



CITY HALL LOBBY RENOVATIONS
BID NUMBER: 22-34

ADDENDUM NO. 1

DATE: November 1, 2022

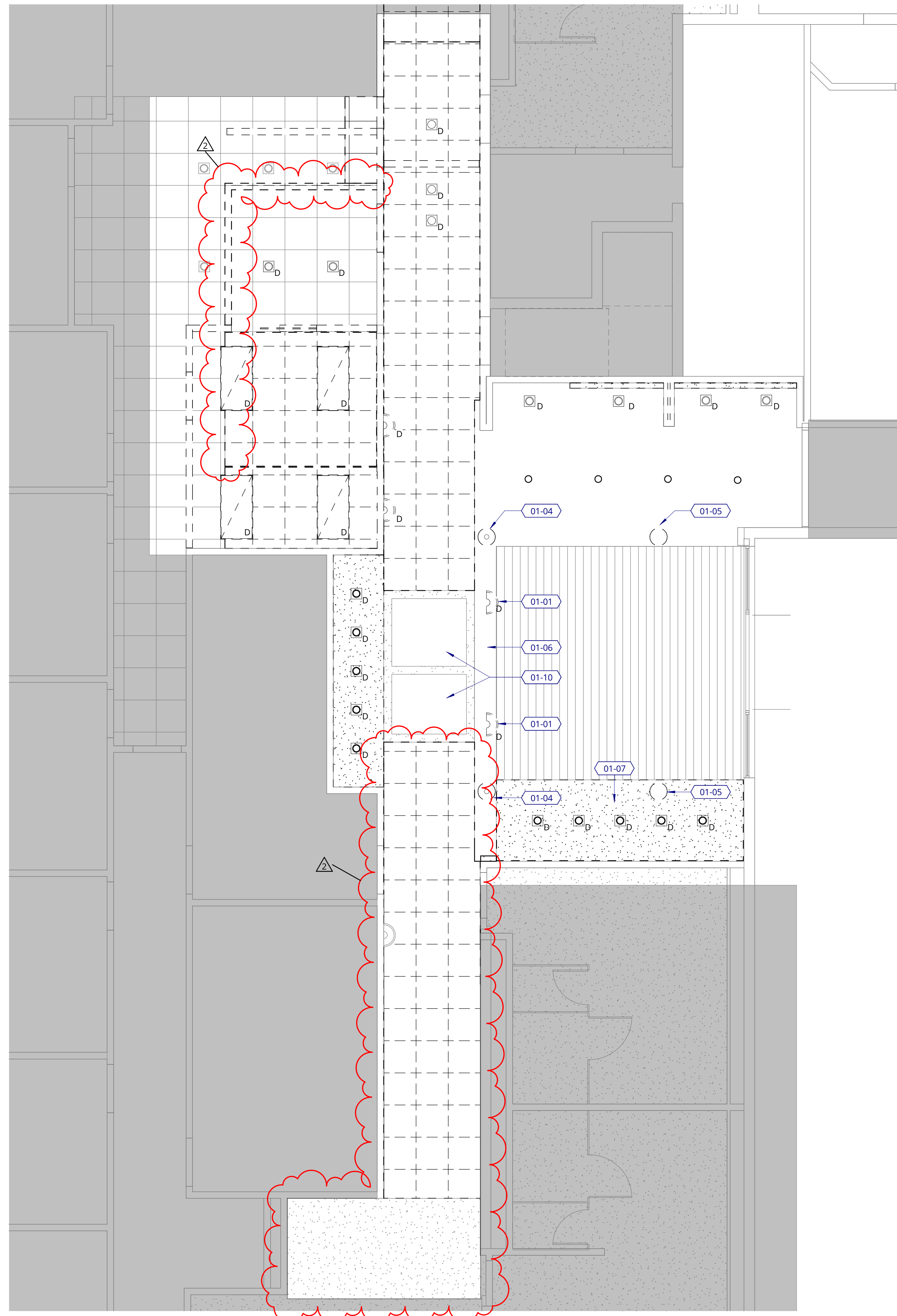
This addendum is for the City Hall Lobby Renovations project, Bid No. 22-34, issued November 1, 2022. The document is posted to capture any questions received via e-mail during the open question period and in-person from bidders at the pre-bid walk through. Agency answers are provided.

The addendum shall become as fully a part of the above-named project drawings, specifications, and bid documents. Each bidder shall be responsible for reading this addendum to ascertain to what extent and in what manner it affects the work to be performed. The original Bid Document, including the submittal deadline, remains in effect and is not changed by this Addendum. All bidders must acknowledge their receipt of this Addendum on the Bid Form, Page B-4 of the Bidding Requirements.

QUESTIONS & ANSWERS

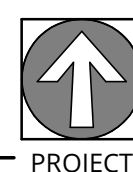
Log	Question	Answer
1	What are the work hours on this project?	<p>Owner intends to continue to occupy adjacent portions of the existing building during the construction period, Entry and Restrooms to remain accessible from 8:00 am - 4:00 pm, Monday - Thursday, with the exception of December 26, January 2, January 16, and February 20.</p> <p>Typical work hours for City projects are 7 am - 6 pm, Monday through Friday. Anticipated deviations from typical work days/hours should be provided with the Project Schedule for Owner approval.</p> <p>All work on this project must comply with City noise ordinance (MICC 8.24.020). See Section 3.6 of the General Terms and Conditions for detailed information.</p>

		Construction Administration support will only be available Monday-Friday from 8 am – 5 pm.
2	Will the Contractor be required to allow public access to the lobby area during construction?	Yes, but only during designated days and hours. City Hall will be open to the public for limited operations during construction. See Section 01 10 00 1.03A of the Project Specifications for specific dates. City operating hours are 9 am - 5 pm.
3	What is the scope of work relative to the acoustic ceiling tiles and grid?	The scope of work for demolition and replacement of the acoustic ceiling tiles and grid has been extended south to the existing gyp board ceiling, and demolition to accommodate new wall construction has been added. See revised sheets A1.10 and A3.00 attached.
4	The contract documents require general liability coverage with limits not less than \$2,000,000 per occurrence. Can an Umbrella policy be used to meet the minimum requirement?	Yes, umbrella coverage is acceptable if the terms of coverage meet the requirements outlined in the specifications. See page A-5, Section 8 of the Contract Specifications for policy requirements, and work with your insurance provider to confirm compliance.
5	Can you provide the cut sheets for the current grid system and tiles throughout the work area if available	No. Cut sheets for the existing grid and tiles are not available.
6	Can you confirm that the scope of work stops just before the City Council Chambers?	Yes, the work area ends at the north end of the Council Chambers lobby. Refer to the plan set for details.
7	Will you provide electrical and mechanical drawings?	No. Electrical, mechanical, and other plans as specified are to be designed, furnished, and installed on a delegated design, or design-build, basis. Reference the “Delegated Design” section of the Project Notes.
8	Who is the preferred fire alarm vendor for the building?	The City is contracted with Fire Protection, Inc., P.O. Box 12642, Bothell, WA 98052. (245) 290-9600
9	Is there a vaccination requirement for the Contractor or their subcontractors?	No. There is currently no requirement for contractors to be vaccinated while working on City projects.
10	What are the work barrier and dust protection requirements?	Contractor must provide all measures necessary to protect adjacent spaces from dust and/or noise, and also provide adequate protection for adjacent property, structures, and passers-by. See Plan Sheet A1.00 Demolition Plan Notes and Section 01 50 00 1.07A of Project Specifications for detailed requirements.



1 LEVEL 1 - DEMOLITION RCP

1/4" = 1'-0"



DEMOLITION RCP NOTES

1. REFER TO PROJECT NOTES APPLICABLE TO ALL PORTIONS OF WORK.
2. PROVIDE ALL MEASURES NECESSARY TO PROTECT ADJACENT SPACES FROM DUST AND/OR NOISE.
3. OCCUPIED BUILDING - PROVIDE ADEQUATE PROTECTION FOR ADJACENT PROPERTY, STRUCTURES AND PASSERS-BY.
4. CONTRACTOR TO MAINTAIN PATH OF EGRESS, EGRESS LIGHTING AND SIGNAGE THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
5. WHERE WALLS ARE SHOWN DEMOLISHED, TRIM, ELECTRICAL AND OTHER UTILITIES SHALL BE INCLUDED IN DEMOLITION.
6. MAINTAIN EXIT PATHS, LIGHTS, HVAC, ETC. DURING DEMOLITION FOR ALL OCCUPIED PORTIONS OF THE BUILDING.
7. COORDINATE ALL NOISY ACTIVITY REQUIREMENTS WITH BUILDING OWNER.
8. REMOVE INDICATED CEILINGS, ACOUSTICAL CEILING TILE, AND LIGHT AND CEILING FIXTURES THROUGHOUT AREA OF WORK.
9. MAINTAIN FIRE RATING AT ALL EXISTING RATED CEILING ASSEMBLIES.
10. **PRICING ALTERNATE: PROVIDE DEMOLITION FOR ROUGH-IN OF NEW SPRINKLER SYSTEM, TO BE INSTALLED IN PHASE 2 OF PROJECT. INCLUDE PRESSURE TESTING FOR SYSTEM AND PROVIDE A TEMPORARY GAUGE ON THE PIPING TO ALLOW TIE-IN TO THE FINAL SYSTEM.**

KEYNOTE LEGEND

- 01-01 G.C. TO REMOVE EXISTING SCNCES. PATCH AND REPAIR SURFACES TO LIKE NEW CONDITION.
- 01-04 REMOVE EXISTING COLUMN FINISH CLADDING BACK TO STRUCTURE. PATCH AND REPAIR CEILING AS REQUIRED TO RECEIVE NEW FINISH.
- 01-05 REMOVE ALL EXISTING NON-STRUCTURAL COLUMNS. PATCH AND REPAIR CEILING AS REQUIRED TO RECEIVE NEW FINISH.
- 01-06 SELECT DEMOLITION AND REPAIR TO EXISTING SOFFIT MAY BE REQUIRED FOR ATTACHMENT OF NEW PARTITION TO EXISTING FRAMING.
- 01-07 REMOVE EXISTING SOFFIT AND PROVIDE NEW AT HEIGHT INDICATED ON THE REFLECTED CEILING PLAN.
- 01-10 EXISTING SKYLIGHT TO REMAIN.

DEMOLITION RCP SYMBOLS

- NOT IN CONTRACT (NIC)
- EXISTING TO REMAIN
- DEMOLISH
- EXISTING GYP BOARD CEILING/SOFFIT TO REMAIN
- GYP BOARD CEILING/SOFFIT TO BE REMOVED
- EXISTING ACT CEILING TO REMAIN
- ACT CEILING TO BE REMOVED
- EXISTING WOOD CEILING TO REMAIN, PREP TO RECEIVE NEW FINISH

LIGHTING FIXTURES

- LAY-IN LIGHT FIXTURE
- RECESSED DOWNLIGHT
- WALL MOUNTED SCONCE LIGHT FIXTURE

ABBREVIATIONS

- (D) DEMOLISH

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MERCER ISLAND CITY HALL LOBBY RENOVATION
9611 SE 36th St, Mercer Island, WA 98040

CITY OF MERCER ISLAND

REVISION	DATE	REASON FOR ISSUE
1	02.01.22	PERMIT REV.
2	12.24.22	BID SET REV

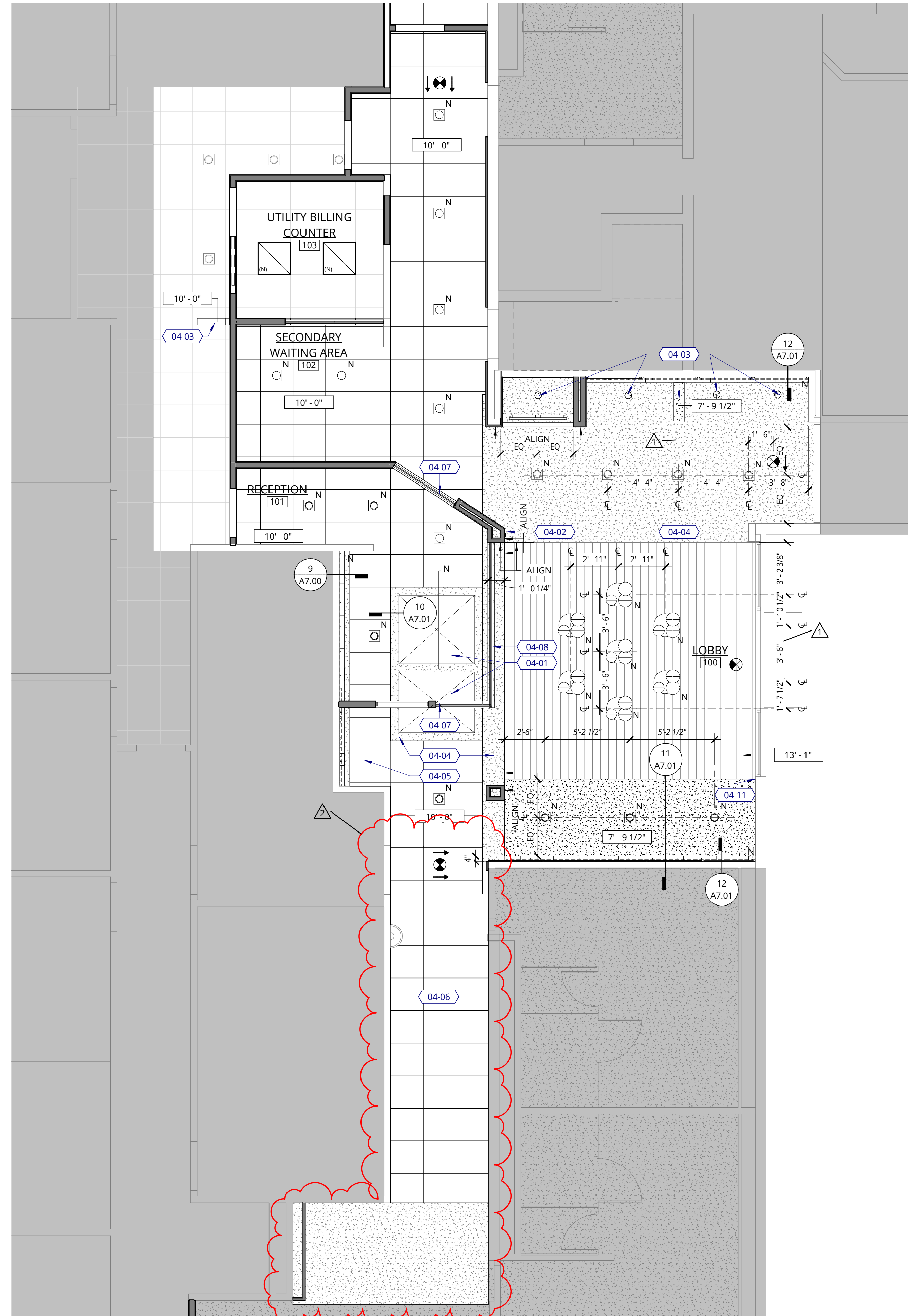
LEVEL 1 DEMOLITION RCP

BID SET - REVISED

DATE 09.08.2022	PROJECT NUMBER 213360
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SHEET NUMBER

A1.10



1 LEVEL 1 - REFLECTED CEILING PLAN
1/4" = 1'-0"



REFLECTED CEILING PLAN LEGEND

LIGHTING FIXTURES

- RECESSED LINEAR WALLWASH FIXTURE
MFR: KELVIX, BRETT 502, 502-19-DV-35K-WH-CP-SV-ULV
COLOR TEMPERATURE: 3500K
PROVIDE INDEPENDANT DRIVERS FOR EACH FIXTURE
- RECESSED DOWNLIGHT
MFR: LITHONIA LIGHTING
STYLE: LDN6
TRIM: WHITE, L-06
COLOR TEMPERATURE: 3500K
- SPECIALTY PENDANT FIXTURE
MFR: PABLO DESIGNS
STYLE: BOLA SPHERE CHANDELIER - 8, 10, 12
STEM FINISH: TBD
CANOPY FINISH: PAINT, COLOR TBD
COLOR TEMPERATURE: 3500K
INSTALLATION HEIGHT: TBD
- LINEAR PENDANT
MFR: PURE EDGE
STYLE: GLIDE WOOD UP AND DOWNLIGHT 100
DEGREES DIFFUSED WHITE LENS WITHOUT LOUVER
CANOPY FINISH/STYLE: TBD, COORDINATE PER CEILING TYPE
SIZE: 6'-0"
WOOD FINISH: WALNUT
COLOR TEMPERATURE: 3500K
WATTAGE: 7W
- 2X2 LAY-IN FIXTURE
MFR: LITHONIA
STYLE: AVANTE 2AVL2
SIZE: 2' X 2'
COLOR TEMPERATURE: 3500K
LUMENS: 20LSE

ABBREVIATIONS
(N) NEW

REFLECTED CEILING PLANS

NOTES

1. REFER TO PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
2. EXISTING CEILING TO REMAIN UNLESS NOTE OTHERWISE.
3. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ACCESS DOOR LOCATIONS, FINAL LOCATIONS TO BE COORDINATED WITH ARCHITECT.
4. ADJUST LIGHT GAUGE METAL FRMING SIZE, GAUGE AND SPACING AT SOFFITS AND CEILINGS TO MEET MANUFACTURER'S PUBLISHED SPAN TABLES, SPECIFIED DEFLECTION CRITERIA, AND TO SUPPORT BOTH GRAVITY AND LATERAL LOADS.
5. CEILINGS AND SOFFITS ARE MEASURED VERTICALLY FROM THE FINISHED FACE OF CEILING OR SOFFIT TO FINISHED FLOOR, UNLESS NOTED OTHERWISE.
6. LOCATE DOWN LIGHTS AND OTHER CEILING MONTED DEVICES IN THE CENTER OF CEILING TILE, UNLESS NOTED OTHERWISE.
7. PROVIDE OCCUPANCY SENSORS FOR ALL OFFICE AREAS LESS THAN 300 SQ. FT. ENCLOSED BY WALLS OR CEILING-HEIGHT PARTITIONS, AND ALL MEETING AND CONFERENCE ROOMS.
8. FOR TYPICAL SUSPENDED CEILING AND GRID DETAILS SEE SHEET A7.01.
9. **PRICING ALTERNATE: PROVIDE ROUGH-IN FOR NEW SPRINKLER SYSTEM, TO BE INSTALLED IN PHASE 2 OF PROJECT. INCLUDE PRESSURE TESTING FOR SYSTEM AND PROVIDE A TEMPORARY GAUGE ON THE PIPING TO ALLOW TIE-IN TO THE FINAL SYSTEM.**
10. GRID, TILE AND SOFFITS ARE PART OF A ONE HOUR CEILING RATED ASSEMBLY. ALL NEW WORK IS TO MAINTAIN THE EXISTING RATED ASSEMBLY PER UL 263, REFER TO **SHEET AD.30**. NEW OF RELOCATED HVAC DIFFUSERS, REGISTERS AND RETURN AIR GRILLS TO BE EQUIPPED WITH FIRE DAMPERS SUITABLE TO MAINTAIN RATED CEILING SYSTEM.
11. LIGHTING CONTROLS TO COMPLY WITH ALL ENERGY CODE REQUIREMENTS.
12. ALL MECHANICAL EQUIPMENT, DIFFUSERS, ETC. ARE TO BE CONCEALED ABOVE CEILING TILES AND GYPSUM SOFFITS. WOOD CEILING IS TO REMAIN FREE OF ALL MECHANICAL RELATED UNITS.
13. ALL CEILING DEVICES ARE TO MATCH THE DESIGNATED FINISHES OF THE SURFACE OF WHICH THEY ARE LOCATED.
14. ALL ACCESS PANELS TO BE MUD AND TAPED FLANGELESS TYPE WITH CONCEALED HINGES AND THREE THUMB TURNS.
15. PROVIDE EDGE LIT EXIT SIGNS TYP. THROUGHOUT AREA OF WORK.
16. **PRICING ALTERNATE: G.C. TO PROVIDE ALTERNATE SPECIALTY PENDANT FIXTURE OPTIONS AS COST SAVINGS.**

KEYNOTE LEGEND

- 04-01 EXISTING SKYLIGHTS TO REMAIN. CLEAN AND PAINT GYPSUM SURROUND AND FACES.
- 04-02 PROVIDE ELECTRICAL PATHWAY FOR OWNER PROVIDED LIT SIGNAGE. CONFIRM EXACT REQUIREMENTS AND LOCATION WITH DESIGNER AND OWNER PRIOR TO INSTALLATION.
- 04-03 CEILING INFILL TO MATCH HEIGHT OF EXISTING TO REMAIN.
- 04-04 PREP ALL EXISTING SOFFITS TO REMAIN TO RECEIVE NEW PAINT.
- 04-05 GC TO PROVIDE DISPLAY CABINET LIGHTING, SPEC: FEELUX MONORAIL 2 NMS3, 3500K, 40 DEGREE BEAM ANGLE, FINISH BLACK, REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- 04-06 EXISTING CORRIDOR LIGHTING TO REMAIN, PROVIDE NEW CEILING TILE AS INDICATED.
- 04-07 FRAMING TO BE DESIGN BUILT. DESIGNS TO FRAME SO THAT THE SPACE ABOVE THE HEADER IS OPEN AS SHOWN.
- 04-08 DETERMINE IF FEASIBLE TO UTILIZE EXISTING STRUCTURAL BEAM FOR BOX BEAM HEADER ATTACHMENT. G.C. TO CARRY ALLOWANCE FOR BOX BEAM HEADER WITH FULL HEIGHT FRAMING WITH 45 DEGREE BRACING IF ATTACHMENT TO EXISTING BEAM PROVES TO BE INFEASIBLE. GC TO MAINTAIN ALL EXISTING FIRE-RATINGS AS REQUIRED BY CODE.
- 04-11 ALIGN NEW SOFFIT WITH FACE OF COLUMN FURRING IF FEASIBLE WITH ANGLED CEILING CONDITION. IF INFEASIBLE, ALIGN SOFFIT WITH STOREFRONT OPENING AS SHOWN.

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LEVEL 1 REFLECTED CEILING PLAN

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SHEET NUMBER

A3.00