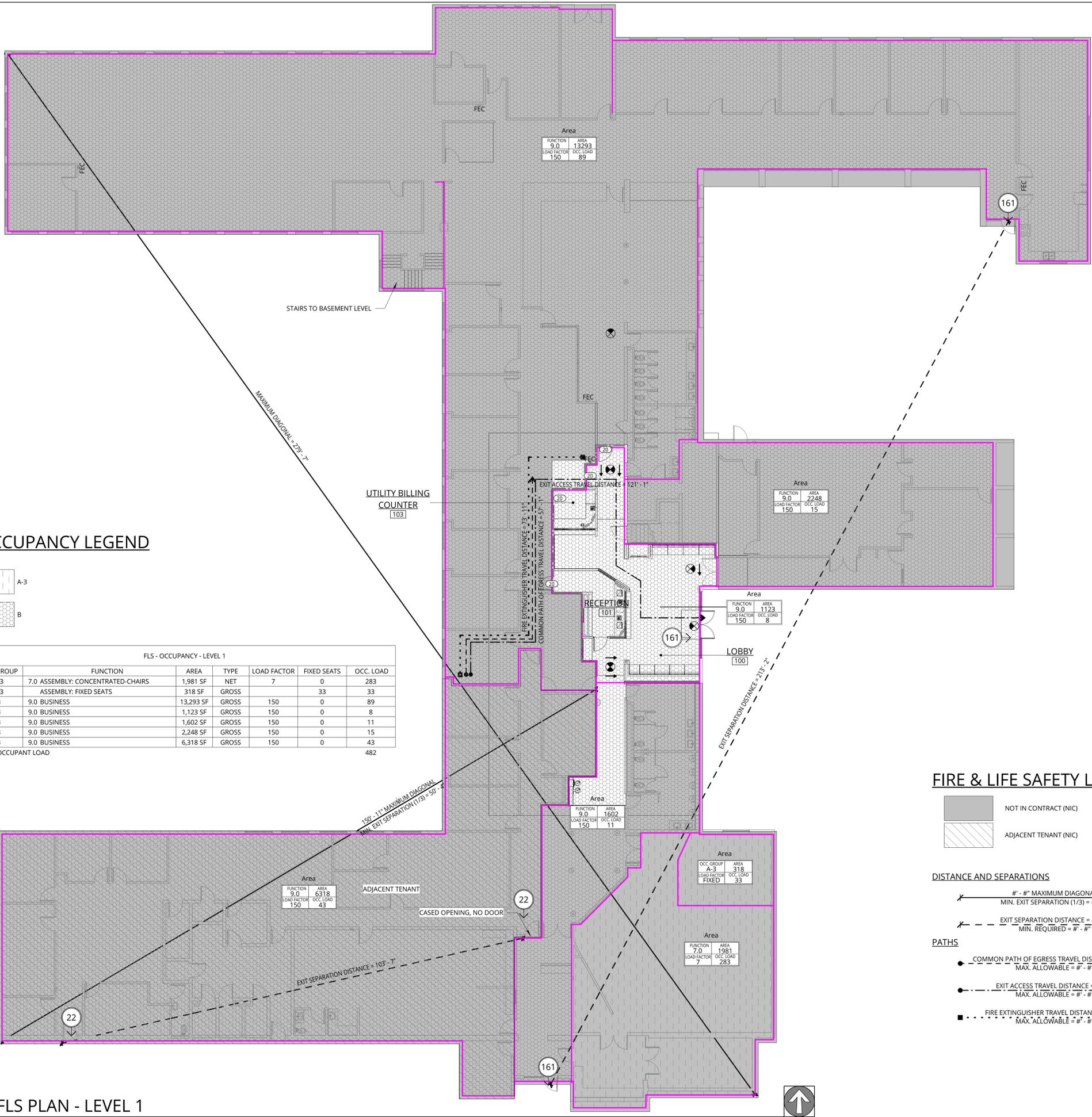
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ACCESSIBILITY

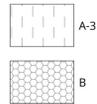
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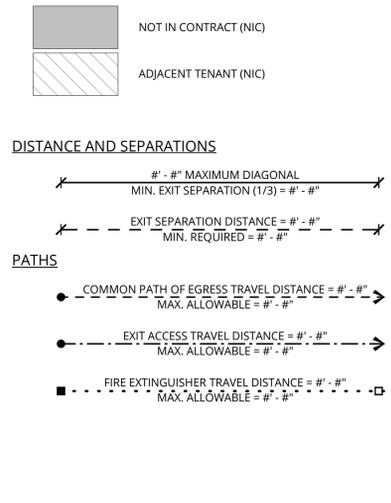


OCCUPANCY LEGEND



FLS - OCCUPANCY - LEVEL 1						
OCC. GROUP	FUNCTION	AREA	TYPE	LOAD FACTOR	FIXED SEATS	OCC. LOAD
A-3	7.0 ASSEMBLY: CONCENTRATED-CHAIRS	1,981 SF	NET	7	0	283
A-3	ASSEMBLY: FIXED SEATS	318 SF	GROSS		33	33
B	9.0 BUSINESS	13,293 SF	GROSS	150	0	89
B	9.0 BUSINESS	1,123 SF	GROSS	150	0	8
B	9.0 BUSINESS	1,602 SF	GROSS	150	0	11
B	9.0 BUSINESS	2,248 SF	GROSS	150	0	15
B	9.0 BUSINESS	6,318 SF	GROSS	150	0	43
TOTAL OCCUPANT LOAD						482

FIRE & LIFE SAFETY LEGEND



FIRE & LIFE SAFETY NOTES

- MEANS OF EGRESS, INCLUDING EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE IS SERVED BY THE MEANS OF EGRESS OCCUPIED.
- MEANS OF EGRESS ILLUMINATION SHALL NOT BE LESS THAN 1 FOOT-CANDLE (11 LUX) AT THE FLOOR LEVEL. THE POWER SUPPLY FOR THE MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF A POWER FAILURE, THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT, OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH THE BUILDING CODE.
- OCCUPANCY TYPE IS DETERMINED IN ACCORDANCE WITH CHAPTER 3 OF THE BUILDING CODE USE AND OCCUPANCY CLASSIFICATION. A BUILDING OR TENANT SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD OF LESS THAN 50 PERSONS OR AREA LESS THAN 750 SQ FT SHALL BE CLASSIFIED AS AN ACCESSORY TO THE PRIMARY OCCUPANCY OF THAT BUILDING, IN ACCORDANCE WITH THE BUILDING CODE.
- EXISTING FIRE EXTINGUISHER LOCATIONS TO BE VERIFIED ON SITE, PROVIDE NEW AS REQUIRED TO MEET CODE REQUIREMENTS.

FIRE & LIFE SAFETY SUMMARY

TRAVEL DISTANCES	
MAXIMUM COMMON PATH OF TRAVEL AREA OF WORK:	57'-1"
MAXIMUM EXIT ACCESS TRAVEL DISTANCE AREA OF WORK:	122'-2"
MAXIMUM ALLOWED DEAD-END CORRIDOR:	EXISTING - NO CHANGE

EXIT ACCESS	
EXIT OR EXIT ACCESS DOORWAYS:	B OCCUPANCY (SPRINKLERED) = 2 EXITS IF OCCUPANT LOAD EXCEEDS 49
EXIT OR EXIT ACCESS CONFIGURATION:	(NON-SPRINKLERED) NOT LESS THAN ONE-HALF THE LENGTH OF THE MAXIMUM OVERALL DIMENSION OF THE AREA SERVED.



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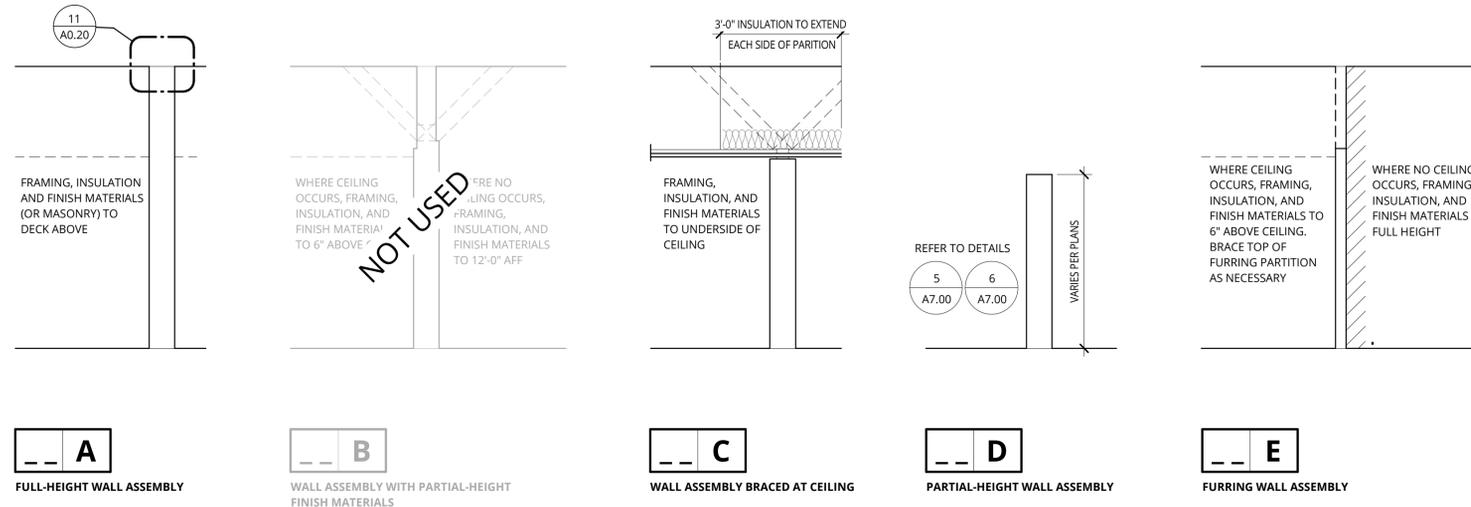
FIRE AND LIFE SAFETY PLAN

BID/CD SET

DATE 03.10.2022	PROJECT NUMBER 213360
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A0.10

1 FLS PLAN - LEVEL 1
 3/32" = 1'-0"



REFER TO CURRENT STEEL STUD MANUFACTURERS' ASSOCIATION (SSMA) TABLES FOR NON-STRUCTURAL COMPOSITE AND NON-COMPOSITE BRACED AT 48" O.C. SECTIONS IN INTERIOR APPLICATIONS (5 PSF) WITH DEFLECTION LIMIT OF L/240 FOR GYPSUM APPLICATIONS. L-40 TO BE UTILIZED WHEN RIGID MATERIALS SUCH AS PLASTER OR TILES ARE APPLIED.

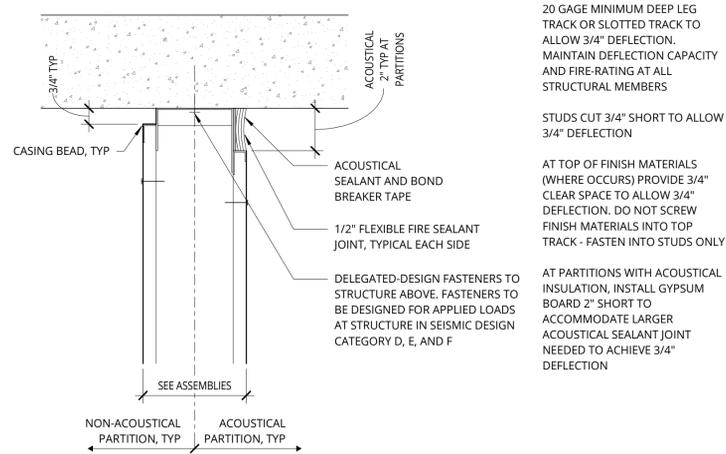
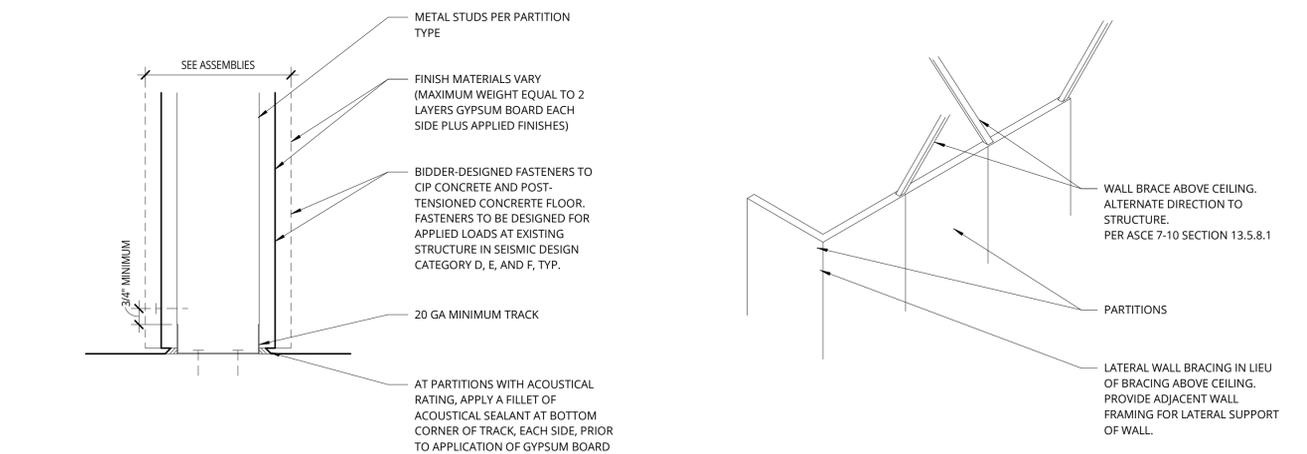
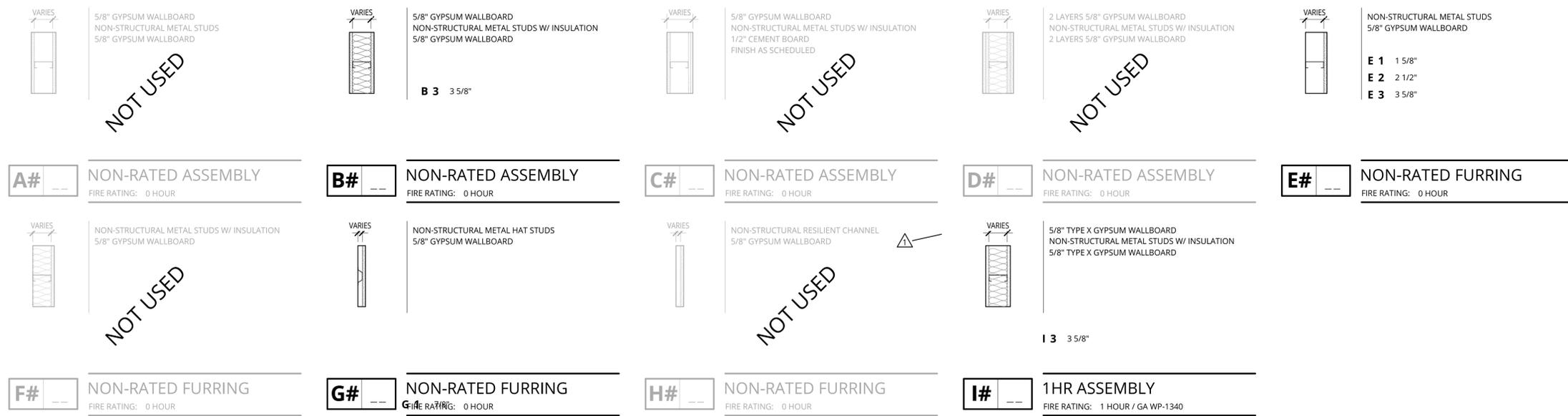
- VALUES FOR COMPOSITE SECTION REQUIRES MINIMUM 1/2 INCH THICK GYPSUM BOARD ON BOTH SIDES WITH #6 TYPE 5 DRYWALL SCREWS SPACED AT 12" O.C. MAX FOR STUDS AT 24" SPACING AND 16" O.C. MAX FOR STUDS AT 16" SPACING.
- HEIGHT LIMITS ARE LESS WHERE GYPSUM BOARD IS ON ONE SIDE. PROVIDE BLOCKING OR STRAPPING ON OPPOSITE SIDE AND USE NON-COMPOSITE BRACED AT 48" O.C. SECTION VALUES.

CEILING WIRE ATTACHMENT	
CONSTRUCTION TYPE	FASTENER
WOOD	1/4" x 3" SCREW EYES
STEEL DECK	PRE-DROP WIRES, CMI DC 1 OR DC 2-1/4" METAL DECK SCREW EYES.
POST TENSION CONCRETE	PRE-DROP WIRES, EMBEDS, 1/4" x 3/4" METAL HIT ANCHORS.
POURED IN PLACE CONCRETE	PRE-DROP WIRES, EMBEDS, 1/4" x 3/4" METAL HIT ANCHORS.

NOTE:
THIS TABLE IS PROVIDED TO GIVE GUIDANCE FOR ALTERNATIVES; FOR OTHER STATES VERIFY WITH AUTHORITY HAVING JURISDICTION

ASSEMBLY CONFIGURATION

ASSEMBLY FRAMING SCHEDULE



GENERAL NOTES:

20 GAGE MINIMUM DEEP LEG TRACK OR SLOTTED TRACK TO ALLOW 3/4" DEFLECTION. MAINTAIN DEFLECTION CAPACITY AND FIRE-RATING AT ALL STRUCTURAL MEMBERS

STUDS CUT 3/4" SHORT TO ALLOW 3/4" DEFLECTION

AT TOP OF FINISH MATERIALS (WHERE OCCURS) PROVIDE 3/4" CLEAR SPACE TO ALLOW 3/4" DEFLECTION. DO NOT SCREW FINISH MATERIALS INTO TOP TRACK - FASTEN INTO STUDS ONLY

AT PARTITIONS WITH ACOUSTICAL INSULATION, INSTALL GYPSUM BOARD 2" SHORT TO ACCOMMODATE LARGER ACOUSTICAL SEALANT JOINT NEEDED TO ACHIEVE 3/4" DEFLECTION

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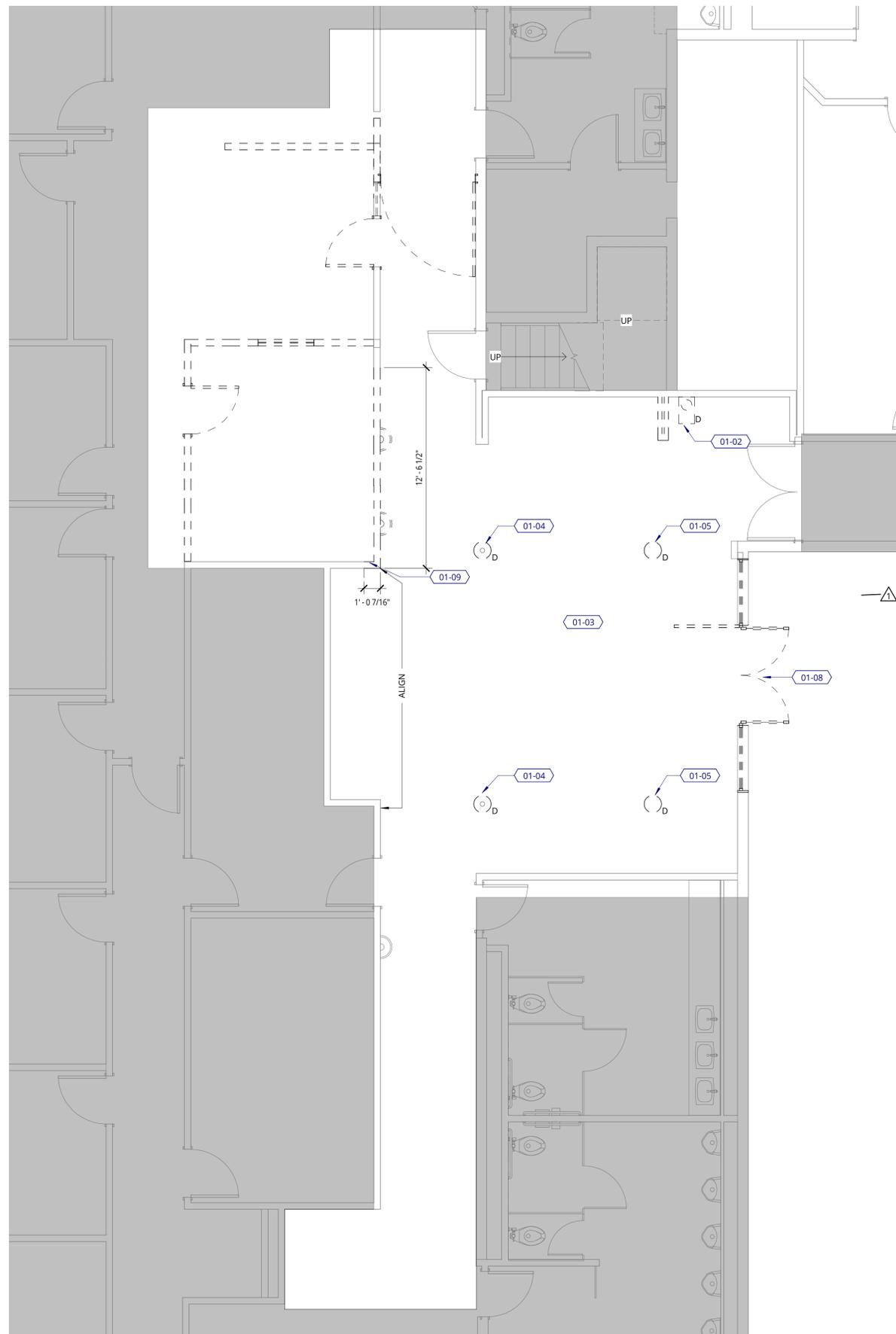
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INTERIOR WALL ASSEMBLIES

BID/CD SET

DATE 03.10.2022	PROJECT NUMBER 213360
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SHEET NUMBER
A0.20



DEMOLITION PLAN NOTES

1. REFER TO PROJECT NOTES FOR INFORMATION NOTES APPLICABLE TO ALL PORTIONS OF WORK.
2. PROVIDE ALL MEASURES NECESSARY TO PROTECT ADJACENT SPACES FROM DUST AND/OR NOISE.
3. OCCUPIED BUILDING - PROVIDE ADEQATE PROTECTION FOR ADJACENT PROPERTY, STRUCTURES AND PASSERSY-BY.
4. CONTRACTOR TO MAINTAIN PATH OF EGRESS, EGRESS LIGHTING AND SIGNAGE THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
5. WHERE WALLS ARE SHOWN DEMOLISHED, TRIM, ELECTRICAL AND OTHER UTILITIES SHALL BE INCLUDED IN DEMOLITION.
6. MAINTAIN EXIT PATHS, LIGHTS, HVAC, ETC. DURING DEMOLITION FOR ALL OCCUPIED PORTIONS OF THE BUILDING.
7. COORDINATE ALL NOISY ACTIVITY REQUIREMNTS WITH BUILDING OWNER.
8. SALVAGE ALL DOORS AND GLAZING TO BE REMOVED FOR POSSIBLE REUSE.
9. DISCONNECT AND CAP ALL UTILITIES AT POINT OF CONNECTION TO THE MAIN AT OR OUTSIDE THE PROPERTY LINE INCLUDING, BUT NOT LIMITED TO WATER, STORM DRAIN, SEWER, ELECTRICITY, STEAM, NATURAL GAS, ETC. REMOVE ALL OBSOLETE PIPE, CONDUIT, WIRING, FIXTURES, ETC.
10. REMOVE EXISTING FLOOR FINISH. PATCH AND REPAIR EXISTING SLAB TO RECEIVE NEW.
11. MAINTAIN FIRE RATING AT ALL EXISTING RATED WALL ASSEMBLY LOCATIONS.

KEYNOTE LEGEND

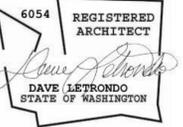
- 01-02 REMOVE EXISTING DRINKING FOUNTAIN. CAP AND REMOVE ALL OBSOLETE PIPE, CONDUIT, ETC. REFER TO FLOOR PLAN FOR PROPOSED DRINKING FOUNTAIN LOCATION.
- 01-03 REMOVE ALL EXISTING FABRIC WALL PANELS/MATERIAL. PATCH AND REPAIR WALLS TO RECEIVE NEW FINISH.
- 01-04 REMOVE EXISTING COLUMN FINISH CLADDING BACK TO STRUCTURE. PATCH AND REPAIR CEILING AS REQUIRED TO RECEIVE NEW FINISH.
- 01-05 REMOVE ALL EXISTING NON-STRUCTURAL COLUMNS. PATCH AND REPAIR CEILING AS REQUIRED TO RECEIVE NEW FINISH.
- 01-08 REMOVE EXISTING EXTERIOR ENTRY DOOR, STOREFRONT ASSEMBLY AND METAL RAIL. REFER TO FLOOR PLAN AND DOOR SCHEDULE FOR NEW STOREFRONT INFORMATION.
- 01-09 CONFIRM IF WALL IS REQUIRED STRUCTURALLY, IF NOT STRUCTURAL REMOVE PORTION OF EXISTING WALL AS DIMENSIONED.

DEMOLITION PLAN LEGEND

- NOT IN CONTRACT (NIC)
- EXISTING TO REMAIN
- DEMOLISH
- GLASS RELITE

ABBREVIATIONS

- (D) DEMOLISH



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LEVEL 1 DEMOLITION

BID/CD SET

DATE	PROJECT NUMBER
03.10.2022	213360

SHEET NUMBER

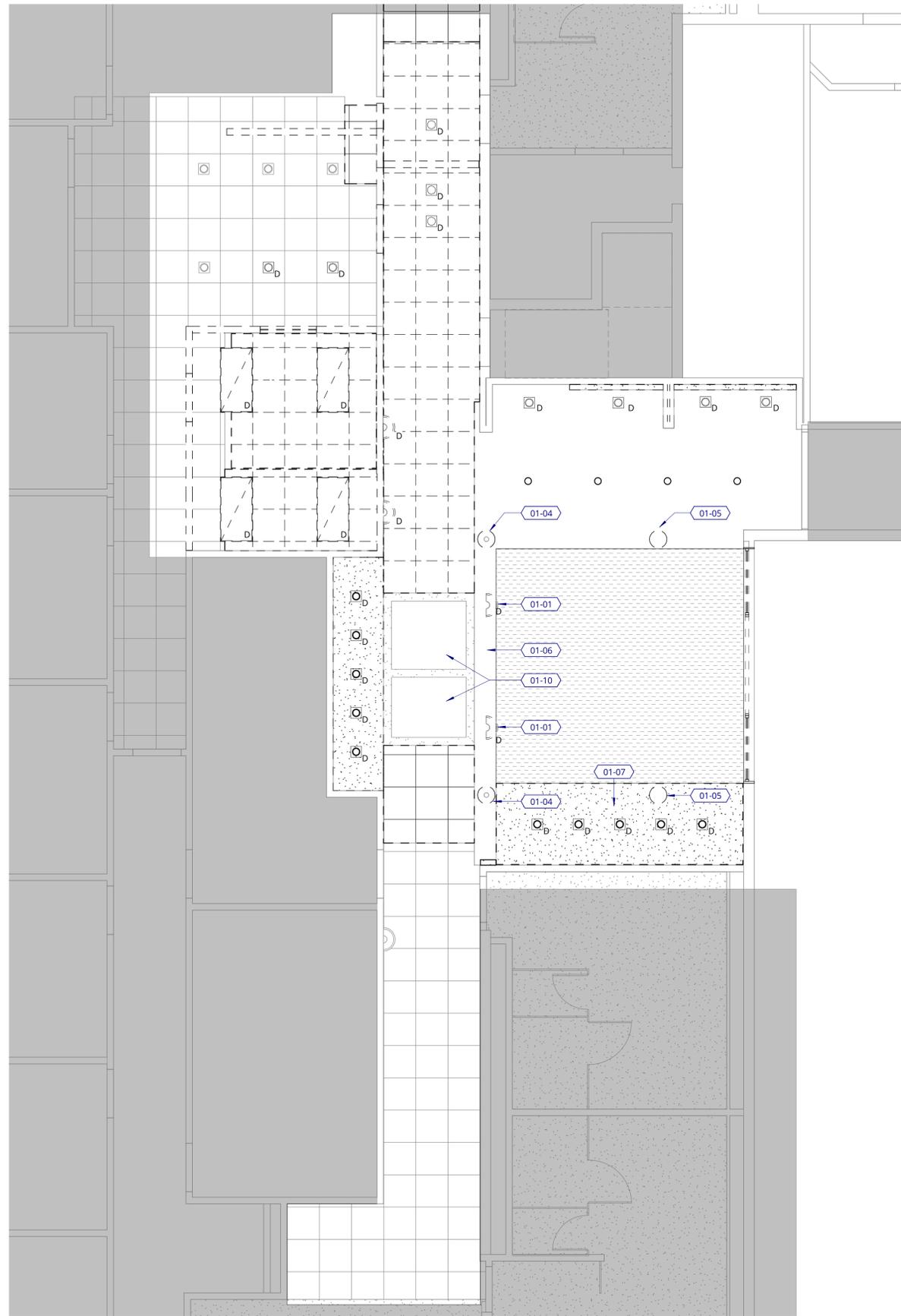
A1.00

1 LEVEL 1 - DEMOLITION PLAN

1/4" = 1'-0"



PROJECT



DEMOLITION RCP NOTES

1. REFER TO PROJECT NOTES APPLICABLE TO ALL PORTIONS OF WORK.
2. PROVIDE ALL MEASURES NECESSARY TO PROTECT ADJACENT SPACES FROM DUST AND/OR NOISE.
3. OCCUPIED BUILDING - PROVIDE ADEQUATE PROTECTION FOR ADJACENT PROPERTY, STRUCTURES AND PASSERSY-BY.
4. CONTRACTOR TO MAINTAIN PATH OF EGRESS, EGRESS LIGHTING AND SIGNAGE THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
5. WHERE WALLS ARE SHOWN DEMOLISHED, TRIM, ELECTRICAL AND OTHER UTILITIES SHALL BE INCLUDED IN DEMOLITION.
6. MAINTAIN EXIT PATHS, LIGHTS, HVAC, ETC. DURING DEMOLITION FOR ALL OCCUPIED PORTIONS OF THE BUILDING.
7. COORDINATE ALL NOISY ACTIVITY REQUIREMENTS WITH BUILDING OWNER.
8. REMOVE INDICATED CEILINGS, ACOUSTICAL CEILING TILE, AND LIGHT AND CEILING FIXTURES THROUGHOUT AREA OF WORK.
9. MAINTAIN FIRE RATING AT ALL EXISTING RATED CEILING ASSEMBLIES.
10. **PROVIDE DEMOLITION FOR ROUGH-IN OF NEW SPRINKLER SYSTEM, TO BE INSTALLED IN PHASE 2 OF PROJECT. INCLUDE PRESSURE TESTING FOR SYSTEM AND PROVIDE A TEMPORARY GAUGE ON THE PIPING TO ALLOW TIE-IN TO THE FINAL SYSTEM.**

KEYNOTE LEGEND

- 01-01 G.C. TO REMOVE EXISTING SCNCES. PATCH AND REPAIR SURFACES TO LIKE NEW CONDITION.
- 01-04 REMOVE EXISTING COLUMN FINISH CLADDING BACK TO STRUCTURE. PATCH AND REPAIR CEILING AS REQUIRED TO RECEIVE NEW FINISH.
- 01-05 REMOVE ALL EXISTING NON-STRUCTURAL COLUMNS. PATCH AND REPAIR CEILING AS REQUIRED TO RECEIVE NEW FINISH.
- 01-06 SELECT DEMOLITION AND REPAIR TO EXISTING SOFFIT MAY BE REQUIRED FOR ATTACHMENT OF NEW PARTITION TO EXISTING FRAMING.
- 01-07 REMOVE EXISTING SOFFIT AND PROVIDE NEW AT HEIGHT INDICATED ON THE REFLECTED CEILING PLAN.
- 01-10 EXISTING SKYLIGHT TO REMAIN.

DEMOLITION RCP SYMBOLS

- NOT IN CONTRACT (NIC)
- EXISTING TO REMAIN
- DEMOLISH
- EXISTING GYP BOARD CEILING/SOFFIT TO REMAIN
- GYP BOARD CEILING/SOFFIT TO BE REMOVED
- EXISTING ACT CEILING TO REMAIN
- ACT CEILING TO BE REMOVED
- WOOD CEILING TO BE REMOVED

LIGHTING FIXTURES

- LAY-IN LIGHT FIXTURE
- RECESSED DOWNLIGHT
- WALL MOUNTED SCONCE LIGHT FIXTURE

ABBREVIATIONS

- (D) DEMOLISH



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LEVEL 1 DEMOLITION RCP

BID/CD SET

DATE 03.10.2022	PROJECT NUMBER 213360
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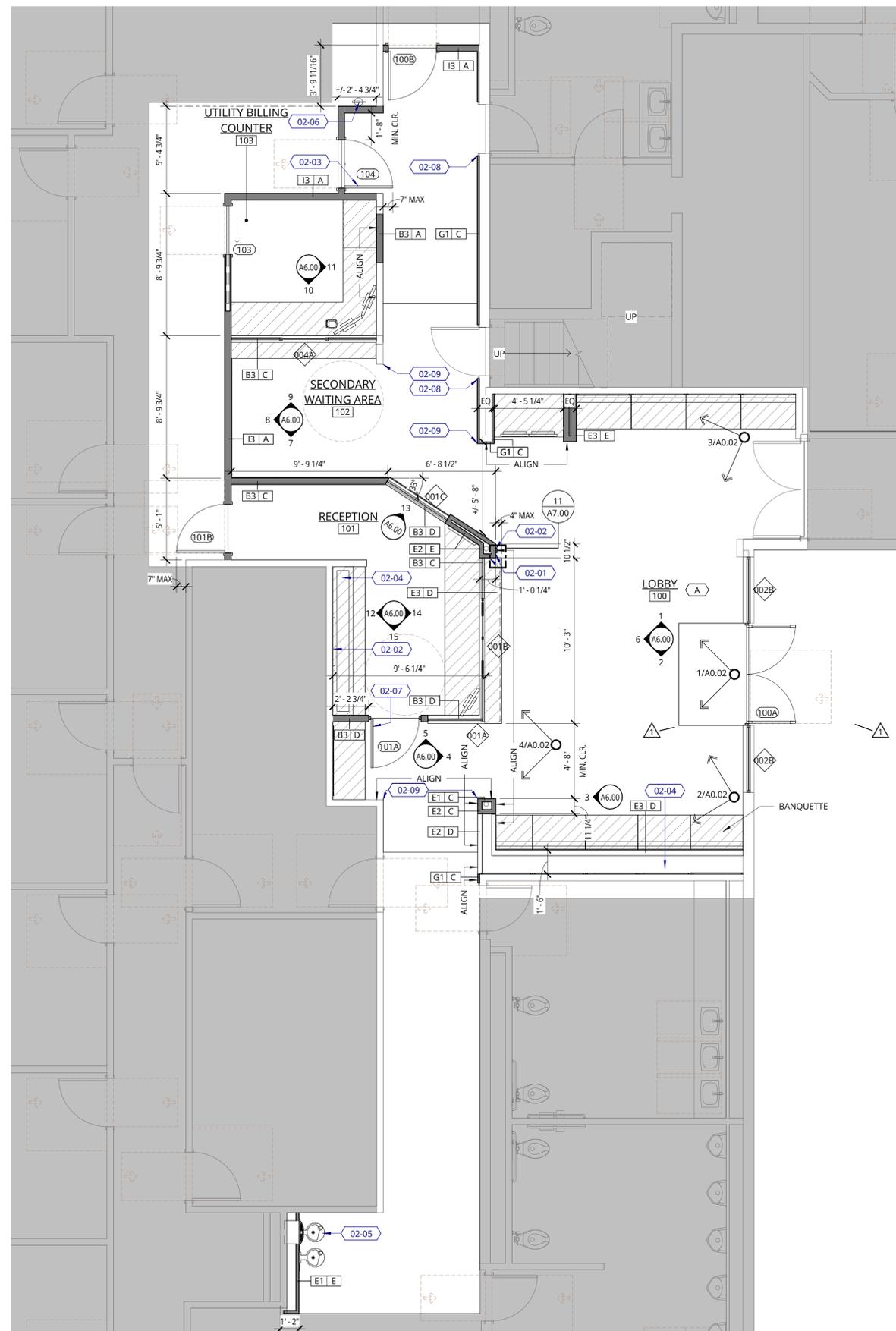
SHEET NUMBER

A1.10

1 LEVEL 1 - DEMOLITION RCP

1/4" = 1'-0"





1 LEVEL 1 - FLOOR PLAN



FLOOR PLAN NOTES

- REFER TO PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
- REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ACCESS DOOR LOCATIONS.
- ALL DIMENSIONS FROM FACE OF FINISH WALL, UNLESS OTHERWISE NOTED.
- MAXIMUM OFFSET OF FLOOR OR LANDING ADJACENT TO DOORS IS 1/2 INCH. BEVEL CHANGES IN LEVEL GREATER THAN 1/4 INCH AT A SLOPE NOT TO EXCEED 1:2 IN ACCORDANCE WITH ADA/ANSI 303.2 AND 303.3.
- VERIFY EXISTING ABANDONED CORE DRILL LOCATIONS AND FILL AS REQUIRED WITH MATERIAL TO MEET ACOUSTICAL AND FIRE RATING OF ADJACENT CONSTRUCTION. LEAVE SUCH PATCHED AREAS FLAT AND FLUSH, IN PREPARATION TO RECEIVE NEW FLOOR FINISH AS SCHEDULED.
- LOCATE HINGE JAMBS 4" FROM FACE OF ADJACENT WALL, UNLESS NOTED OTHERWISE.
- PROVIDE A SMOOTH SURFACE ON THE PUSH SIDE OF THE DOOR STRIKE FACE EXTENDING THE FULL WIDTH OF THE DOOR ON SURFACES WITHIN 10 INCHES OF THE FLOOR MEASURED VERTICALLY IN ACCORDANCE WITH ANSI 404.2.9.
- PATCH AND REPAIR ALL EXISTING WALLS TO UNIFORM APPEARANCE. ALL WALLS TO HAVE MINIMUM OF LEVEL-4 FINISH.
- COORDINATE THERMOSTAT AND OTHER WALL MOUNTED DEVICE LOCATIONS WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- CONTRACTOR TO MAINTAIN PATH OF EGRESS, EGRESS LIGHTING AND SIGNAGE THROUGH DURATION OF CONSTRUCTION.
- IF DIMENSIONS NOTED AS +/- ARE MORE THAN 1" OFF FROM THE DIMENSIONS PROVIDED, NOTIFY ARCHITECT.
- ALL NEW WORK IS TO MAINTAIN THE EXISTING ESTABLISHED ONE HOUR RATED ASSEMBLY.

KEYNOTE LEGEND

- 02-01 G.C. TO ALIGN COLUMN SURROUND WITH EXISTING CEILING/SOFFIT. REFER TO REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
- 02-02 PROVIDE BLOCKING AT ALL SIGNAGE, MONITOR AND PANELING LOCATIONS.
- 02-03 TEMPORARY DOOR TO BE INSTALLED PHASE 1. DOOR TO BE REMOVED UNDER PHASE 2 SCOPE.
- 02-04 PLANTER BOX FEATURE, REFER TO ELEVATIONS AND DETAILS. OWNER'S PLANT VENDOR TO PROVIDE PLANTS AND POTS.
- 02-05 PROVIDE AND INSTALL DRINKING FOUNTAIN - ELKAY BOTTLE FILLING STATION WITH BI-LEVEL FOUNTAIN, MODEL: EZWS-ERPM28K. CONFIRM FINAL LOCATION WITH DESIGNER AND OWNER PRIOR TO WALL FRAMING AND FOUNTAIN INSTALLATION.
- 02-06 PROVIDE SURFACE MOUNTED FIRE EXTINGUISHER CABINET, JL INDUSTRIES, AMBASSADOR SERIES, PAINTED TO MATCH P-1 OR APPROVED EQUAL. CONFIRM FINAL LOCATION WITH DESIGNER PRIOR TO INSTALLATION.
- 02-07 WALL FRAMING AND HEADER TO BE DESIGN-BUILD BY CONTRACTOR. FRAMING TO BE DESIGNED TO MINIMIZE IMPACT OF VIBRATION AND SOUND WHEN DOOR IS IN OPERATION.
- 02-08 GC TO VERIFY IF DOOR JAMB MODIFICATION OR REPLACEMENT IS REQUIRED TO ACCOMMODATE ADDITIONAL WALL FURRING. PROVIDE ADDITIONAL COST ALLOWANCE AS REQUIRED. ADDITIONAL PROVIDE J-MOLD AT ALL OUTSIDE CORNERS WHERE FURRING OCCURS.
- 02-09 PROVIDE CORNER GUARDS AT SPECIFIED LOCATIONS. SPECIFICATION: INPRO, 160 HIGH IMPACT CORNER GUARD, HEIGHT: 4'-0", WIDTH: 2", PROVIDE 160A ALUMINUM RETAINER, COLOR: WHITE.

FLOOR PLAN LEGEND

- NOT IN CONTRACT (NIC)
- EXISTING TO REMAIN
- NEW CONSTRUCTION
- EXISTING WALL TO REMAIN
- NEW WALL
- NEW CASEWORK
- WALL ASSEMBLY
- GLASS RELITE
- DOOR TAG
- KEYNOTE
- GLAZING TAG, REFER TO A8.00 FOR GLAZING SCHEDULE
- RENDERING PERSPECTIVE VIEW



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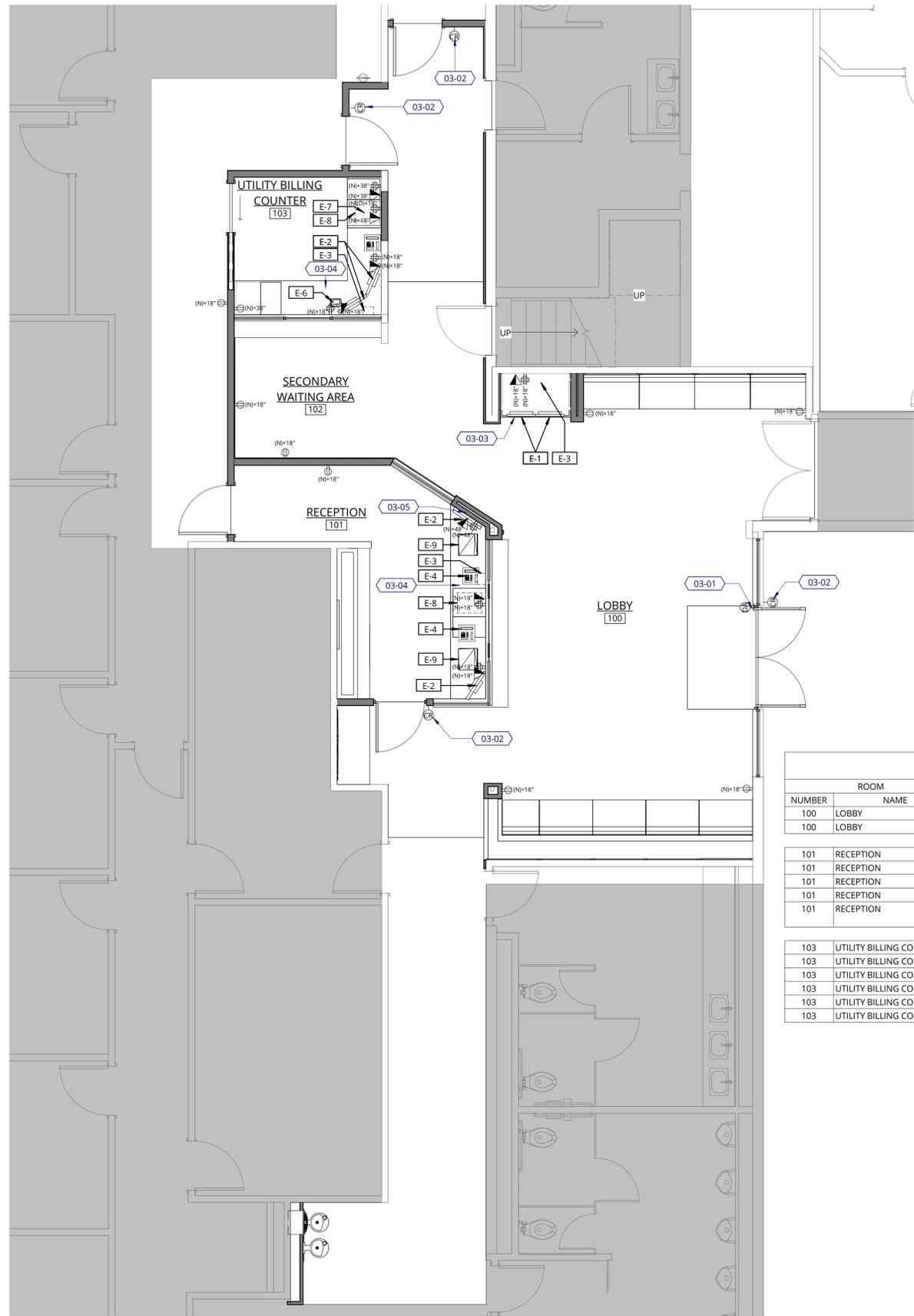
LEVEL 1 FLOOR PLAN

BID/CD SET

DATE: 03.10.2022 PROJECT NUMBER: 213360

SHEET NUMBER

A2.00



POWER & DATA PLAN LEGEND

- NOT IN CONTRACT (NIC)
- EXISTING TO REMAIN
- NEW CONSTRUCTION
- EXISTING WALL TO REMAIN
- NEW WALL

WALL-MOUNTED DEVICES

- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- DUPLEX RECEPTACLE W/ USB
- PHONE/DATA RECEPTACLE
- JUNCTION BOX
- CARD READER
- DOOR ACTUATOR
- HDMI

ABBREVIATIONS

- MOUNTING HEIGHT**
- +44" HEIGHT ABOVE FINISH FLOOR TO CENTERLINE
 - +18", 44" HEIGHT ABOVE FINISH FLOOR TO CENTERLINE FOR VERTICALLY STACKED DEVICES
- DESCRIPTION**
- (D) DEDICATED
 - (GFI) GROUND FAULT CIRCUIT INTERRUPTER
 - (USB) UNIVERSAL SERIAL BUS

POWER & DATA PLAN NOTES

1. REFER TO PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
2. CONCEAL ELECTRICAL WIRING, TELEPHONE AND COMPUTER CABLING, AND CONDUIT IN FLOORS, WALLS, OR CEILINGS.
3. ALL POWER/DATA TERMINATIONS ARE EXISTING UNLESS DENOTED AS NEW.
4. LOCATE OUTLETS AND MUD RINGS AT 18" AFF TO THE CENTERLINE, UNLESS NOTED OTHERWISE.
5. ALL COVER PLATES AND DEVICES SHALL MATCH BUILDING STANDARD FINISH EXCEPT: "ISOLATED GROUND" OUTLETS SHALL BE ORANGE, "HOSPITAL GRADE ISOLATED GROUND" OUTLETS SHALL BE ORANGE WITH A GREEN DOT, "EMERGENCY" OUTLETS SHALL BE RED, AND "DEDICATED" OUTLETS FOR "CLEAN CIRCUIT" FIXTURES SHALL BE GRAY (UNLESS BUILDING STANDARDS DICTATE OTHERWISE). VERIFY WITH BUILDING MANAGEMENT.
6. REFER TO REFLECTED CEILING PLANS FOR LIGHT SWITCH LOCATIONS.

KEYNOTE LEGEND

- 03-01 PROVIDE AND INSTALL FRAME MOUNTED DOOR ACTUATOR HARDWARE. PROVIDE ALL REQUIRED ELECTRICAL, CABLING AND CONNECTION TO INTEGRATE WITH EXISTING SYSTEM.
- 03-02 PROVIDE NEW CARD READ HARDWARE AND REQUIRED ELECTRICAL INFRASTRUCTURE AT NEW DOOR LOCATION TO TIE INTO EXISTING SYSTEM.
- 03-03 PROVIDE POWER/DATA LOCATION FOR DISPLAY MONITORS AND CPU. CASEWORK TO HAVE GROMMET TO PROVIDE PATHWAY FOR CABLING. REFER TO DETAIL FOR MORE INFORMATION.
- 03-04 PROVIDE PATHWAY FOR PANIC BUTTON TO BE CONNECTED WITH THE POLICE DEPARTMENT (IN SAME BUILDING) SECURITY SYSTEM. COORDINATE REQUIREMENTS WITH OWNER.
- 03-05 PROVIDE IN-WALL RECESSED STORAGE BOX TO HOUSE POWER AND DATA, IN-WALL BOX SPEC: LEGRAND PROXIMITY IN-WALL STORAGE BOX OR EQUIVALENT, FINISH WHITE; AND PROVIDE MONITOR MOUNT MOUNTED WITHIN IN-WALL BOX, SPEC: HUMANSCALE M21HMB8TO OR EQUIVALENT. REFER TO DETAIL FOR ADDITIONAL INFORMATION.

EQUIPMENT SCHEDULE												
NUMBER	ROOM	ID	NAME	DIMENSIONS			FURNISHED BY	INSTALLED BY	QUANTITY	NEW/EXISTING	REQUIREMENT ELECTRICAL	COMMENTS
				WIDTH	HEIGHT	DEPTH						
100	LOBBY	E-1	DIGITAL DISPLAY	3' - 1"	3 1/2"	1' - 9"	OWNER	CONTRACTOR	2	NEW	(1) DUPLEX, (1) DATA	COORDINATE FINAL SIZE AND REQUIREMENTS WITH OWNER.
100	LOBBY	E-3	CPU	8"	10"	6"	OWNER	OWNER	1	NEW	(1) DUPLEX, (1) DATA	COORDINATE FINAL SIZE AND REQUIREMENTS WITH OWNER.
101	RECEPTION	E-2	MONITOR	1' - 3"	2' - 0"	7 1/2"	OWNER	OWNER	2	NEW	(1) DUPLEX	COORDINATE FINAL SIZE AND REQUIREMENTS WITH OWNER.
101	RECEPTION	E-3	CPU	8"	10"	6"	OWNER	OWNER	1	NEW	(1) DUPLEX, (1) DATA	COORDINATE FINAL SIZE AND REQUIREMENTS WITH OWNER.
101	RECEPTION	E-4	PHONE				OWNER	OWNER	2	NEW	(1) DATA	COORDINATE FINAL SIZE AND REQUIREMENTS WITH OWNER.
101	RECEPTION	E-8	PRINTER	1' - 3"	6"	1' - 6"	OWNER	OWNER	1	NEW	(1) DUPLEX, (1) DATA	COORDINATE FINAL SIZE AND REQUIREMENTS WITH OWNER.
101	RECEPTION	E-9	LAPTOP AND DOCKING STATION	1' - 1"	3 1/2"	9"	OWNER	OWNER	2	NEW	(1) DUPLEX, (1) DATA	COORDINATE FINAL SIZE AND REQUIREMENTS WITH OWNER.
103	UTILITY BILLING COUNTER	E-2	MONITOR	1' - 3"	2' - 0"	7 1/2"	OWNER	OWNER	2	NEW	(1) DUPLEX	COORDINATE FINAL SIZE AND REQUIREMENTS WITH OWNER.
103	UTILITY BILLING COUNTER	E-3	CPU	8"	10"	6"	OWNER	OWNER	1	NEW	(1) DUPLEX, (1) DATA	COORDINATE FINAL SIZE AND REQUIREMENTS WITH OWNER.
103	UTILITY BILLING COUNTER	E-4	PHONE				OWNER	OWNER	1	NEW	(1) DATA	COORDINATE FINAL SIZE AND REQUIREMENTS WITH OWNER.
103	UTILITY BILLING COUNTER	E-6	CREDIT CARD READER				OWNER	OWNER	1	NEW	(1) DATA	COORDINATE FINAL SIZE AND REQUIREMENTS WITH OWNER.
103	UTILITY BILLING COUNTER	E-7	SNAP SCAN	11"	2"	2"	OWNER	OWNER	1	NEW	(1) DUPLEX, (1) DATA	COORDINATE FINAL SIZE AND REQUIREMENTS WITH OWNER.
103	UTILITY BILLING COUNTER	E-8	PRINTER	1' - 3"	6"	1' - 6"	OWNER	OWNER	1	NEW	(1) DUPLEX, (1) DATA	COORDINATE FINAL SIZE AND REQUIREMENTS WITH OWNER.



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LEVEL 1 POWER & DATA PLAN

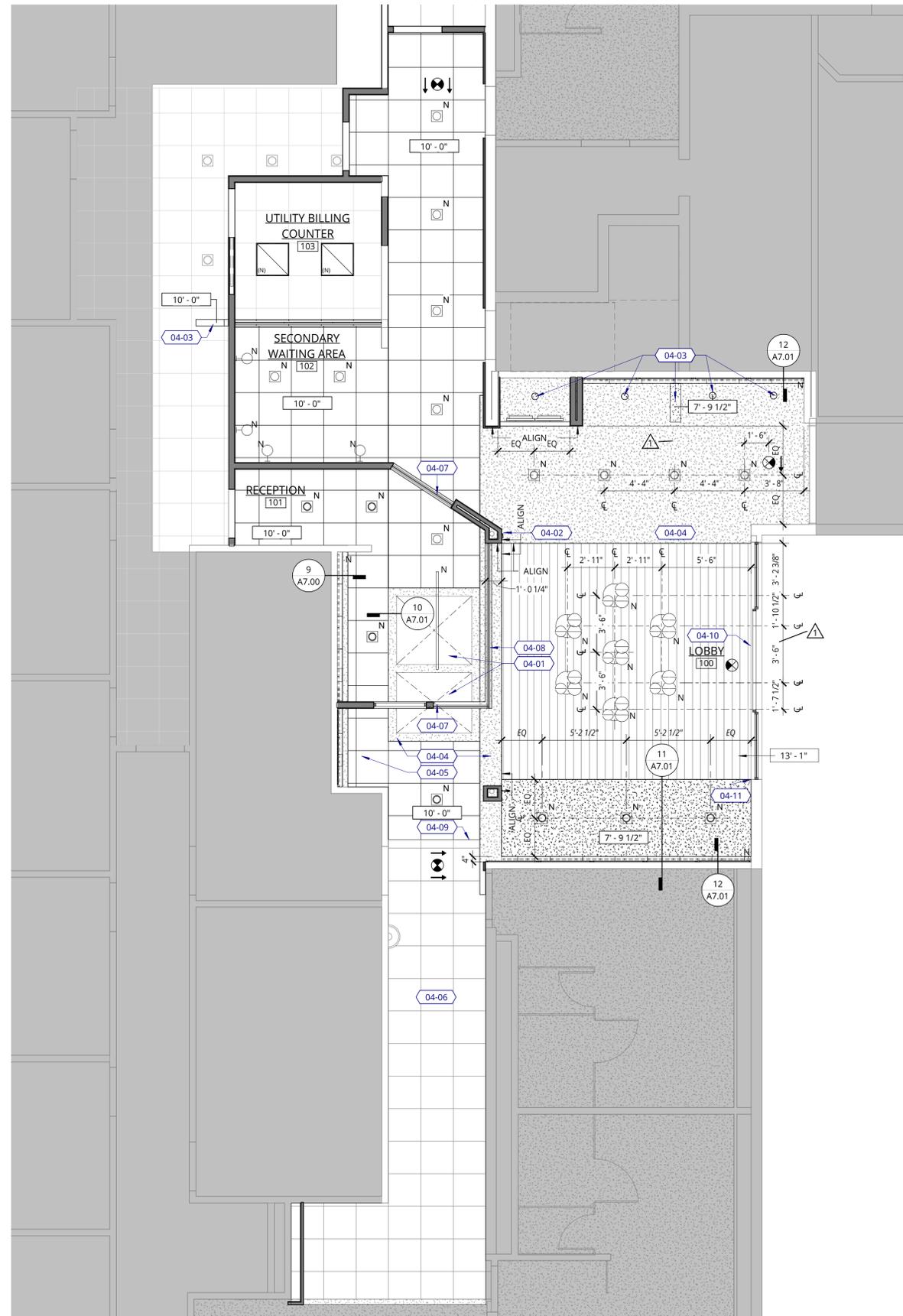
BID/CD SET

DATE: 03.10.2022 PROJECT NUMBER: 213360

SHEET NUMBER: **A2.10**

1 LEVEL 1 - POWER & DATA PLAN
1/4" = 1'-0"





1 LEVEL 1 - REFLECTED CEILING PLAN
1/4" = 1'-0"



REFLECTED CEILING PLAN LEGEND

LIGHTING FIXTURES

- RECESSED LINEAR WALLWASH FIXTURE
MFR: KELVIX, BRETT 502, 502-1-9-DV-35K-WH-CP-SV-ULV
COLOR TEMPERATURE: 3500K
PROVIDE INDEPENDENT DRIVERS FOR EACH FIXTURE
- RECESSED DOWNLIGHT
MFR: LITHONIA LIGHTING
STYLE: LDN6
TRIM: WHITE, L-06
COLOR TEMPERATURE: 3500K
- WALL MOUNTED SCONCE LIGHT FIXTURE
MFR: ALLIED MAKER
STYLE: BASTION SCONCE
STEM FINISH: TBD
CANOPY FINISH: TBD
COLOR TEMPERATURE: 3500K
INSTALLATION: PER ELEVATIONS
- SPECIALTY PENDANT FIXTURE
MFR: PABLO DESIGNS
STYLE: BOLA SPHERE CHANDELIER - 8, 10, 12
STEM FINISH: TBD
CANOPY FINISH: PAINT, COLOR TBD
COLOR TEMPERATURE: 3500K
INSTALLATION HEIGHT: TBD
- LINEAR PENDANT
MFR: PURE EDGE
STYLE: GLIDE WOOD UP AND DOWNLIGHT 100
DEGREES DIFFUSED WHITE LENS WITHOUT LOUVER
CANOPY FINISH/STYLE: TBD, COORDINATE PER CEILING TYPE
SIZE: 6'-0"
WOOD FINISH: WALNUT
COLOR TEMPERATURE: 3500K
WATTAGE: 7W
- 2X2 LAY-IN FIXTURE
MFR: LITHONIA
STYLE: AVANTE 2AVL2
SIZE: 2' X 2'
COLOR TEMPERATURE: 3500K
LUMENS: 20LSL

ABBREVIATIONS

(N) NEW

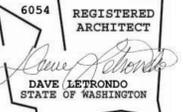
REFLECTED CEILING PLANS

NOTES

1. REFER TO PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
2. EXISTING CEILING TO REMAIN UNLESS NOTE OTHERWISE.
3. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ACCESS DOOR LOCATIONS, FINAL LOCATIONS TO BE COORDINATED WITH ARCHITECT.
4. ADJUST LIGHT GAUGE METAL FRMING SIZE, GAUGE AND SPACING AT SOFFITS AND CEILINGS TO MEET MANUFACTURER'S PUBLISHED SPAN TABLES, SPECIFIED DEFLECTION CRITERIA, AND TO SUPPORT BOTH GRAVITY AND LATERAL LOADS.
5. CEILINGS AND SOFFITS ARE MEASURED VERTICALLY FROM THE FINISHED FACE OF CEILING OR SOFFIT TO FINISHED FLOOR, UNLESS NOTED OTHERWISE.
6. LOCATE DOWN LIGHTS AND OTHER CEILING MOUNTED DEVICES IN THE CENTER OF CEILING TILE, UNLESS NOTED OTHERWISE.
7. PROVIDE OCCUPANCY SENSORS FOR ALL OFFICE AREAS LESS THAN 300 SQ. FT. ENCLOSED BY WALLS OR CEILING-HEIGHT PARTITIONS, AND ALL MEETING AND CONFERENCE ROOMS.
8. FOR TYPICAL SUSPENDED CEILING AND GRID DETAILS SEE SHEET A7.01.
9. **PROVIDE ROUGH-IN FOR NEW SPRINKLER SYSTEM, TO BE INSTALLED IN PHASE 2 OF PROJECT. INCLUDE PRESSURE TESTING FOR SYSTEM AND PROVIDE A TEMPORARY GAUGE ON THE PIPING TO ALLOW TIE-IN TO THE FINAL SYSTEM.**
10. GRID, TILE AND SOFFITS ARE PART OF A ONE HOUR CEILING RATED ASSEMBLY. ALL NEW WORK IS TO MAINTAIN THE EXISTING RATED ASSEMBLY PER UL 263, REFER TO **SHEET A0.30**. NEW OF RELOCATED HVAC DIFFUSERS, REGISTERS AND RETURN AIR GRILLS TO BE EQUIPPED WITH FIRE DAMPERS SUITABLE TO MAINTAIN RATED CEILING SYSTEM.
11. LIGHTING CONTROLS TO COMPLY WITH ALL ENERGY CODE REQUIREMENTS.
12. ALL MECHANICAL EQUIPMENT, DIFFUSERS, ETC. ARE TO BE CONCEALED ABOVE CEILING TILES AND GYPSUM SOFFITS. WOOD CEILING IS TO REMAIN FREE OF ALL MECHANICAL RELATED UNITS.
13. ALL CEILING DEVICES ARE TO MATCH THE DESIGNATED FINISHES OF THE SURFACE OF WHICH THEY ARE LOCATED.
14. ALL ACCESS PANELS TO BE MUD AND TAPED FLANGELESS TYPE WITH CONCEALED HINGES AND THREE THUMB TURNS.
15. PROVIDE EDGE LIT EXIT SIGNS TYP. THROUGHOUT AREA OF WORK.

KEYNOTE LEGEND

- 04-01 EXISTING SKYLIGHTS TO REMAIN. CLEAN AND PAINT GYPSUM SURROUND AND FACES.
- 04-02 PROVIDE ELECTRICAL PATHWAY FOR OWNER PROVIDED LIT SIGNAGE. CONFIRM EXACT REQUIREMENTS AND LOCATION WITH DESIGNER AND OWNER PRIOR TO INSTALLATION.
- 04-03 CEILING INFILL TO MATCH HEIGHT OF EXISTING TO REMAIN.
- 04-04 PREP ALL EXISTING SOFFITS TO REMAIN TO RECEIVE NEW PAINT.
- 04-05 GC TO PROVIDE DISPLAY CABINET LIGHTING, SPEC: FEELUX MONORAIL 2 NMS3, 3500K, 40 DEGREE BEAM ANGLE, FINISH BLACK. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- 04-06 EXISTING CORRIDOR LIGHTING AND ACT TO REMAIN.
- 04-07 FRAMING TO BE DESIGN BUILD. DESIRE IS TO FRAME SO THAT THE SPACE ABOVE THE HEADER IS OPEN AS SHOWN.
- 04-08 DETERMINE IF FEASIBLE TO UTILIZE EXISTING STRUCTURAL BEAM FOR BOX BEAM HEADER ATTACHMENT. G.C. TO CARRY ALLOWANCE FOR BOX BEAM HEADER WITH FULL HEIGHT FRAMING WITH 45 DEGREE BRACING IF ATTACHMENT TO EXISTING BEAM PROVES TO BE INFEASIBLE. GC TO MAINTAIN ALL EXISTING FIRE-RATINGS AS REQUIRED BY CODE.
- 04-09 PROVIDE NEW ACT THIS PORTION OF CEILING. NEW FINISH TO ALIGN WITH NEW FLOOR TILE FINISH BELOW.
- 04-10 REFER TO ALTERNATE PRICING OPTION A ON A0.00.
- 04-11 ALIGN NEW SOFFIT WITH FACE OF COLUMN FURRING IF FEASIBLE WITH ANGLED CEILING CONDITION. IF INFEASIBLE, ALIGN SOFFIT WITH STOREFRONT OPENING AS SHOWN.



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LEVEL 1 REFLECTED CEILING PLAN

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DATE 03.10.2022	PROJECT NUMBER 213360
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A3.00

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LEVEL 1 FINISH PLAN

BID/CD SET

DATE 03.10.2022	PROJECT NUMBER 213360
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SHEET NUMBER
A4.00

FINISH SCHEDULE NOTES

- REFER TO PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
- PAINTED SURFACES TO BE MPI LEVEL-4 EGGSHELL FINISH, CEILINGS TO BE MPI LEVEL-4 FLAT. PREMIUM SYSTEM INSTALLATION UNLESS OTHERWISE NOTED.
- FINISH DOORS, DOOR FRAMES, AND SIDELIGHT FRAMES AS INDICATED IN FINISH SCHEDULE.
- SAND ALL WOOD SURFACES SMOOTH AND EVEN BEFORE APPLYING FINISH.
- SAND ENAMELED FINISHES APPLIED TO WOODS OR METAL BETWEEN COATS WITH FINE SANDPAPER TO PRODUCE SMOOTH FINISH.
- UNLESS OTHERWISE NOTED, PRIME ALL GWB WALL SURFACES AND PAINT WITH MINIMUM OF TWO (2) FINISH COATS OF EGGSHELL FINISH LATEX, TO COVER.
- FINISH PAINTED WOODWORK WITH ONE (1) COAT PRIMER AND MINIMUM TWO (2) FINISH COATS OF SEMI-GLOSS LATEX ENAMEL, TO COVER.
- FINISH STAINED/SEALED WOODWORK WITH COMMERCIAL GRADE CLEAR SATIN VARNISH.

FINISH PLAN NOTES

- REFER TO PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
- UTILIZE MASTER PAINTERS INSTITUTE (MPI) ARCHITECTURAL PAINTING SPECIFICATIONS, APPROVED MPI PRODUCTS TO BE UTILIZED OR PROVIDED SUBSTITUTION FOR APPROVAL TO ARCHITECT.
- ALL PAINTED SURFACES TO BE MPI LEVEL 4 FINISH, PROVIDE LEVEL-5 FINISH AT DEEP ACCENT COLORS, APPLIED WALL GRAPHICS AND WALLCOVERINGS.
- ALL MATERIAL TRANSITIONS TO BE CENTERLINE OF DOOR, UNLESS NOTED OTHERWISE.
- PATCH, LEVEL AND OTHERWISE PREPARE SUB FLOORING IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- GRIND, FILL, OR OTHERWISE LEVEL SUBSTRATES TO MEET MAX. ALLOWABLE TOLERANCE - 1/4" OVER 10' IN ANY DIRECTION.
- PROVIDE CARPET, VCT, SHEET LINOLEUM, SHEET VINYL AND RUBBER BASE AS SCHEDULED.
- ALL MATERIAL CHANGE TRANSITIONS TO COMPLY WITH ANSI AND ADA REQUIREMENTS. SLOPE NOT TO EXCEED 1:12, REF. FLOOR TRANSITION DETAILS.
- INSTALL BASE IN LONGEST AVAILABLE LENGTH WITH NO PIECE LESS THAN 12". DO NOT LOCATE JOINTS AT OUTSIDE CORNERS OR WITHIN 6" OF INSIDE CORNERS.
- PROVIDE 5% OR BOX OF FLOORING FOR ATTIC SCKC.
- ALL WOOD VENEERS AND PLASTIC LAMINATES SHALL BE CLASS B RATED PER 2018 IBC, TABLE 803.13.
- ALL CARPET TILE TO BE CLASS II PER 2018 IBC, SECTION 804.4.

FINISH LEGEND

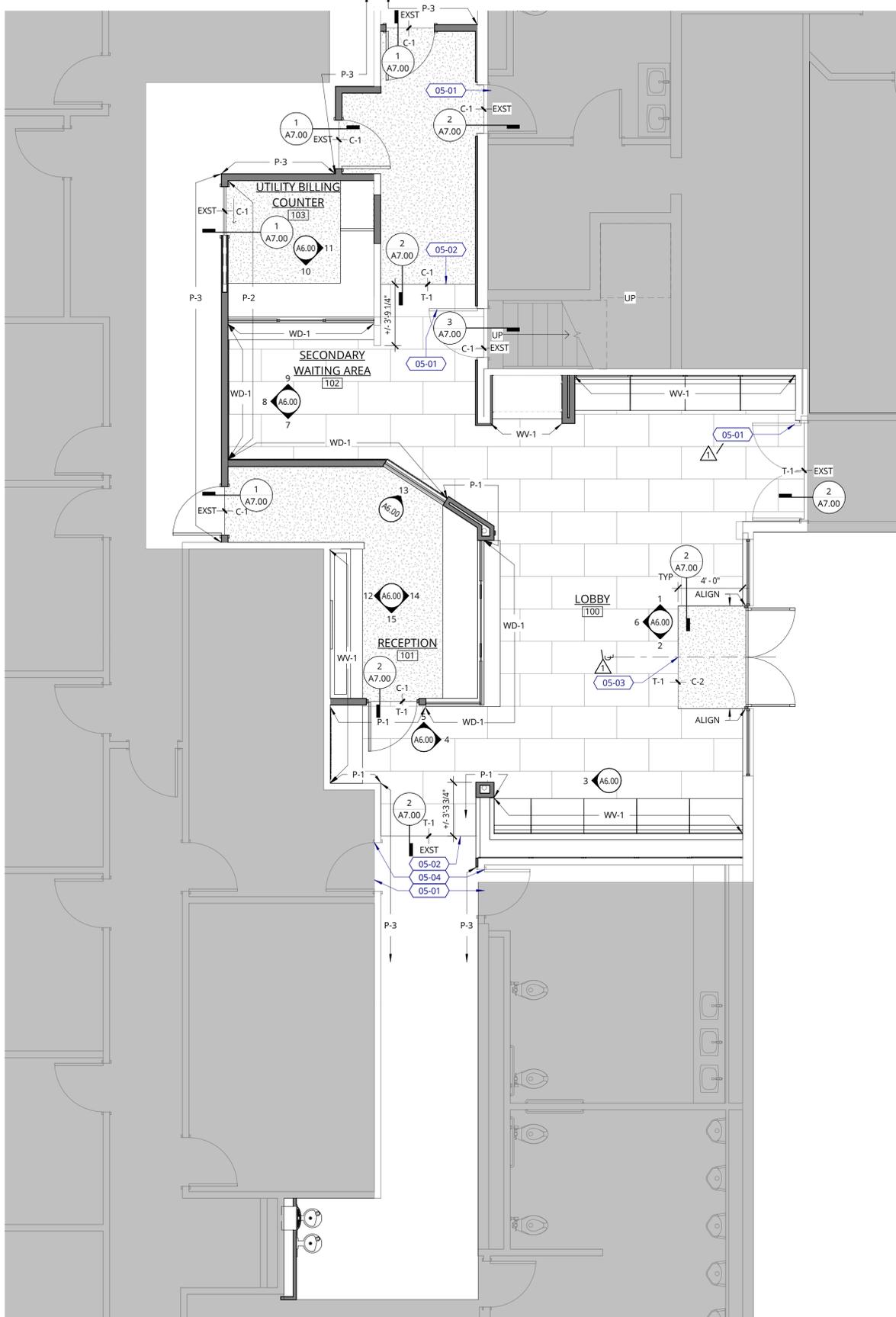
P-1	PAINT, MAIN MANUFACTURER: SHERWIN WILLIAMS COLOR: AESTHETIC WHITE SW7035 SHEEN: EGGSHELL AT WALLS; SEMI-GLOSS AT DOORS/FRAMES	RB-1	4" RUBBER WALL BASE RATING REQUIREMENT: CLASS II MANUFACTURER: JOHNSONITE STYLE: BASEWORKS THERMOSET RUBBER COLOR: TBD NOTES: STRAIGHT IN CARPET LOCATIONS, COVED IN RESILIENT FLOOR LOCATIONS.
P-2	PAINT, ACCENT MANUFACTURER: SHERWIN WILLIAMS COLOR: CURIO GRAY SW0024 SHEEN: EGGSHELL AT WALLS; SEMI-GLOSS AT DOORS/FRAMES	T-1	FLOOR TILE MANUFACTURER: STONE SOURCE PRODUCT: EVO-Q COLOR: LIGHT GREY NATURAL SIZE: 24"x48" INSTALLATION: RUNNING, 50% OFFSET GROUT: TBD
P-3	EXISTING FIELD PAINT MATCH EXISTING COLOR AND SHEEN NOTES: REFER TO FINISH PLAN FOR EXTENT.	UPH-1	BANQUETTE - BACK RATING REQUIREMENT: CLASS 1 MANUFACTURER: BRENTANO PATTERN: ZETTA COLOR: ALMOST BLACK 1217-10 FINISH: ANTI-BACTERIAL
B-1	WOOD WALL BASE RATING REQUIREMENT: CLASS II SIZE: 4" COLOR: P-1, UNLESS OTHERWISE NOTED SHEEN: SEMI-GLOSS	UPH-2	BANQUETTE - SEAT RATING REQUIREMENT: CLASS 1 MANUFACTURER: ULTRAFABRICS COLLECTION/PATTERN: BRISA/ORIGINAL COLOR: 533-3591 CARAMEL
B-2	WOOD WALL BASE RATING REQUIREMENT: CLASS II SIZE: 4" COLOR: STAIN GRADE - STAINED TO MATCH WD-1	WD-1	WOOD TAMBOUR RATING REQUIREMENT: CLASS B MANUFACTURER: SURFACING SOLUTION PROFILE: 383 SPECIES: WALNUT FINISH: STAIN TO MATCH WV-1 NOTES: TO BE FIRE-TREATED AND TESTED LOCALLY
C-1	CARPET RATING REQUIREMENT: CLASS II MANUFACTURER: MOHAWK COLLECTION: RELAXING FLOORS STYLE: FRACTAL GROUND GT425 COLOR: 969 SOLITUDE SIZE: 12" X 36" INSTALLATION: ASHLAR	WD-2	WOOD - CEILING RATING REQUIREMENT: CLASS B MANUFACTURER: PIONEER MILLWORKS SPECIES: WALNUT GRADE: MODERN FARMHOUSE, CLEAN FINISH: HARD WAX OIL: PURE SIZE: 5"-8" PLANK WIDTHS, RANDOM BOARD LENGTHS NOTES: TO BE FIRE-TREATED AND TESTED LOCALLY IF EXISTING FIRE-RATING IS NOT ADEQUATE TO MEET REQUIREMENTS.
C-2	WALK OFF MAT RATING REQUIREMENT: CLASS II MANUFACTURER: MILLIKEN COLLECTION: OBEX TILE STYLE: CUT/STRUM COLOR: TBD SIZE: 50CM X 50 CM INSTALLATION: ASHLAR	WV-1	WOOD VENEER RATING REQUIREMENT: CLASS B MANUFACTURER: BROOKSIDE PRODUCT: UNFINISHED, CUSTOM STAIN SERIES: WALNUT, FINAL SPEC TBD BACKING TO BE FIRE-RATED, VENEER TO BE FIRE-TREATED AS REQUIRED TO MEET FIRE-RATING REQUIREMENTS AND TESTED LOCALLY.
PL-1	PLASTIC LAMINATE, VERTICAL SURFACES PREMIUM WOOD GRAIN LAMINATE RATING REQUIREMENT: CLASS B MANUFACTURER: FORMICA COLOR: TBD FINISH: TBD	ACT-1	ACOUSTICAL CEILING TILE MANUFACTURER: ARMSTRONG PRODUCT: ULTIMA SQUARE LAY-IN SIZE: 24X24
PL-2	PLASTIC LAMINATE, HORIZONTAL SURFACES PREMIUM LAMINATE RATING REQUIREMENT: CLASS B MANUFACTURER: FORMICA COLOR: BLACK WALNUT 03485-58 FINISH: NATURAL GRAIN		
Q-1	QUARTZ, COUNTERTOP MANUFACTURER: CAESARSTONE COLOR: 2003 CONCRETE FINISH: POLISHED THICKNESS: 3CM		

KEYNOTE LEGEND

- 05-01 PAINT EXISTING DOOR AND FRAMES P-X, SEMI-GLOSS FINISH.
- 05-02 TRANSITION TILE FLOORING TO CARPET AT CLOSEST FULL TILE WIDTH.
- 05-03 START FULL T-1 TILE, ALIGN CENTER OF TILE TO CENTERLINE OF DOUBLE DOORS.
- 05-04 TERMINATE NEW PAINT APPLICATION AT NEAREST INSIDE CORNER.

FINISH PLAN LEGEND

- NOT IN CONTRACT (NIC)
- EXISTING TO REMAIN
- NEW CONSTRUCTION
- EXISTING WALL TO REMAIN
- NEW WALL
- KEYNOTE
- WALL FINISH TAG
- FLOOR TRANSITION TAG



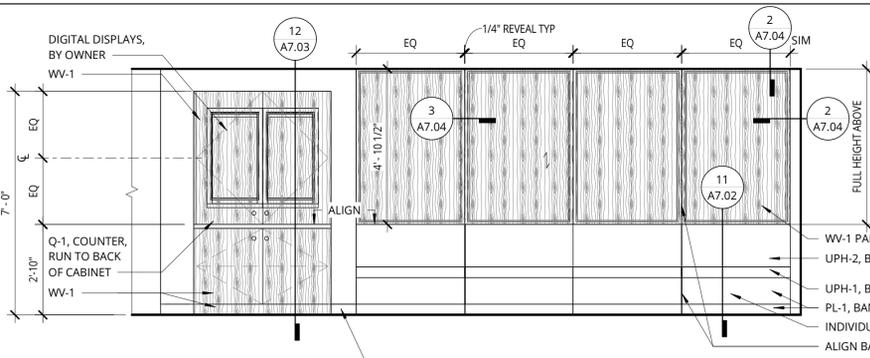
1 LEVEL 1 - FINISH PLAN
1/4" = 1'-0"



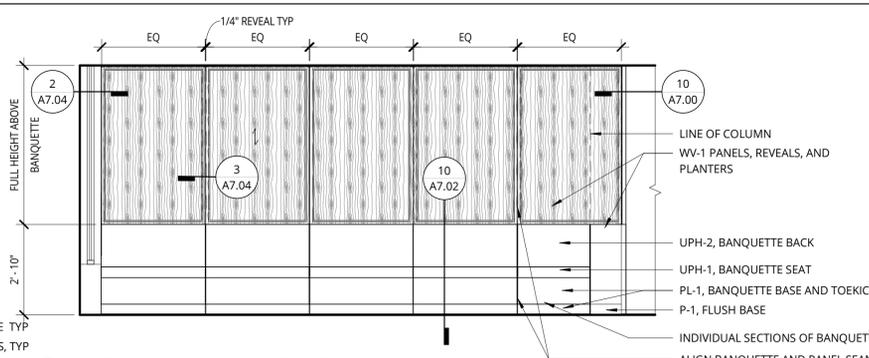
ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR FINISH	CEILING FINISH	WALL FINISH	ACCENT WALL FINISH	BASE FINISH	COUNTERTOP FINISH	COMMENTS
104	Room							
100	LOBBY	C-1	P-1, ACT-1, WD-2	P-1	WV-1	B-1	Q-1	
101	RECEPTION	C-1	P-1, ACT-1	P-1	WV-1, WD-1	B-1	Q-1	
102	SECONDARY WAITING AREA	C-1	ACT-1	P-1	WD-1, P-2	B-1	Q-1	
103	UTILITY BILLING COUNTER	C-1	ACT-1	P-1	WD-1, P-2	B-1	Q-1	

3/10/2022 2:36:38 PM



1 LOBBY 100 - NORTH
3/8" = 1'-0"

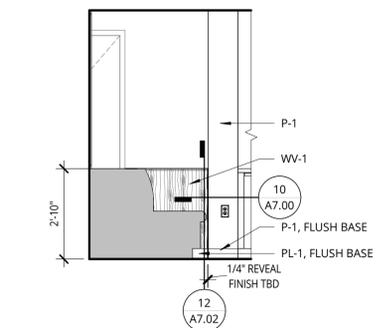
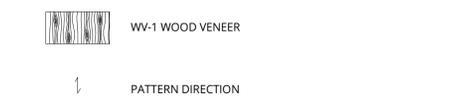


2 LOBBY 100 - SOUTH
3/8" = 1'-0"

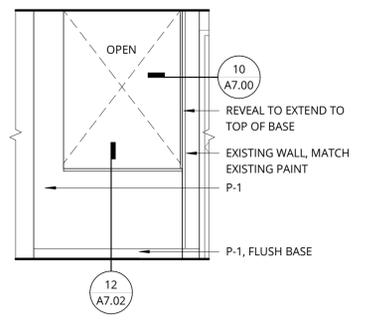
INTERIOR ELEVATIONS NOTES

1. REFER TO PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
2. SEE DOOR SCHEDULE FOR SIDELIGHT AND TRANSOM SIZES AND REQUIREMENTS.
3. ALL COUNTER HEIGHT AND DEPTHS TO COMPLY WITH ANSI AND ADA.
4. SEE WINDOW SCHEDULE FOR SIZES AND GLAZING REQUIREMENTS.
5. SEE ACCESSIBILITY SHEETS FOR APPLICABLE MOUNTING HEIGHTS.

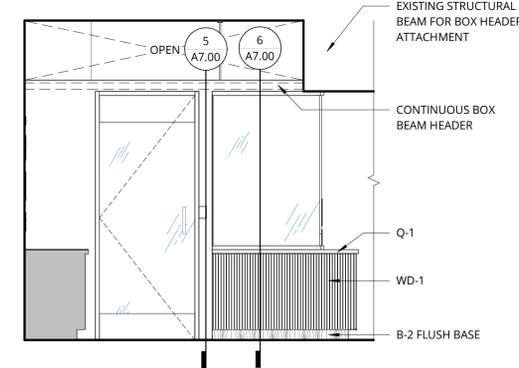
INTERIOR ELEVATIONS LEGEND



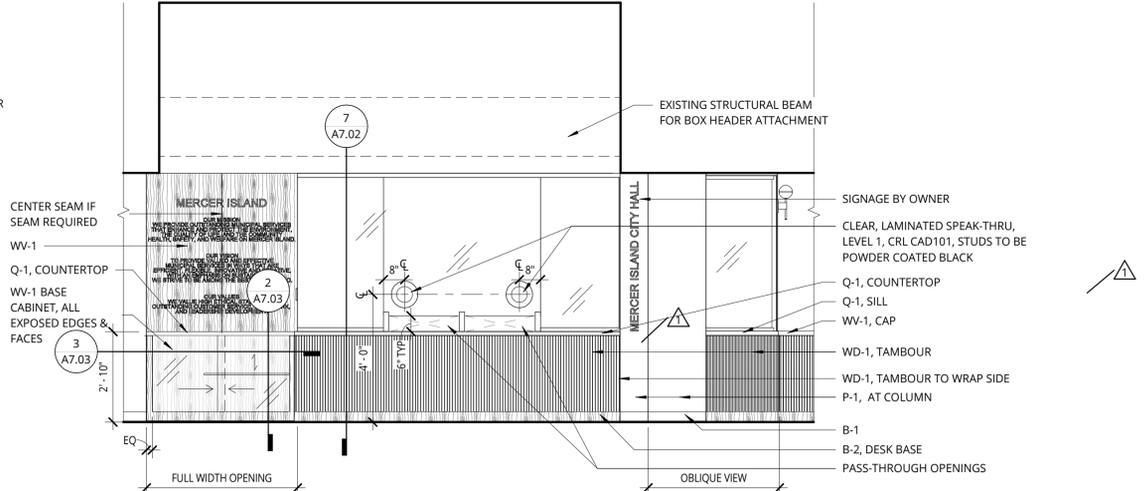
3 RCPT BANQUETTE - WEST
3/8" = 1'-0"



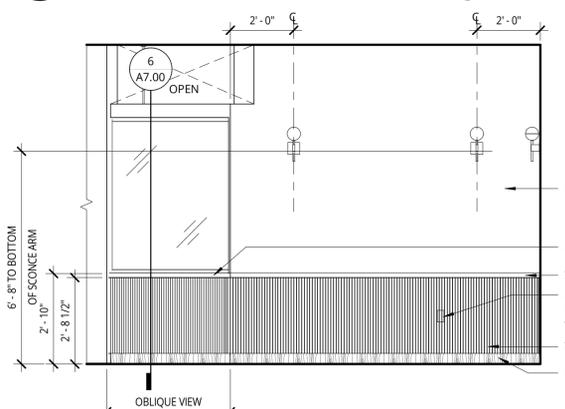
4 RCPT BANQUETTE - EAST
3/8" = 1'-0"



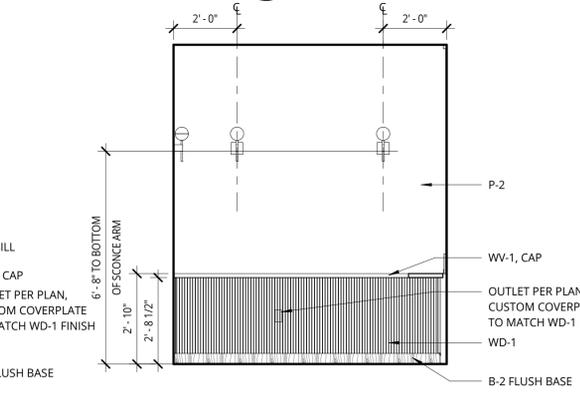
LOBBY 100 - RCPT DESK - NORTH SIDE



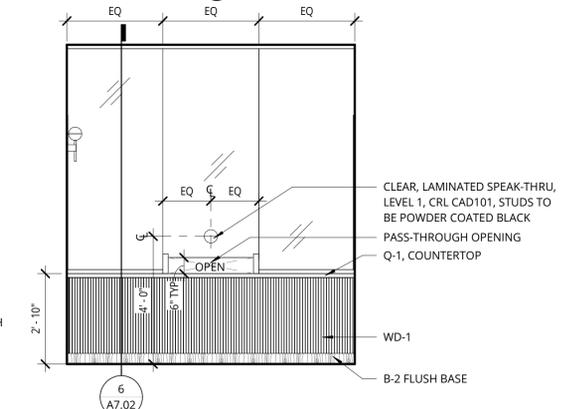
6 LOBBY 100 - WEST
3/8" = 1'-0"



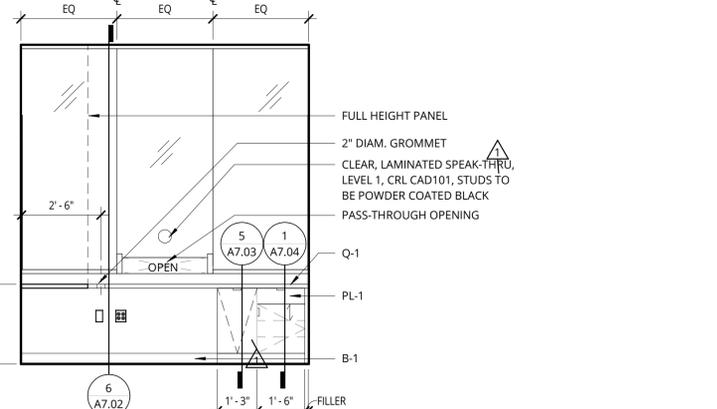
7 SECONDARY WAITING 102 - SOUTH
3/8" = 1'-0"



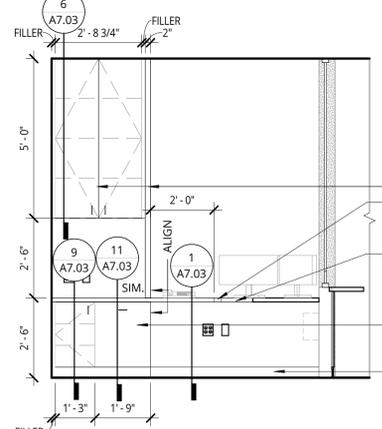
8 SECONDARY WAITING 102 - WEST
3/8" = 1'-0"



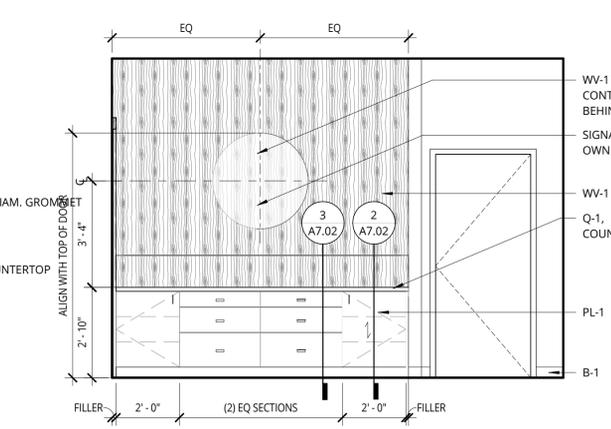
9 SECONDARY WAITING 102 - NORTH
3/8" = 1'-0"



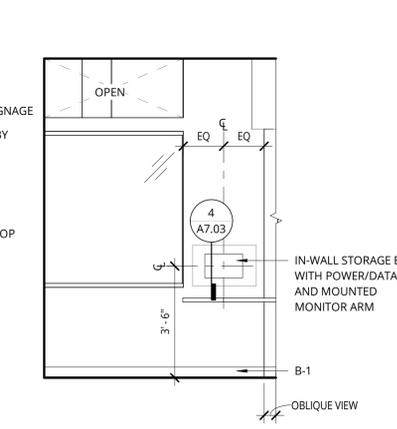
10 UTILITY BILLING COUNTER 103 - SOUTH
3/8" = 1'-0"



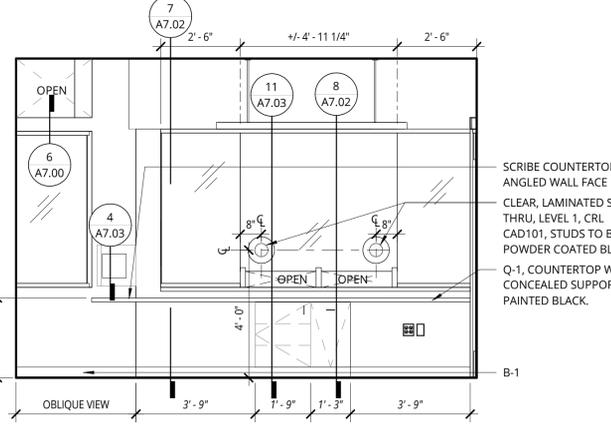
11 103 - EAST
3/8" = 1'-0"



12 RECEPTION 101 - WEST
3/8" = 1'-0"



13 RCPT 101 - NORTHEAST
3/8" = 1'-0"



14 RECEPTION 101 - EAST
3/8" = 1'-0"



15 RECEPTION 101 - SOUTH
3/8" = 1'-0"



38 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
503.245.7100

1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
206.576.1600

1014 HOWARD STREET
SAN FRANCISCO, CA 94103
415.252.7063

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MERCER ISLAND CITY HALL LOBBY RENOVATION

9611 SE 36th St, Mercer Island, WA 98040

CITY OF MERCER ISLAND

REVISION	DATE	REASON FOR ISSUE
1	02.01.22	PERMIT REV.

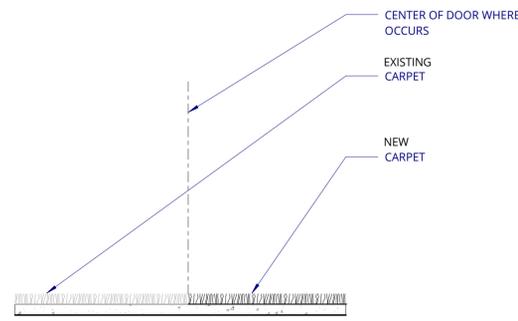
INTERIOR ELEVATIONS

BID/CD SET

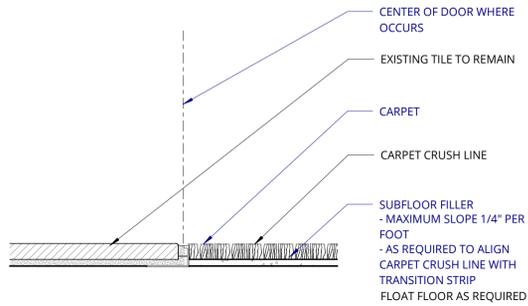
DATE: 03.10.2022 PROJECT NUMBER: 213360

SHEET NUMBER: A6.00

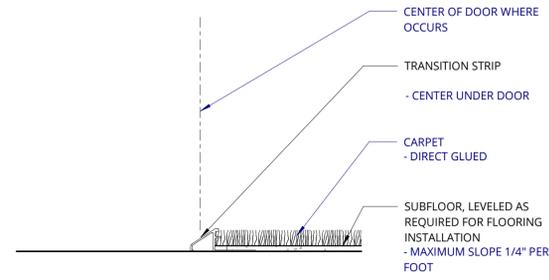
C:\Revt Projects\213360-20-Mercer Island City Hall\213360-20-Mercer Island City Hall_aarendt.rvt



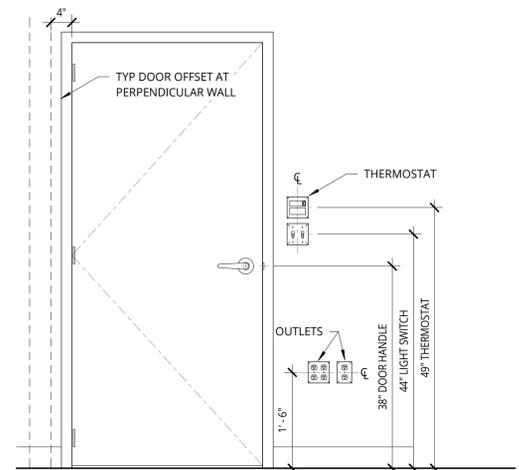
1 FLOORING @ CARPET TO CARPET
6" = 1'-0"



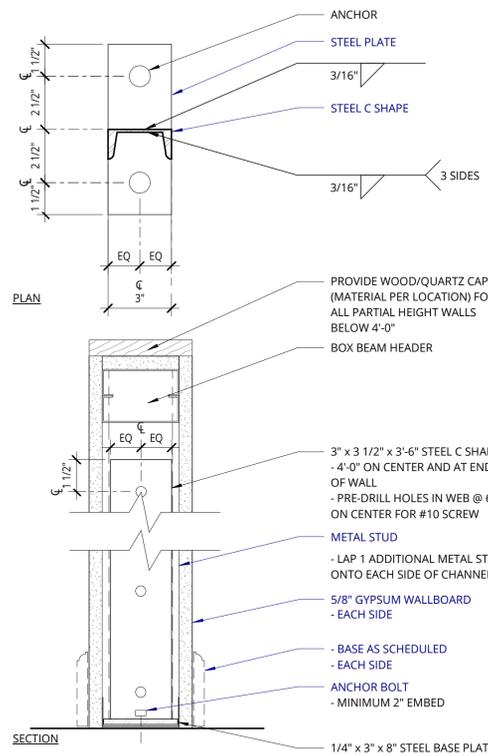
2 FLOORING @ TILE TO CARPET
6" = 1'-0"



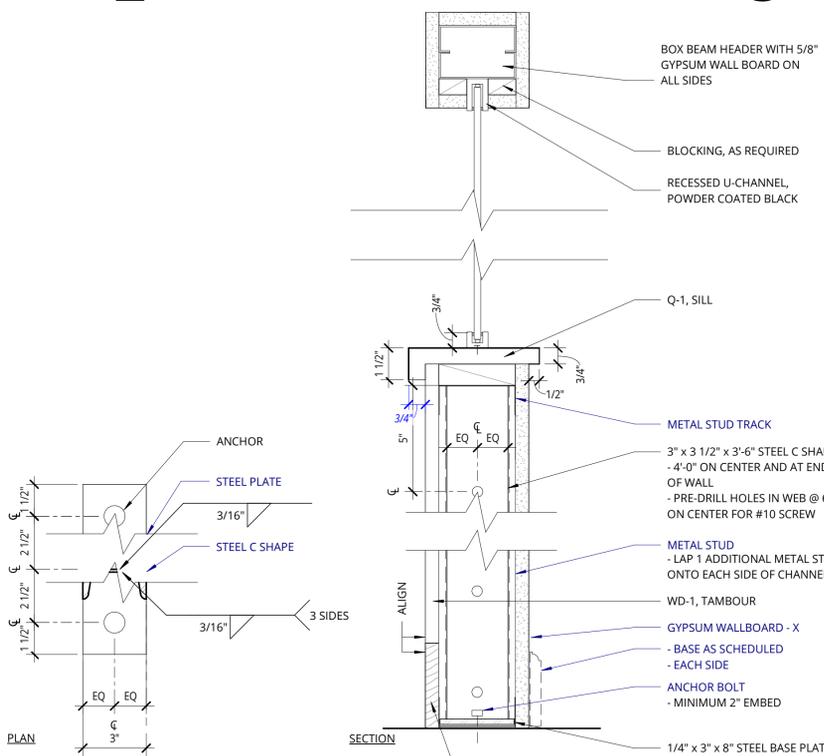
3 FLOORING EDGE @ CARPET
6" = 1'-0"



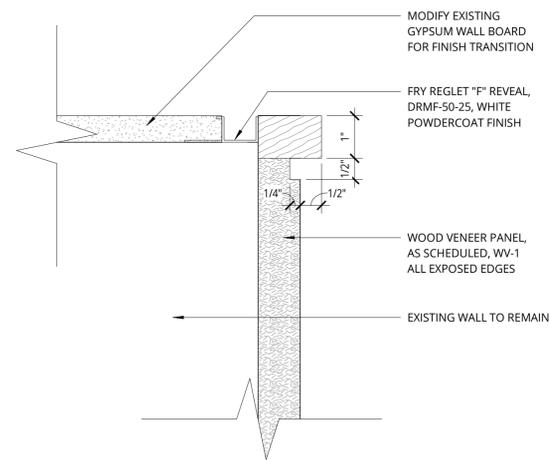
4 STANDARD MOUNTING HEIGHTS
3/4" = 1'-0"



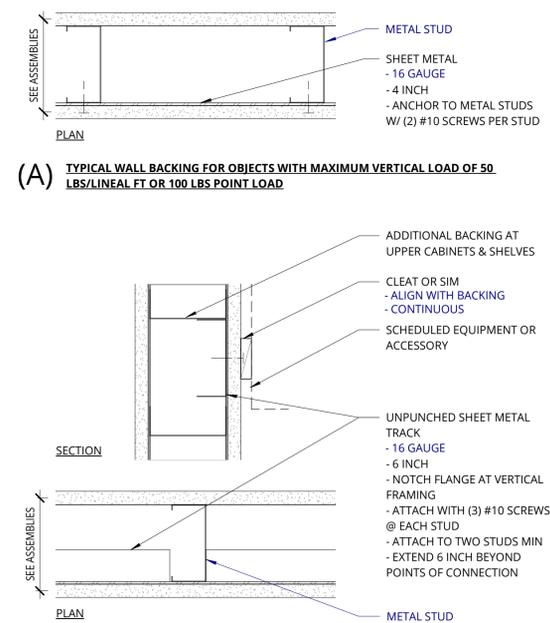
5 METAL WALL @ PARTIAL HEIGHT
3" = 1'-0"



6 METAL WALL @ PARTIAL HEIGHT
3" = 1'-0"



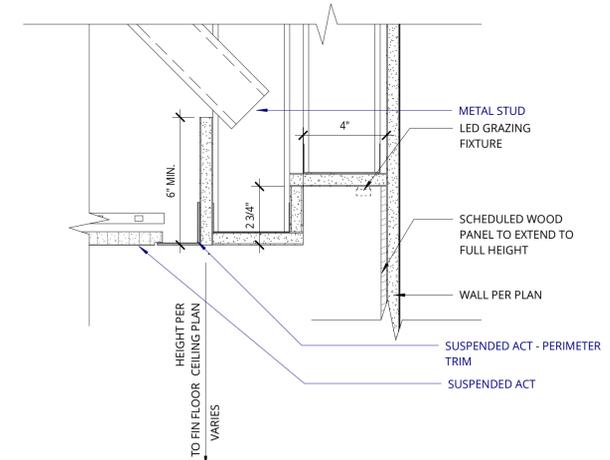
7 WOOD PANEL END TO WALL TRANSITION
6" = 1'-0"



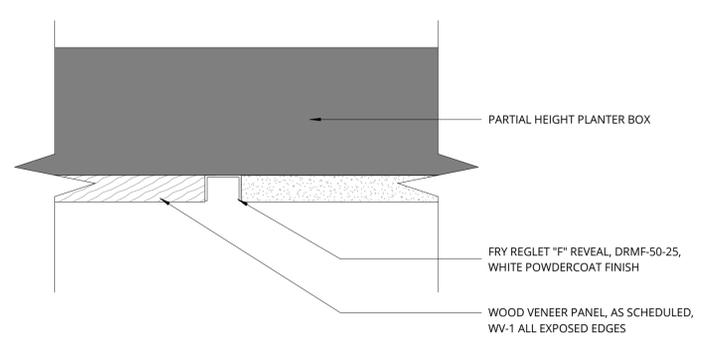
(A) TYPICAL WALL BACKING FOR OBJECTS WITH MAXIMUM VERTICAL LOAD OF 50 LBS/LINEAL FT OR 100 LBS POINT LOAD

(B) TYPICAL WALL BACKING FOR OBJECTS WITH MAXIMUM VERTICAL LOAD OF 200 LBS/LINEAL FT OR 395 LBS POINT LOAD

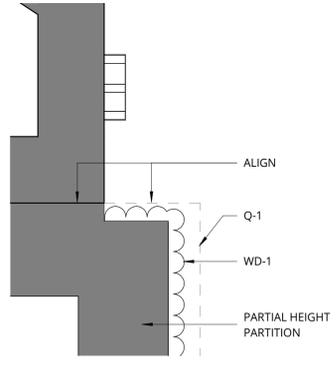
NOTE:
1. COORDINATE BACKING LOCATION WITH ACCESSORY MANUFACTURER MOUNTING INSTRUCTIONS.
2. UNITS HEAVIER THAN 200 LBS/LINEAL FT OR 395 LBS POINT LOADS ARE NOT TO BE WALL MOUNTED.
3. PROVIDE BACKING AT ALL WALL MOUNTED ITEMS



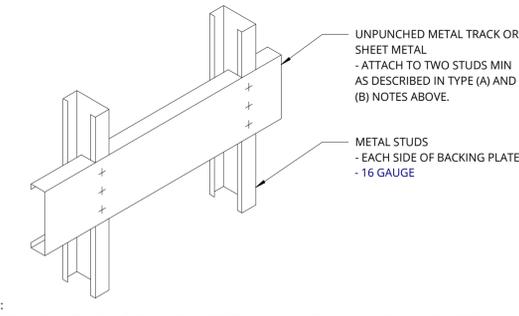
9 CLG - WALL GRAZING DETAIL @ ACT
3" = 1'-0"



10 WOOD PANEL TO WALL TRANSITION
6" = 1'-0"



11 RECEPTION DESK RETURN DETAIL
3" = 1'-0"



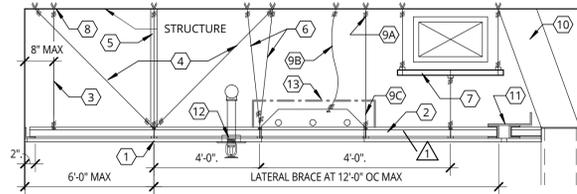
12 METAL WALL @ TYPICAL BACKING
3" = 1'-0"

REVISION	DATE	REASON FOR ISSUE

INTERIOR DETAILS

BID/CD SET

DATE 03.10.2022	PROJECT NUMBER 213360
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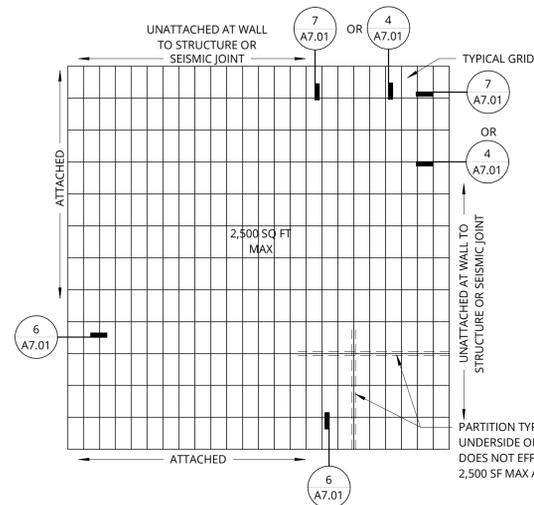


GRID SYSTEM REQUIREMENTS

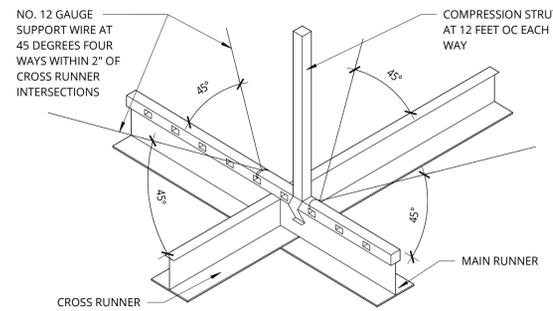
- GRID MAIN BEAM SYSTEM CLASSIFICATION: HEAVY.
- DESIGN REQUIREMENTS: DESIGN CEILINGS IN ACCORDANCE WITH SECTION 1613 OF THE CURRENT BUILDING CODE EDITION IN THE JURISDICTION OF THE PROJECT AND PER ASCE 7-10

CEILING KEY NOTES

- MAIN RUNNERS: 4 FEET OC, SUPPORTED WITH NO. 12 GA WIRES AT 4 FEET OC (OR NO. 10 GA WIRES AT 5 FEET OC). DESIGN HANGER ATTACHMENT TO SUPPORT NOT LESS THAN 200 POUNDS.
- CROSS RUNNERS: RUNNERS SUPPORTED BY MAIN RUNNERS AND CAPABLE OF CARRYING DESIGN LOAD WITH DEFLECTION EQUAL TO 1/360 OF ITS SPAN OR LESS
- BEGIN HANGER WIRE SYSTEM WITHIN 8 INCHES OF PERIMETER WALL.
- GRID LATERAL FORCE BRACING: BEGIN WITHIN 6 FEET OF PERIMETER AND WITHIN 2 INCHES OF CROSS RUNNER INTERSECTION. PROVIDE FOUR (4) -NO. 12 GA WIRES SECURED TO MAIN RUNNER AND SPLAYED 90 DEGREES FROM EACH OTHER IN PLAN AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM CEILING PLANE. BRACE AT 12 FEET OC EACH WAY.
- PROVIDE COMPRESSION STRUT COMPATIBLE WITH SUSPENSION SYSTEM, ADEQUATE TO RESIST VERTICAL FORCE COMPONENT INDUCED BY BRACING WIRES. SPACE 12 FEET ON CENTER IN BOTH DIRECTIONS.
- PROVIDE COUNTER SLOPE HANGERS FOR HANGERS MORE THAN 1:6 OUT OF PLUMB
- PROVIDE TRAPEZE OR EQUIVALENT DEVICE WHERE HANGER WIRES ARE NOT POSSIBLE DUE TO OBSTRUCTIONS. PROVIDE BACK-TO-BACK 1-1/4 INCH COLD ROLLED CHANNELS (MINIMUM) WHERE TRAPEZE SPAN EXCEEDS 48 INCHES.
- MINIMUM CARRYING CAPACITY FOR EACH HANGER WIRE ANCHOR TO STRUCTURE SHALL BE 100 POUNDS.
- LIGHT FIXTURE SUPPORT:
 - FOR LIGHT FIXTURES WEIGHING LESS THAN 56 LBS: PROVIDE (2) NO. 12 GA SLACK WIRES FROM FIXTURE HOUSING TO STRUCTURE ABOVE;
 - FOR LIGHT FIXTURES IN EXCESS OF 56 LBS: PROVIDE DIRECT SUPPORT FROM STRUCTURE ABOVE USING TAUT WIRES;
 - PROVIDE POSITIVE ATTACHMENT BETWEEN LIGHT FIXTURES AND GRID SYSTEM, CAPABLE OF CARRYING 100 PERCENT OF LIGHT FIXTURE WEIGHT ACTING IN ANY DIRECTION.
- PROVIDE INDEPENDENT RIGID LATERAL WALL BRACING WHEN INTERIOR PARTITION WALLS THAT TERMINATE AT GRID THAT DO NOT ALIGN WITH 4-WAY GRID BRACING.
- PROVIDE SEISMIC JOINTS TO LIMIT UNBROKEN CEILING AREAS TO 2,500 SF.
- FOR SPRINKLER HEADS AND OTHER PENETRATIONS: PROVIDE 2 INCH OVERSIZED ESCUTCHEON OR ADAPTER TO ALLOW AT LEAST 1 INCH MOVEMENT IN ALL HORIZONTAL DIRECTIONS, OR PROVIDE STANDARD ESCUTCHEON AND PENETRATIONS WITH FLEXIBLE HEAD CONNECTION. VERIFY WITH AIR BARRIER DIAGRAMS THAT CEILING IS NOT AN AIR BARRIER COMPONENT.
- REFER TO FIRE RESISTANCE RATING INFORMATION ON SHEET **A0.30**.



2 TYP SUSPENDED CLG SYSTEM PLAN
1/4" = 1'-0"

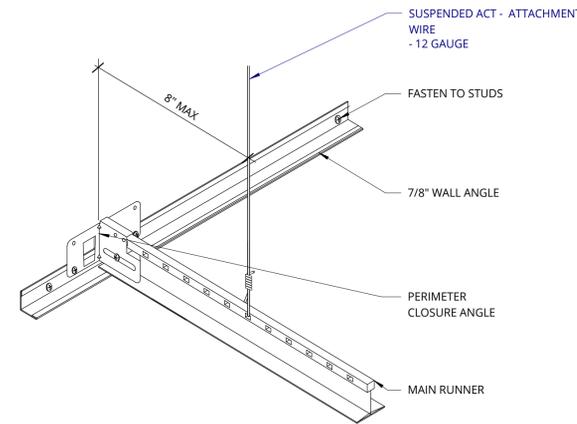


MAXIMUM RECOMMENDED LENGTHS FOR VERTICAL STRUTS

EMT CONDUIT	UP TO 47"
0'-1/2" DIA. x 0.042" EMT CONDUIT	UP TO 61"
0'-3/4" DIA. x 0.049" EMT CONDUIT	UP TO 78"
0'-1" DIA. x 0.057" EMT CONDUIT	
METAL STUD	
SINGLE METAL STUD (20 GAUGE) 3625125-30	UP TO 85"
SINGLE METAL STUD (25 GAUGE) 2505125-18	UP TO 87"
1-5/8" x 1-5/8" STRUT (16 GAUGE)	UP TO 120"
BACK TO BACK 1-5/8" x 1-1/4" x 0.0197" CHANNEL	UP TO 130"

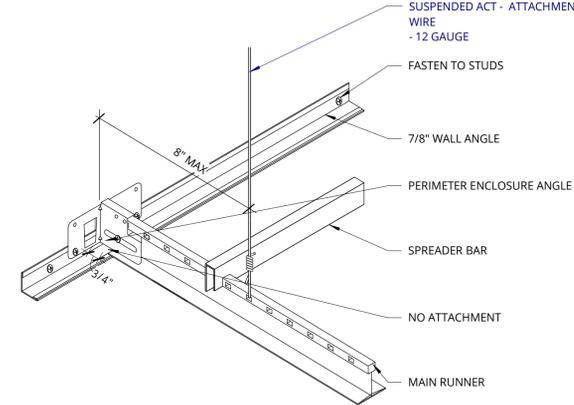
- NOTE:
- WALL MOLDING SHOULD NOT BE USED AS STRUTS.
 - A STRUCTURAL ENGINEER SHOULD BE CONSULTED FOR LENGTHS GREATER THAN 14'-0".

3 SUSPENDED CEILING - BRACING
3" = 1'-0"



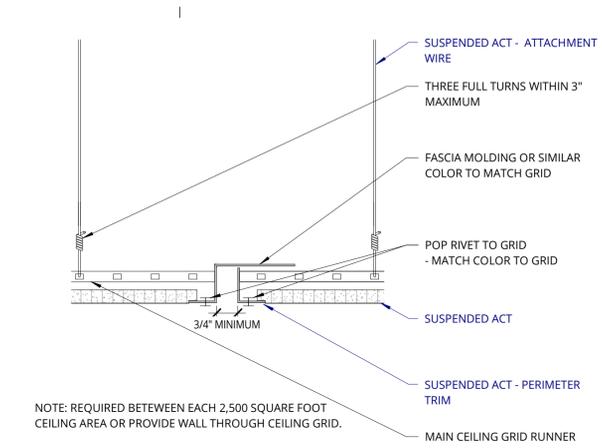
- NOTE:
- ATTACH ONE END OF EACH MAIN RUNNER TO WALL ANGLE; DO NOT ATTACH THE OPPOSITE END.

6 SUSPENDED CEILING - ATTACHED
3" = 1'-0"



- NOTE:
- MAINTAIN MIN. 3/4 INCH CLEARANCE FROM CLOSURE ANGLE TO MAIN RUNNERS;
 - ATTACH ONE END OF EACH MAIN RUNNER TO WALL ANGLE; DO NOT ATTACH THE OPPOSITE END;
 - PROVIDE SPREADER BARS AT ALL TEES ADJACENT TO UNATTACHED ENDS.

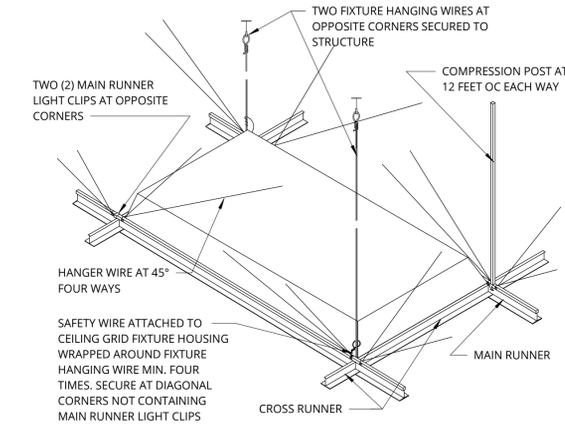
7 SUSPENDED CEILING - UNATTACHED
3" = 1'-0"



NOTE: REQUIRED BETWEEN EACH 2,500 SQUARE FOOT CEILING AREA OR PROVIDE WALL THROUGH CEILING GRID.

IF A SEISMIC SEPARATION IS REQUIRED, AN APPROVED PROPRIETARY JOINT MAY BE USED, OR THE GENERIC JOINT DETAILED HERE. THE AMOUNT OF FREE MOVEMENT SHALL BE A MINIMUM OF 3/4".

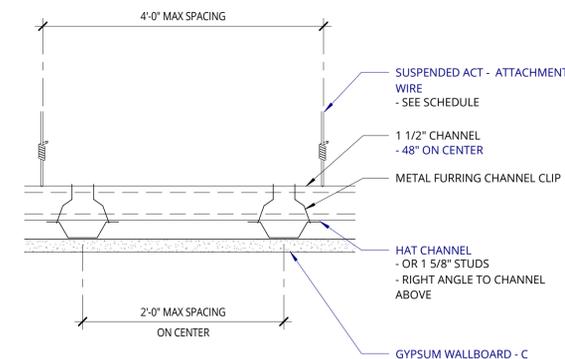
4 GRID SEISMIC JOINT
3" = 1'-0"



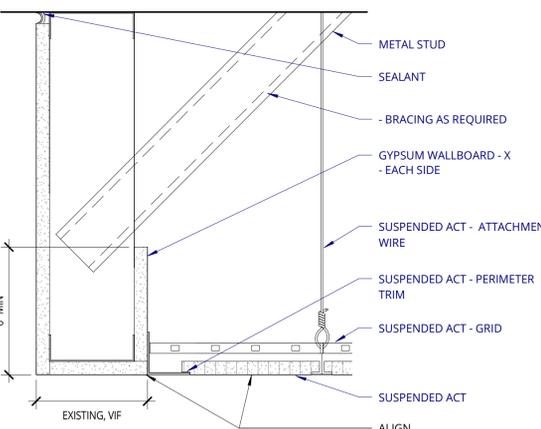
NOTE: REQUIREMENTS ARE FOR LIGHT FIXTURES WEIGHING 56 LBS OR LESS. LIGHT FIXTURES WEIGHING MORE THAN 56 LBS TO BE INDEPENDENTLY SUPPORTED FROM STRUCTURE

8 RECESSED LIGHT FIX BRACE
1 1/2" = 1'-0"

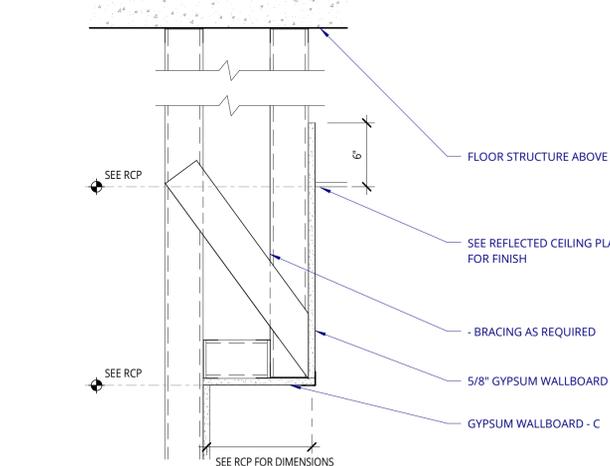
5 SUSPENDED CEILING NOTE
1 1/2" = 1'-0"



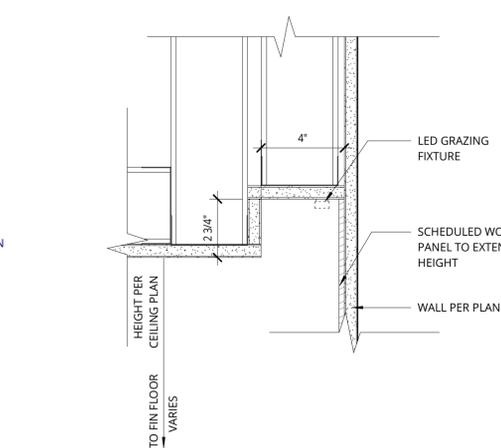
9 FRAMING @ GYP BD CEILING
3" = 1'-0"



10 SINGLE WALL SOFFIT @ ACT CEILING FLUSH
3" = 1'-0"



11 GYPSUM SOFFIT @ WALL
1 1/2" = 1'-0"



12 CLG - WALL GRAZING DETAIL @ GWB
3" = 1'-0"

REVISION	DATE	REASON FOR ISSUE
1	02.01.22	PERMIT REV.

CEILING DETAILS

BID/CD SET

DATE 03.10.2022	PROJECT NUMBER 213360
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SHEET NUMBER

CASEWORK GENERAL NOTES

- BLOCKING AND HARDWARE NOT SHOWN ON CASEWORK DETAILS FOR CLARITY PURPOSES.
- SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.

ALL ITEMS LISTED BELOW ARE TO BE PROVIDED BY AND INSTALLED BY GENERAL CONTRACTOR

CABINET BODY
 - 3/4" MDF UNLESS NOTED AS PLYWOOD ON DETAIL WITH PLASTIC LAMINATE FINISHED END PANELS, FACE, & EDGES.
 - 1/4" MDF BACK WITH MELAMINE
 - MELAMINE FIXED BOTTOM SHELF.

ADJUSTABLE SHELVES
 - 3/4" MDF WITH MELAMINE WITH MATCHING EDGE BANDING AT FRONT EDGE.
 - PROVIDE (4) MTL SUPPORT CLIPS PER SHELF AND MOUNTING HOLES AT 32 MM OC IN END PANELS.

DRAWERS
 - 1/2" MDF WITH MELAMINE SIDES, BACK AND FRONT WITH MATCHING EDGE BANDING
 - 1/4" MATCHING BOTTOM, TYP.

DOOR & DRAWER FACE
 - 3/4" MDF WITH PLASTIC LAMINATE FACE AND BACK WITH MATCHING EDGE BANDING.

HINGE
 - BLUM FULL OVERLAY, 120 DEGREE
 - FINISH: NICKEL PLATED

PULLS
 - MOCKETT DP38 4" TAB DRAWER PULL
 - FINISH: MATTE BLACK (90)
 - TAB PULLS TO BE ROUTED INTO SUBSTRATE, REFER TO DETAIL.

PUSH LATCH
 HAFELE MAGNETIC PRESSURE LATCH
 DOUBLE: 245.80.320
 PM BLM 58X40MM W/ STRIKE

CABINET LOCK
 HAFELE CAM LOCK C8053 SERIES
 KEYPED ALIKE

DRAWERGLIDES
 - GALVANIZED STEEL CONSTRUCTION, BALL BEARINGS SEPARATING TRACKS.
 - ACCURIDE, MODEL 3832 - 100LB OR EQUIVALENT

PULL OUT WASTE BINS HARDWARE
 - HAFELE, EURO CARGO 3619-45 W/ (2) 38 LITER BINS OR APPROVED EQUAL.
 - MILLWORKER TO VERIFY CABINET CLEAR DIMENSION MEET HARDWARE REQUIREMENTS.

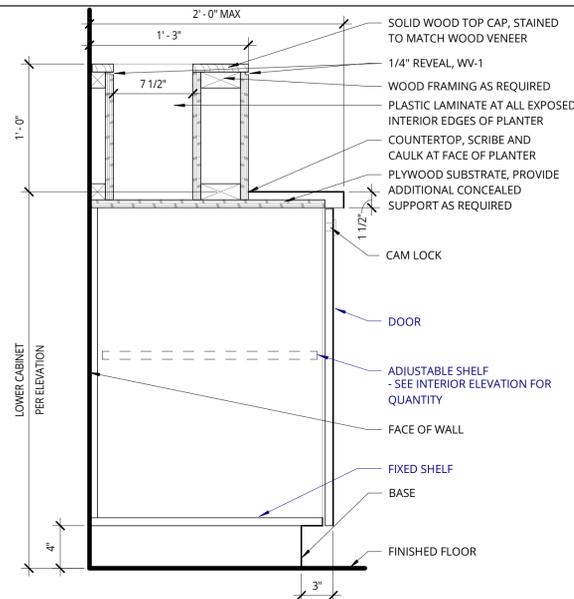
SHELF RESTS
 - KNAPE AND VOGT MANF, MODEL NO. 346 SHELF SUPPORT PINS
 - FINISH: ANOCHROME

DOOR STOPS
 - AT END CABINET UNITS PROVIDE NYLON CORD AT TOP OF INSIDE CABINET DOOR THAT IS ATTACHED TO BOTTOM OF THE CABINET TO PREVENT DOOR/ DOOR HANDLE FROM HITTING ADJACENT WALL

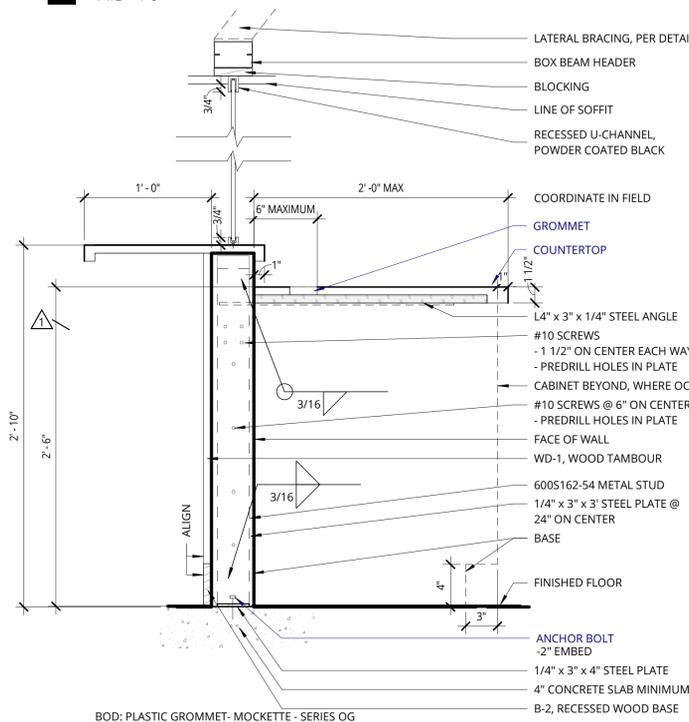
MISC BRACKETS
 - WALL MOUNTED MILLWORK: HAFELE HEBCO, (LOAD CAPACITY 1100 LBS. PER PAIR), MODEL NO. 287.45.459
 - FINISH: GRAY PRIMED STEEL

BACKSPLASH, COUNTERTOP, AND BASE PER FINISH SCHEDULE

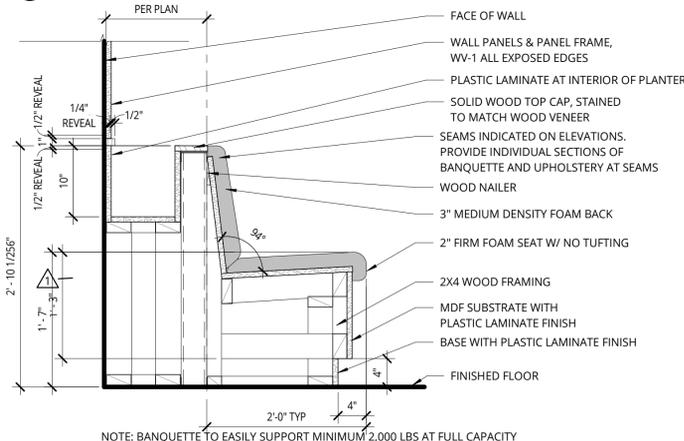
ALL CASEWORK AND MILLWORK SHALL BE CONSTRUCTED TO AWI PREMIUM STANDARDS UNLESS NOTED OTHERWISE.



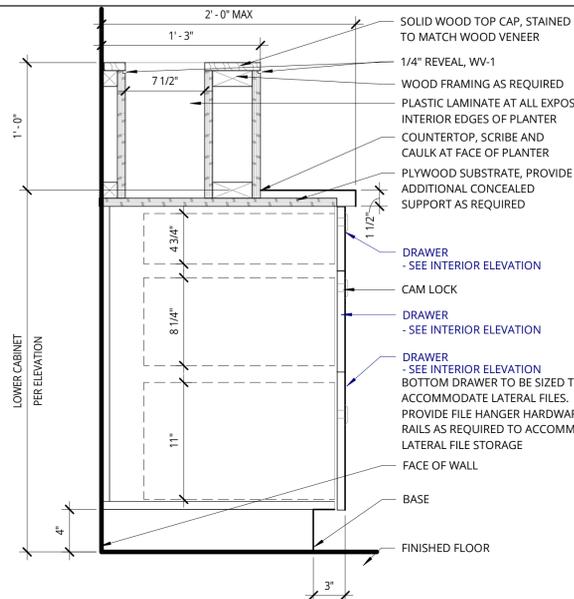
2 CASEWORK @ LOWER - DOOR SHELF
 1 1/2" = 1'-0"



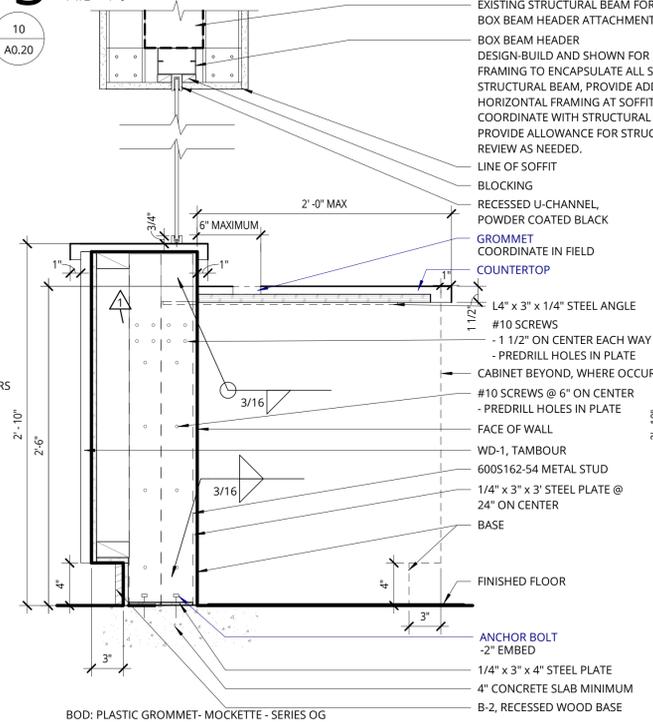
6 BUILT-IN DESK @ OPEN BELOW
 1 1/2" = 1'-0"



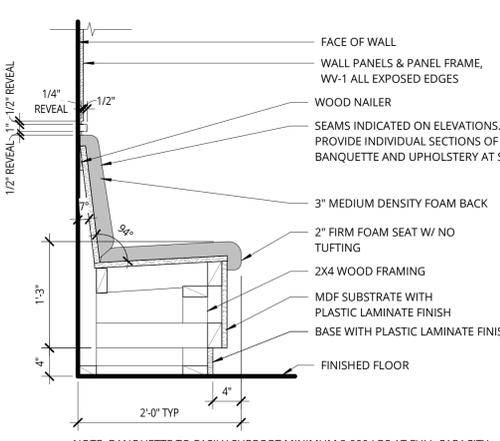
NOTE: BANQUETTE TO EASILY SUPPORT MINIMUM 2,000 LBS AT FULL CAPACITY



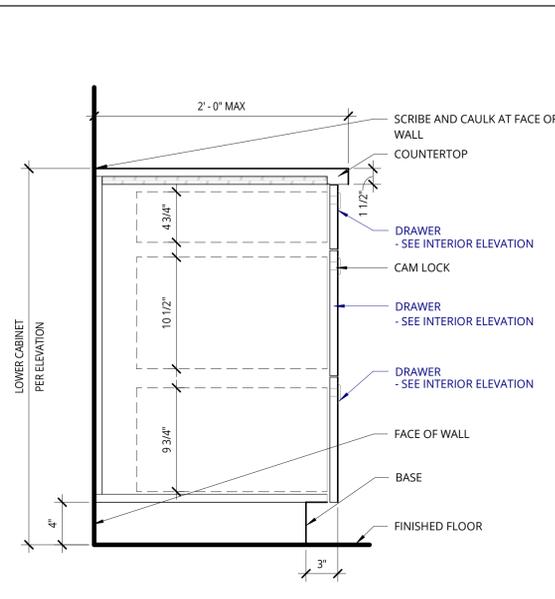
3 CASEWORK @ LOWER - DRAWERS
 1 1/2" = 1'-0"



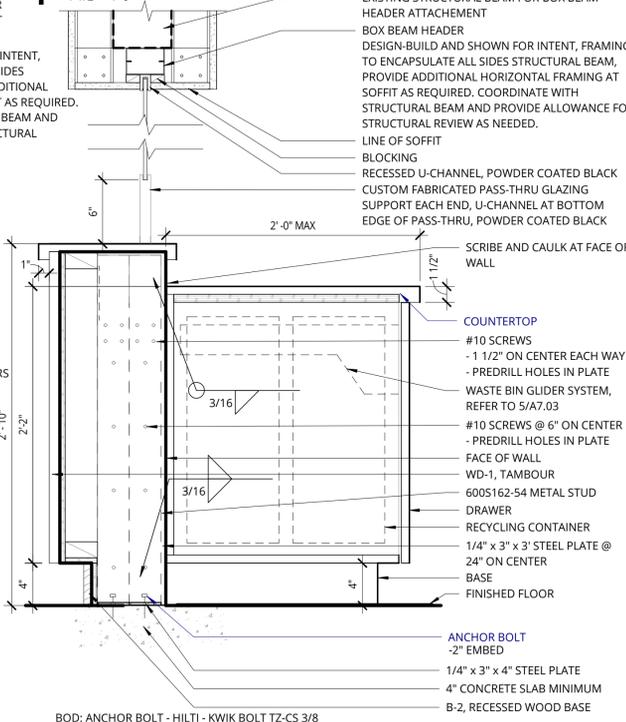
7 BUILT-IN DESK @ TRANSACTION
 1 1/2" = 1'-0"



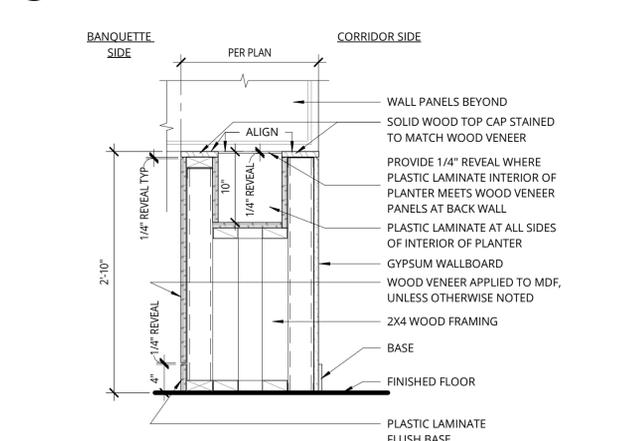
NOTE: BANQUETTE TO EASILY SUPPORT MINIMUM 2,000 LBS AT FULL CAPACITY



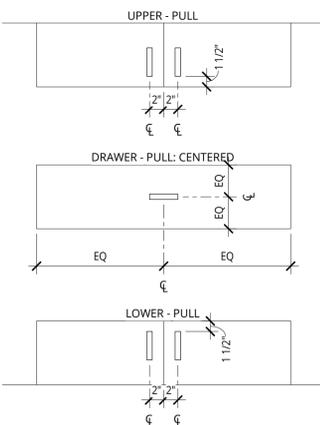
4 CASEWORK @ LOWER - DRAWERS
 1 1/2" = 1'-0"



8 BUILT-IN DESK @ TRASH/RECYCLE
 1 1/2" = 1'-0"



5 CASEWORK INFORMATION
 1 1/2" = 1'-0"



9 CASEWORK - TYPICAL PULL LAYOUT
 1" = 1'-0"

10 BANQUETTE/PLANTER - SECTION
 1" = 1'-0"

11 BANQUETTE - SECTION
 1" = 1'-0"

12 BANQUETTE/PLANTER - SECTION
 1" = 1'-0"

6054 REGISTERED ARCHITECT
 Dave LeTrondo
 STATE OF WASHINGTON

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CITY OF MERCER ISLAND

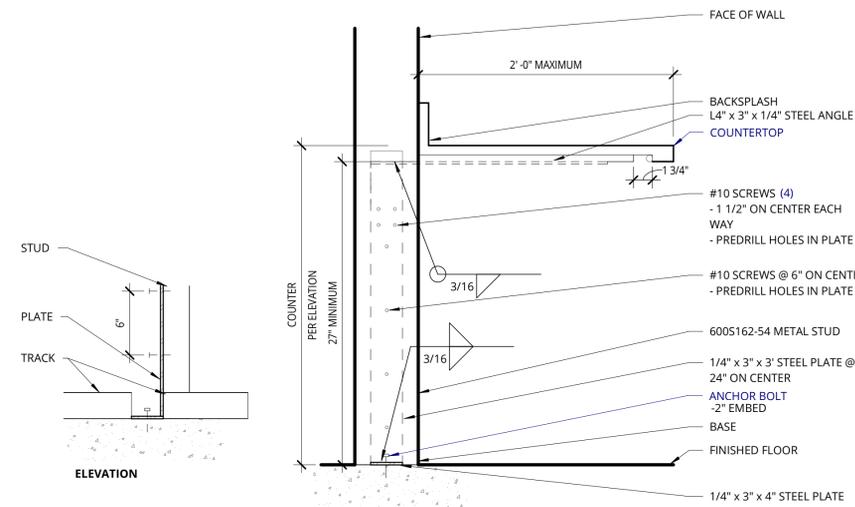
REVISION	DATE	REASON FOR ISSUE
1	02.01.22	PERMIT REV.

CASEWORK DETAILS

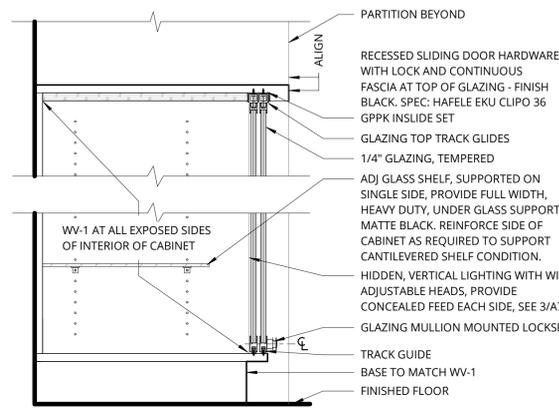
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DATE 03.10.2022	PROJECT NUMBER 213360
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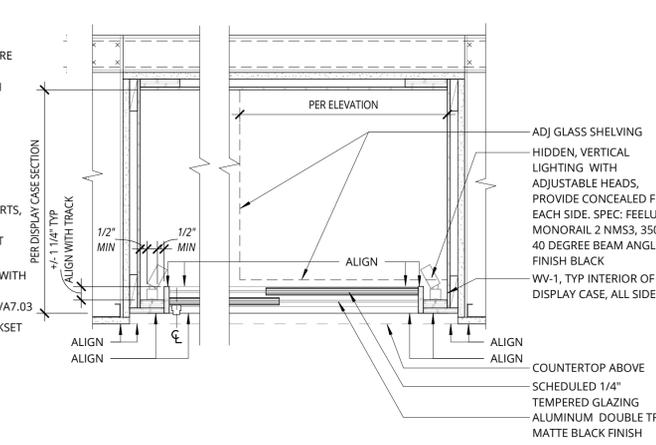
A7.02



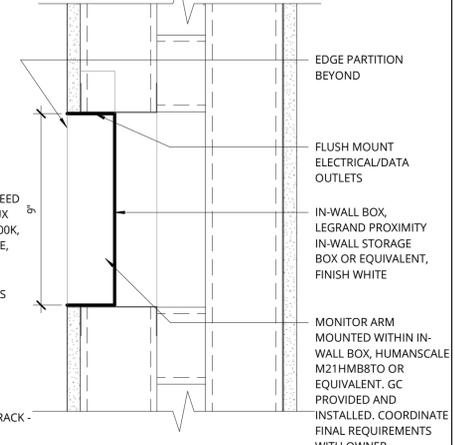
1 COUNTER @ STEEL SUPPORT
1 1/2" = 1'-0"



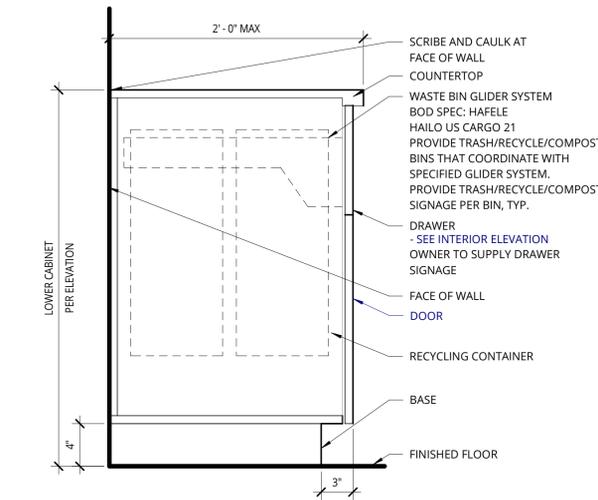
2 DISPLAY CASE
1 1/2" = 1'-0"



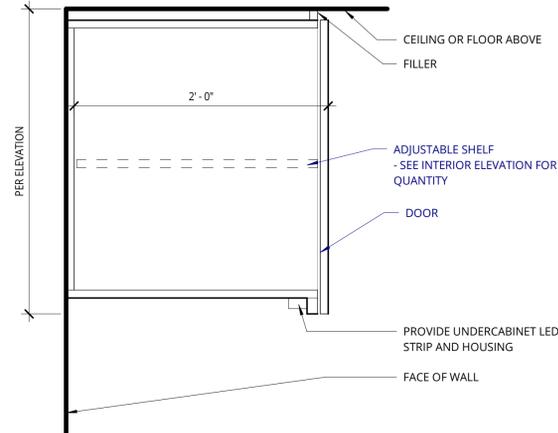
3 DISPLAY CASE - LIGHTING INTEGRATION
1 1/2" = 1'-0"



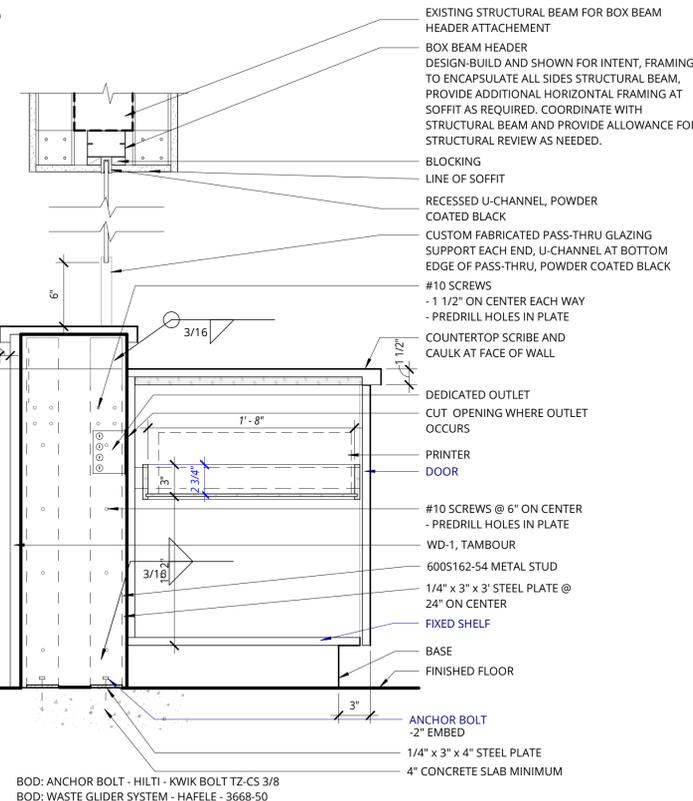
4 RECESSED MONITOR
3" = 1'-0"



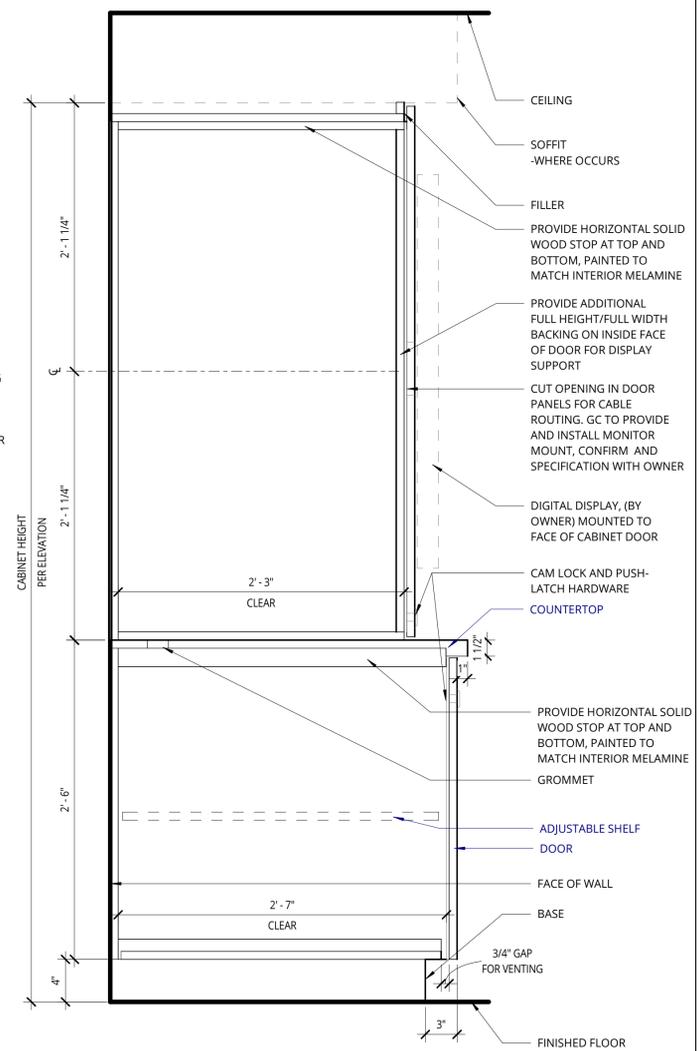
5 CASEWORK @ LOWER - DOOR BINS
1 1/2" = 1'-0"



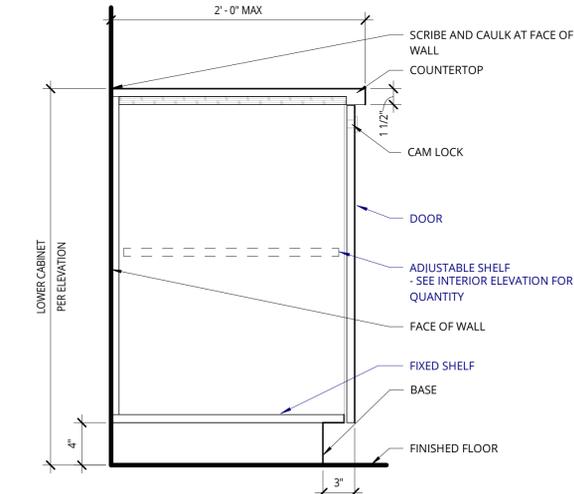
6 CASEWORK @ UPPER - DOOR
1 1/2" = 1'-0"



11 BUILT-IN DESK @ PRINTER DRAWER
1 1/2" = 1'-0"



12 CASEWORK @ TALL - DOOR
1 1/2" = 1'-0"



9 CASEWORK @ LOWER - DOOR SHELF
1 1/2" = 1'-0"

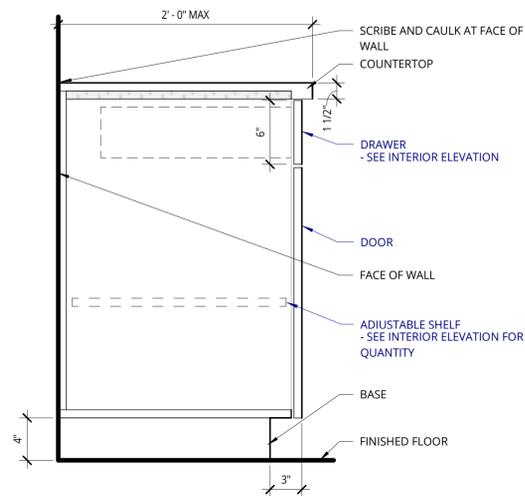
REVISION	DATE	REASON FOR ISSUE

CASEWORK DETAILS

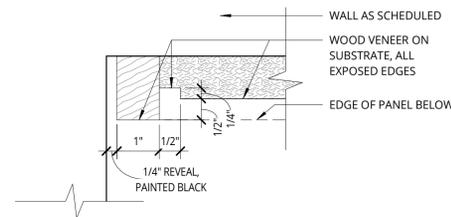
BID/CD SET

DATE 03.10.2022	PROJECT NUMBER 213360
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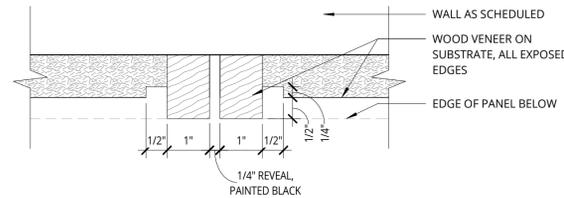
SHEET NUMBER



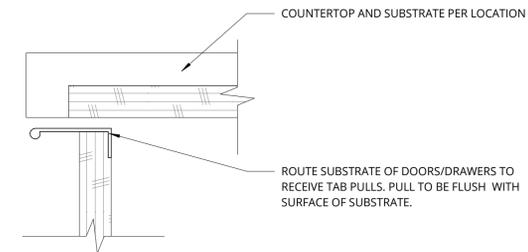
1 CASEWORK @ LOWER - DOOR DRAWER
1 1/2" = 1'-0"



2 WOOD PANEL @ INSIDE WALL
6" = 1'-0"



3 WOOD PANEL SEAM DETAIL
6" = 1'-0"



4 ROUTED TAB PULLS
6" = 1'-0"



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REVISION	DATE	REASON FOR ISSUE

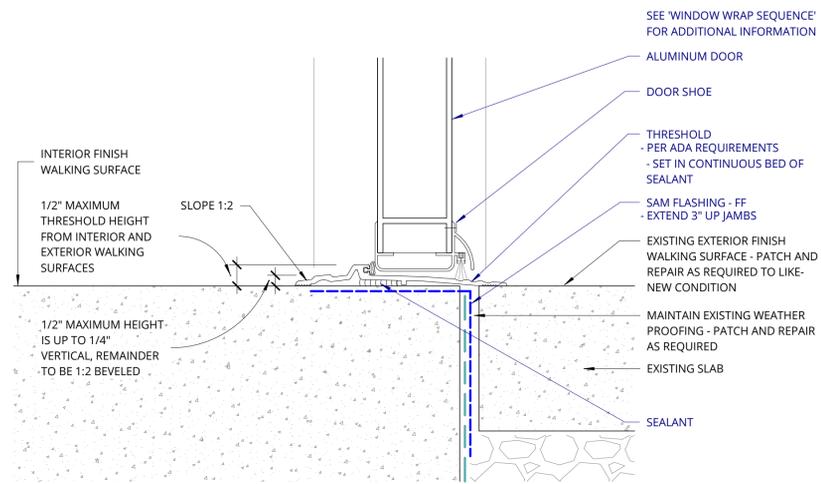
CASEWORK DETAILS

BID/CD SET

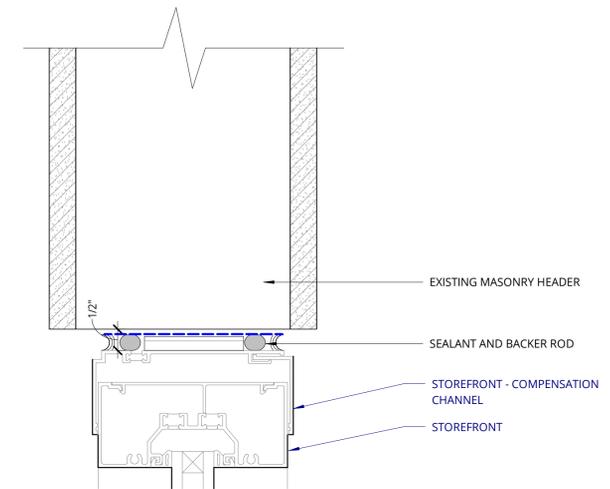
DATE: 03.10.2022 PROJECT NUMBER: 213360

SHEET NUMBER

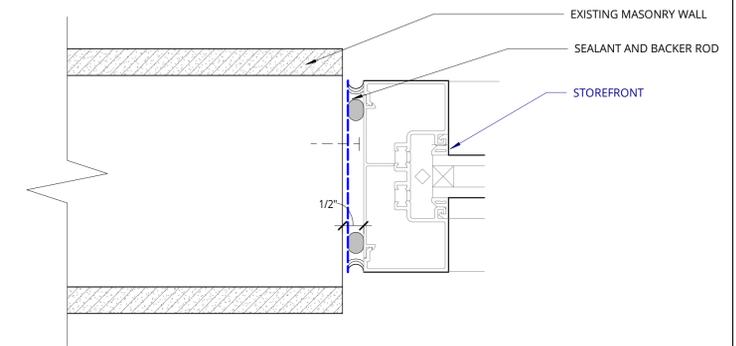
A7.04



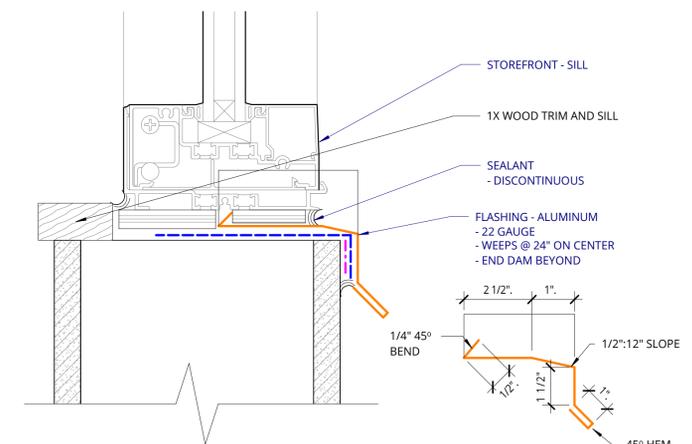
3 STOREFRONT @ THRESH CONCRETE -1
6" = 1'-0"



4 EXISTING WALL @ STOREFRONT - HEAD
6" = 1'-0"



8 EXISTING WALL @ STOREFRONT - JAMB
6" = 1'-0"



12 EXISTING WALL @ STOREFRONT - SILL
6" = 1'-0"

REVISION	DATE	REASON FOR ISSUE
1	02.01.22	PERMIT REV.

STOREFRONT
DETAILS

BID/CD SET

DATE
03.10.2022

PROJECT NUMBER
213360

SHEET NUMBER

A7.05

DOOR SCHEDULE																
NO.	LOCATION	FIRE RATING (MINUTES)	OPERATION	PANEL				FRAME				HARDWARE GROUP	COMMENTS REFER TO KEY	REVISION NO.		
				WIDTH	HEIGHT	THICKNESS	CORE (HS/SC)	TYPE	MATERIAL	FINISH	PROFILE				MATERIAL	FINISH
100A	LOBBY	NR	DOUBLE SWING	3' - 0 1/2" / 3' - 0 1/2" PAIR	7' - 10 1/2"	1 3/4"	N/A	FG	AL/GL	AL	A	AL	AL	4	1	1
100B	LOBBY	20	SWING	3' - 0"	7' - 0"	1 3/4"	SC	VG	WD	P-X	A	MTL	P-X	2		1
101A	RECEPTION	NR	SWING	3' - 0"	7' - 8"	1 3/4"	SC	FG3	WD/GL	P-X	A	MTL	P-X	3		
101B	RECEPTION	20	SWING	3' - 0"	7' - 0"	1 3/4"	SC	F	WD	P-X	A	MTL	P-X	2		1
103	UTILITY BILLING COUNTER	20	POCKET	3' - 0"	7' - 0"	1 3/4"	SC	SL1	WD	P-X	A	MTL	P-X	1		1
104	LOBBY	20	SWING	3' - 0"	7' - 0"	1 3/4"	SC	F	WD	P-X	A	MTL	P-X	2		1

INTERIOR GLAZING SCHEDULE			
ID	Glazing Width	Glazing Height	Comments
004A	9' - 5 1/2"	7' - 2"	
001B	10' - 3 1/4"	4' - 11 1/2"	
001A	3' - 5"	4' - 11 1/2"	
001C	4' - 6 3/4"	4' - 10 169/256"	

GLAZING GENERAL NOTES

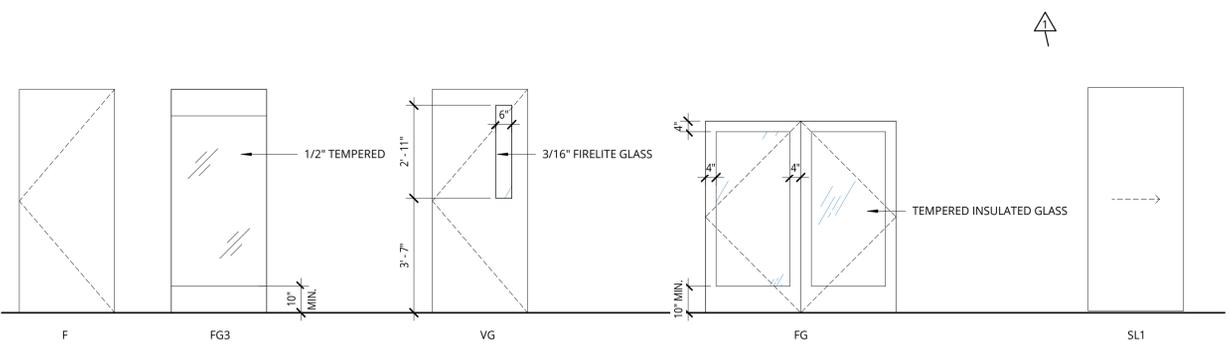
- ALL SIZING TO BE FIELD VERIFIED, GLAZING TO BE FULL WIDTH.
- 1/2" TEMPERED GLAZING.
- WHERE PANELS MEET, PROVIDE BUTT JOINTS WITH CLEAR ACOUSTIC GASKETS.

DOOR COMMENTS KEY

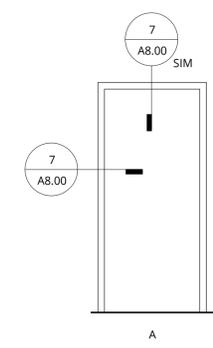
- MATCH EXISTING STOREFRONT OPENING AND FINISH.

DOOR SCHEDULE NOTES

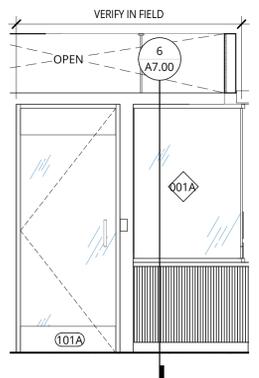
- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- MATCH BUILDING STANDARD DOORS AND HARDWARE IN STYLE AND FINISH - TYPICAL.
- DOOR OPENINGS ARE MEASURED FROM THE FACE OF THE DOOR TO THE FACE OF OPPOSING STOP WHEN OPENED AT AN ANGLE OF 90 DEGREES FROM CLOSED POSITION IN ACCORDANCE WITH ADA/ANSI 404.2.2 AND 404.2.3.
- PROVIDE FLOOR STOPS OR WALL STOP AT ALL LOCATIONS WHERE DOOR WOULD OTHERWISE STRIKE WALL.
- WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST ONE LEAF MUST PROVIDE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32 INCHES WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION IN ACCORDANCE WITH IBC CHAPTER 10 AND ADA/ANSI 404.2.2 AND 404.2.3.
- MATCH INTERIOR AND EXTERIOR METAL DOORS AND FRAME COLORS TO ADJACENT WALL COLORS OR AS OTHERWISE SCHEDULED OR NOTED.
- ALL STAIN GRADE DOOR SETS TO BE BOOK MATCHED.
- EXIT DOORS ARE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR FORCE.
- PROVIDE COMMERCIAL GRADE HARDWARE.
- ALL HARDWARE SHALL BE ADA COMPLIANT.
- PROVIDE A MINIMUM OF 1-1/2 PAIR OF BUTT HINGES, ONE LATCH SET OR LOCK SET, AND ONE DOOR STOP FOR EACH DOOR. (CONFIRM FLOOR OR WALL STOP ON SITE WITH ARCHITECT) AT LOCATIONS WHERE DOOR WOULD OTHERWISE STRIKE WALL. PROVIDE 18 GA. BACKING FOR WALL STOP IN FRAMED WALLS.
- DO NOT EXCEED 8-1/2 POUNDS MAXIMUM EFFORT FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS. WHEN ALLOWED BY THE AHJ MAXIMUM EFFORT FOR FIRE RATED DOORS MAY BE INCREASED TO A MAXIMUM OF 15 POUNDS.
- MOUNT DOOR HARDWARE BETWEEN 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE FINISHED FLOOR.
- HAND-ACTIVATED LATCHING AND LOCKING DOORS ON AN ACCESSIBLE PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH/PULL ACTIVATION BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS TO OPERATE AS ABOVE IN THE EGRESS DIRECTION IN ACCORDANCE WITH ADA/ANSI 309.4 AND 404.2.7.
- PROVIDE CLOSERS ALL RATED ASSEMBLIES AND WHERE NOTED.
- PROVIDE FIRE RATED GLAZING MEETING THE REQUIREMENTS OF THE APPLICABLE CODES AND AS APPROVED BY THE AUTHORITY HAVING JURISDICTION FOR ALL FIRE RATED DOORS CONTAINING VISION PANELS.
- PREP DOORS AND FRAMES TO RECEIVE ELECTRONIC LOCKING HARDWARE AND ASSOCIATED CARD READERS WHERE SPECIFIED.
- PROVIDE PANIC EXIT HARDWARE AS REQUIRED BY CODE.
- EXISTING DOORS LOCATED ALONG AREA OF WORK THAT HAVE NOT BEEN INCLUDED IN THE DOOR SCHEDULE SHOULD BE PREPPED TO RECEIVE NEW PAINT. FINISH P-X, SEMI-GLOSS.



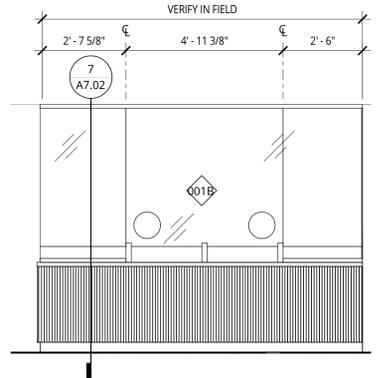
DOOR - PANEL TYPES - LEGEND



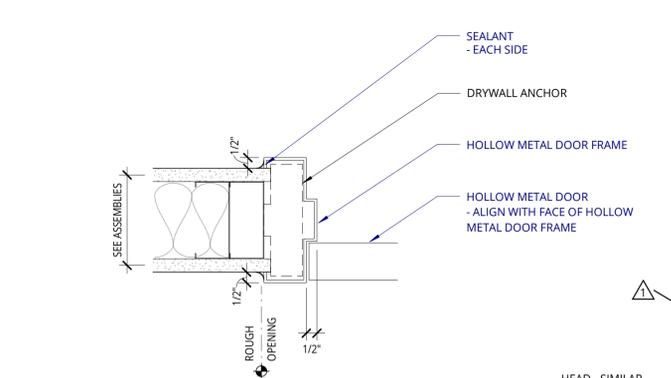
DOOR - FRAME PROFILES - LEGEND



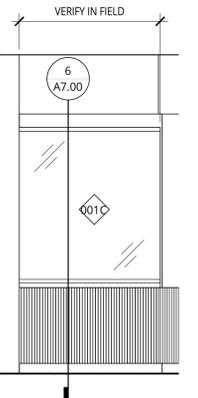
001A LOBBY 100 - RECEPTION - NORTH
3/8" = 1'-0"



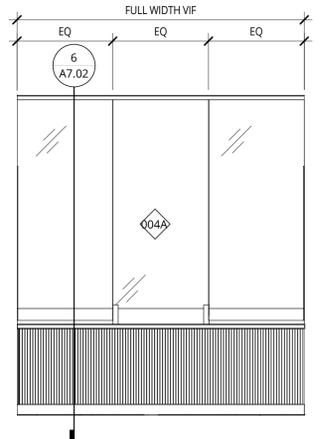
001B LOBBY 100 - RECEPTION - WEST
3/8" = 1'-0"



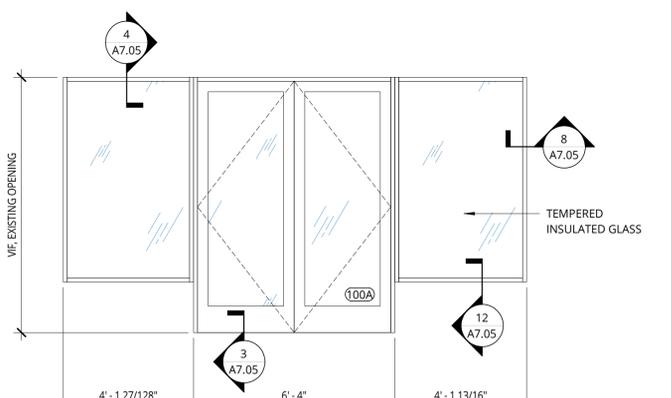
7 HM DOOR @ MTL STUD WALL - JAMB
3" = 1'-0"



001C LOBBY 100 - RECEPTION - SOUTHWEST
3/8" = 1'-0"



004A WAITING 104 - NORTH
3/8" = 1'-0"



002A LOBBY 100 - DOOR 100A
3/8" = 1'-0"

GLAZING NOTES

- REFER TO 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE FLOOR PLANS AND INTERIOR ELEVATIONS FOR GLAZING LOCATIONS. SEE DOOR SCHEDULE FOR SIDELIGHTS AND TRANSOMS.
- PROVIDE SAFETY GLAZING AS REQUIRED TO MEET BUILDING CODE SECTION 2406.

HARDWARE GROUPS

- GROUP 1 - INTERIOR PASSAGE**
FIRE RATED POCKET DOOR JAMB KIT
(2) PULL, ONE EACH SIDE
- GROUP 2 - CONTROLLED ACCESS**
1 1/2 PAIR BUTTS - 4 1/2"
LEVER LOCKSET - "ENTRANCE" TYPE
ELECTRIC STRIKE
CLOSER
FLOOR STOP
SILENCER
COORDINATE HARDWARE WITH CONTROLLER ACCESS SYSTEM
-PROVIDE RATED HARDWARE WHERE RATED DOORS OCCUR
-PROVIDE SMOKE SEALS WHERE RATED DOORS OCCUR
- GROUP 3 - GLASS DOOR - CONTROLLED SYSTEM**
HARDWARE BY GLASS MANUF.
CONCEALED CLOSER WITH LIMITER
MAGLOCK
PUSH TO EXIT AND/OR SENSOR
DOOR PULL BY MANUF.
COORDINATE HARDWARE WITH CONTROLLER ACCESS SYSTEM
- GROUP 4 - EXTERIOR STOREFRONT DOOR - CONTROLLED ACCESS**
(1) EA. PIVOT HINGE
(1) EA. 90 DEGREE OFFSET PULL
(1) EA. POWERED PANIC HARDWARE
ELECTRIC HINGE
CLOSER OVERHEAD STOP
THRESHOLD
DOOR ACCUATOR
COORDINATE HARDWARE WITH CONTROLLED ACCESS SYSTEM



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DOOR LEGEND & SCHEDULE

BID/CD SET

DATE 03.10.2022	PROJECT NUMBER 213360
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SHEET NUMBER
A8.00