

RELATED LAND USE PERMITS

SHL22-023:
LUTHER BURBANK WATERFRONT IMPROVEMENTS

ENERGY CODE INFORMATION

APPLICABLE CODES:
2018 WASHINGTON STATE ENERGY CODE

6402.1.1.1 - LOW ENERGY BUILDINGS
THE EXISTING BUILDING DOES NOT CONTAIN
CONDITIONED SPACE AND NO CHANGES TO THE
EXISTING MECHANICAL SYSTEM ARE PROPOSED.
BUILDINGS WITHOUT CONDITIONED SPACE ARE
INCLUDED IN THE DEFINITION OF LOW-ENERGY
BUILDINGS, WHICH ARE EXEMPT FROM THE
THERMAL ENVELOPE REQUIREMENTS OF THE CODE.

PROPERTY & LAND USE INFORMATION

LOCATION: LUTHER BURBANK PARK
2040 8TH AVENUE
PROPERTY OWNER: CITY OF MERCER ISLAND
LEGAL: 6L 6 LESS THE 5 30 FT DEEDED TO KC
DESCRIPTION: FOR RD UNDER AFD FILE NO 1042150
APN: 0624054014
ZONING: R-15
PARCEL SIZE: 945,182 SF (22.86 ACRES)

LAND USE INFORMATION

19.02.010 USES PERMITTED IN SINGLE-FAMILY ZONE R-15
A.6 - PUBLIC PARKS PERMITTED
A. ACCESS TO LOCAL AND/OR ARTERIAL THOROUGHFARES
SHALL BE REASONABLY PROVIDED.
B. OUTDOOR LIGHTING SHALL BE LOCATED TO MINIMIZE GLARE
UPON ABUTTING PROPERTY AND STREETS.
C. MAJOR STRUCTURES, BALLFIELDS AND SPORT COURTS SHALL
BE LOCATED AT LEAST 20 FEET FROM ANY ABUTTING PROPERTY.
D. IF A PERMIT IS REQUIRED FOR A PROPOSED IMPROVEMENT,
A PLOT, LANDSCAPE AND BUILDING PLAN SHOWING COMPLIANCE
WITH THESE CONDITIONS SHALL BE FILED WITH THE CITY
DEVELOPMENT SERVICES GROUP (DSG) FOR ITS APPROVAL.
CURRENT USE IS "STORAGE ACCESSORY TO PARK"

19.13 SHORELINE MASTER PROGRAM
B.1 - LEGAL NONCONFORMING USES & STRUCTURES MAY CONTINUE
C.1 - SITE IS IN URBAN PARK ENVIRONMENT
GOVERNMENT SERVICES, PUBLIC FACILITIES, PARKS &
OPEN SPACE PERMITTED (TABLE A)
E.1 - SHORELAND DEVELOPMENT STANDARDS LANDWARD OF OHWM:
SETBACK FOR ALL STRUCTURES & PARKING: 25' FROM OHWM
MAXIMUM IMPERVIOUS SURFACE COVERAGE: 10% BETWEEN 0' & 25' FROM OHWM
30% BETWEEN 25' & 50' FROM OHWM
EXISTING IMPERVIOUS SURFACE COVERAGE: 0.71% BETWEEN 0' & 25' FROM OHWM
0.63% BETWEEN 25' & 50' FROM OHWM
SEE CALCULATIONS ON SHEET A1
ORDINARY HIGH WATER MARK IS 18'-6"

BUILDING CODE INFORMATION

APPLICABLE CODE: 2018 INTERNATIONAL BUILDING CODE W/ WA AMMENDMENTS
2018 INTERNATIONAL EXISTING BUILDING CODE W/ WA AMMENDMENTS

CONSTRUCTION TYPE: CURRENT STRUCTURE IS TYPE IIB, NON-SPRINKLED
CHAPTER 6 NONCOMBUSTIBLE CONSTRUCTION
NO FIRE RATINGS REQUIRED

OCCUPANCY TYPE: CURRENT OCCUPANCY: S-2 STORAGE
CHAPTER 3 PROPOSED OCCUPANCY: S-2 STORAGE - NO CHANGE
CONCESSIONS AREA:
CURRENT OCCUPANCY: B (BOAT RENTAL) - PER 1974 PERMIT #14-066
PROPOSED OCCUPANCY: B (CONCESSIONS) - NO CHANGE
BATHROOMS:
CURRENT OCCUPANCY: U (PUBLIC TOILET ROOMS) - PER 1974 PERMIT #14-066
PROPOSED OCCUPANCY: U (PUBLIC TOILET ROOMS) - NO CHANGE
NEW ROOF DECK:
PROPOSED OCCUPANCY: B (ASSEMBLY SPACES W/ OCCUPANT LOAD < 50)

HEIGHTS & AREAS: PROPOSED BUILDING HEIGHTS & AREAS:
CHAPTER 5 (2) STORIES, 24' HIGH, 2,424 SF MAX PER STORY
ALLOWABLE HEIGHTS & AREAS
TYPE IIB CONSTRUCTION, NON-SPRINKLED
S-2 OCCUPANCY: (3) STORIES, 55' HIGH, 26,000 SF PER STORY
B OCCUPANCY: (3) STORIES, 55' HIGH, 23,000 SF PER STORY
U OCCUPANCY: (2) STORIES, 55' HIGH, 8,500 SF PER STORY

OCCUPANCY SEPARATIONS: S-2, B & U OCCUPANCIES PERMITTED AS NON-SEPARATED OCCUPANCIES
PER 508.3. NO SEPARATION REQUIRED BETWEEN OCCUPANCIES.
THE MOST RESTRICTIVE REQUIREMENTS OF CHAPTER 9 APPLY TO THE
TOTAL NONSEPARATED OCCUPANCY AREA.
901 - PER IBC AMENDMENTS, ADDITIONS THAT CREATE A NONCONFORMING
CONDITION SHALL BE BROUGHT UP TO CURRENT CODE FOR
FIRE PROTECTION SYSTEMS
903 - FIRE SPRINKLERS NOT REQUIRED FOR S-2, B OR U OCCUPANCIES
AS PROPOSED
906 - PORTABLE FIRE EXTINGUISHERS REQUIRED. SEE PLAN FOR LOCATIONS.
907 - PER IBC AMENDMENTS TO IBC, FIRE ALARMS ARE TO BE INSTALLED
IN ALL BUILDINGS WITH A GROSS AREA GREATER THAN 3,000 SF
NEW FIRE ALARM SYSTEM TO BE INSTALLED BY SEPARATE PERMIT

OCCUPANT LOADS: TABLE 1004.1.2 TOTAL OCCUPANT LOAD FROM (2) STORIES:
LEVEL 1 STORAGE - 1,400 SF/300 SF/OCCUPANT - (5) OCCUPANTS
LEVEL 1 CONCESSIONS - 175 SF/150 SF/OCCUPANT - (2) OCCUPANTS
LEVEL 2 STORAGE - 1,000 SF/300 SF/OCCUPANT - (4) OCCUPANTS
LEVEL 2 VIEWING DECK - 120 SF/15 SF/OCCUPANT - (4B) OCCUPANTS
TOTAL BUILDING OCCUPANT LOAD - (54) OCCUPANTS

NEW ROOF DECK ACCESS TO TO BE CONSTRUCTED PER SEPARATE PERMIT
& COMPLETED PRIOR TO OCCUPANCY.

NUMBER OF EXITS & EXIT ACCESS TRAVEL DISTANCE: IN 5 OCCUPANCIES, (1) EXIT PERMITTED FROM 2ND STORY W/
OCCUPANT LOAD < 29 & TRAVEL DISTANCE < 75'
MAX EXIT ACCESS TRAVEL DISTANCE FROM LEVEL 2 IS 73'-10"
(1) EXIT PERMITTED FROM ALL SPACES

EXIT ACCESS STAIRS: EXIT ACCESS STAIRS THAT SERVE ONLY TWO STORIES ARE
NOT REQUIRED TO BE ENCLOSED.

ACCESSIBILITY: BATHROOMS & CONCESSION TO BE REMODELED FOR ACCESSIBILITY
ANSI A117.1 - ADDITIONS
PROVISIONS FOR NEW CONSTRUCTION SHALL APPLY TO ADDITIONS
ANSI 1104.4, EXCEPTION 1 - AN ACCESSIBLE ROUTE IS NOT REQUIRED TO
STORIES THAT HAVE AN AGGREGATE AREA ON NOT MORE THAN 3,000 SF
AND ARE LOCATED ABOVE OR BELOW ACCESSIBLE LEVELS.

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A2.1 FIRST FLOOR REFLECTED CEILING PLAN & LIGHTING SCHEDULE
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A2.3 ROOF PLAN
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A3.3 WALL SECTION, STAIR SECTION & DETAILS
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PD2.0 PLUMBING SECOND FLOOR DEMO PLAN
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E3.1 FIRST FLOOR PLAN - ELECTRICAL
E3.2 2ND FLOOR PLAN - ELECTRICAL
E4.0 SCHEDULES

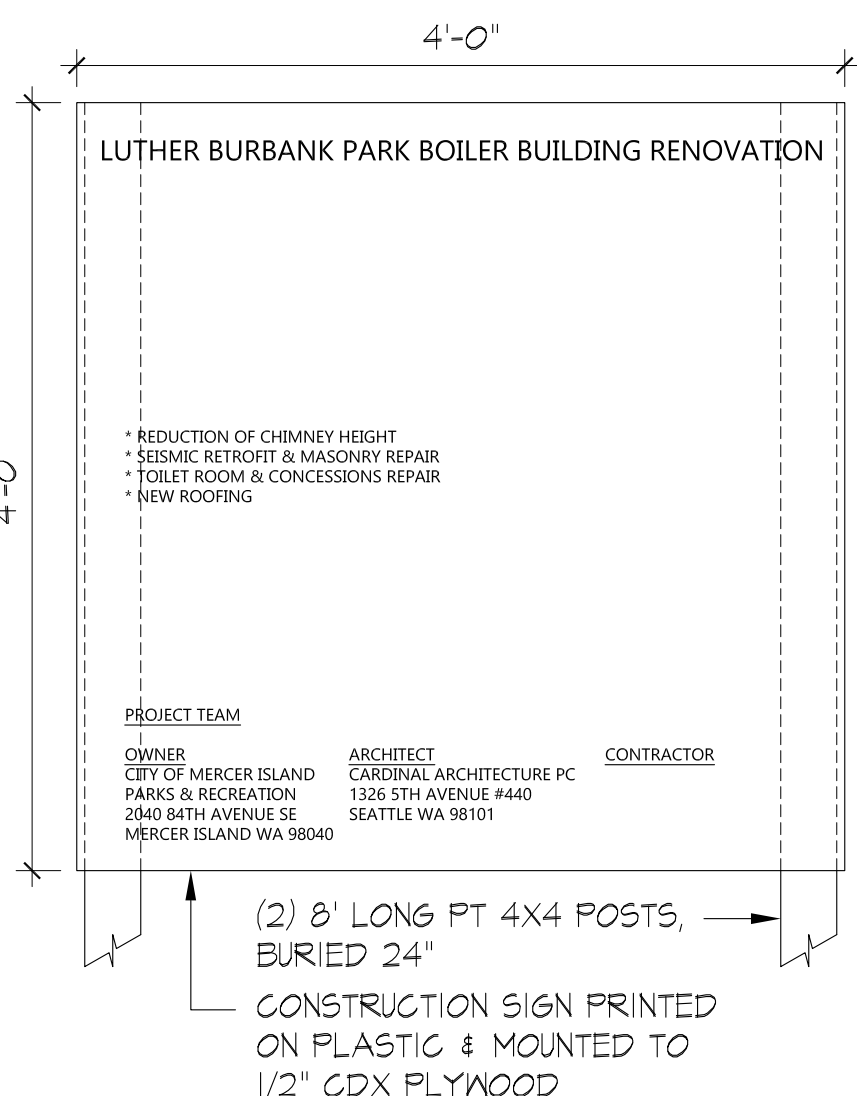
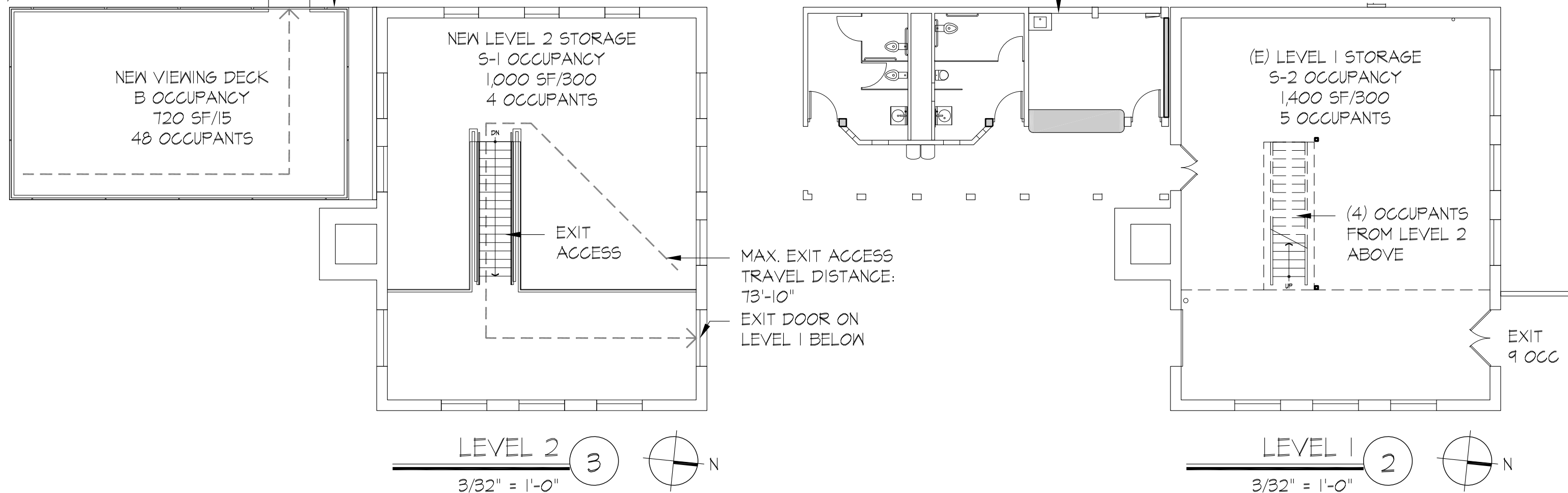
EXISTING BUILDING CODE INFORMATION

CHAPTER 6 - CLASSIFICATION OF WORK
WORK AREA METHOD: THE WORK AREA INCLUDES THE NEW LEVEL 2 FLOOR AND
THE NEW 120 SF VIEWING PLATFORM ON THE ROOF OF THE
BATHROOM BUILDING. THE TOTAL WORK AREA IS 1720 SF,
WHICH IS MORE THAN 50% OF THE BUILDING AREA.
PER SECTION 604, THE PROJECT IS A LEVEL 3 ALTERATION
PROVISIONS OF CHAPTERS 7-9 APPLY.

CHANGE OF OCCUPANCY: THE SCOPE OF WORK DOES NOT INVOLVE A CHANGE OF
OCCUPANCY. EXISTING BUILDING OCCUPANCIES INCLUDE S-2,
U AND B. THE PROVISIONS OF CHAPTER 10 DO NOT APPLY.

ADDITIONS: THE NEW FLOOR AREA ON LEVEL 2 MEETS THE DEFINITION OF
AN ADDITION IN CHAPTER 2. THE PROVISIONS OF CHAPTER 11
APPLY.

ADDITIVE ALTERNATE I:
INSTALL WOOD TILE ROOF DECK
& STEEL CABLE RAILING.
ACCESS RAMP PER
SEPARATE PERMIT.



NOTE: REVIEW SIGN LANGUAGE & GRAPHICS W/
OWNER & ARCHITECT W/ SUBMITTAL REVIEW PROCESS
SEE SHEET A1 FOR CONSTRUCTION SIGN LOCATION

CONSTRUCTION SIGN (4)
SCALE: 1" = 1'-0"



PROJECT DESCRIPTION

- * SEISMIC RETROFIT & EXTERIOR RESTORATION
 - * RESTORE EXISTING MASONRY, ANCHOR TIES & REPOINTING AT ENTRANCES
 - * REMOVE & REINSTALL EXISTING STONE PARAPET WITH SEISMIC ANCHORS
 - * REMOVE TOP PORTION OF CHIMNEY & INSTALL NEW WEATHER GAP
 - * REINFORCE REMAINING CHIMNEY
 - * INSTALL NEW ROOFING
 - * NEW INTERIOR MEZZANINE CONSTRUCTION
 - * INSTALL NEW CONCRETE SLAB & INTERIOR FOOTINGS
 - * INSTALL NEW MEZZANINE FLOOR FRAMING & COMPOSITE CONCRETE FLOOR
 - * INSTALL NEW STAIR & GUARDRAIL FOR MEZZANINE
 - * INSTALL NEW INTERIOR & EXTERIOR LIGHT FIXTURES
 - * RENOVATE TOILET ROOMS & CONCESSIONS
 - * INSTALL NEW SEWAGE PUMP IN PLAZA
 - * INSTALL NEW ELECTRICAL PANEL & DISTRIBUTION
 - * INSTALL NEW FIRE ALARM
- * ADDITIVE ALTERNATE I:
* INSTALL NEW DECK & GUARDRAIL ON ROOF OF
EXISTING BATHROOM & CONCESSIONS

PROJECT DIRECTORY

OWNER:
CITY OF MERCER ISLAND
PUBLIC WORKS DEPARTMENT
9611 SE 36TH STREET
MERCER ISLAND WA 98040
CONTACT: PAUL WEST
206.275.1833 (T)

MECHANICAL ENGINEER:
FSI ENGINEERS
1001 ALASKAN WAY, SUITE 200
SEATTLE WA 98104
CONTACT: BLAKE WALKER
206.622.3321 (T)

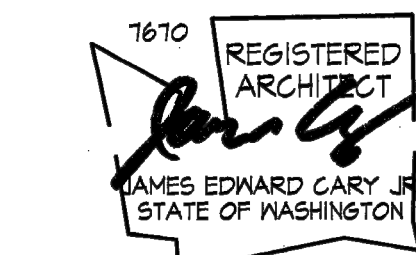
ELECTRICAL ENGINEER:
TFAB ENGINEERS
1200 WESTLAKE AVENUE N, SUITE 509
SEATTLE WA 98109
CONTACT: KEVIN MARTELLE
206.285.1228 (T)

COST ESTIMATOR:
DCM COST MANAGEMENT
SEATTLE WA
CONTACT: TRISH DREW
206.259.2990 (T)

ARCHITECT:
CARDINAL ARCHITECTURE PC
1326 5TH AVENUE, SUITE 440
SEATTLE WA 98101
CONTACT: JIM CARY
206.624.2365 (T)

STRUCTURAL ENGINEER:
SEF ENGINEERS
2124 THIRD AVENUE, SUITE 100
SEATTLE WA 98121
CONTACT: GREG COONS
206.443.6212 (T)

PROJECT MANUAL
CITE SPECIFIC
SEATTLE WA
CONTACT: DEBIN SCHLIESMAN
206.328.6557



LUTHER BURBANK PARK
BOILER BUILDING
PHASE LBB1
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040



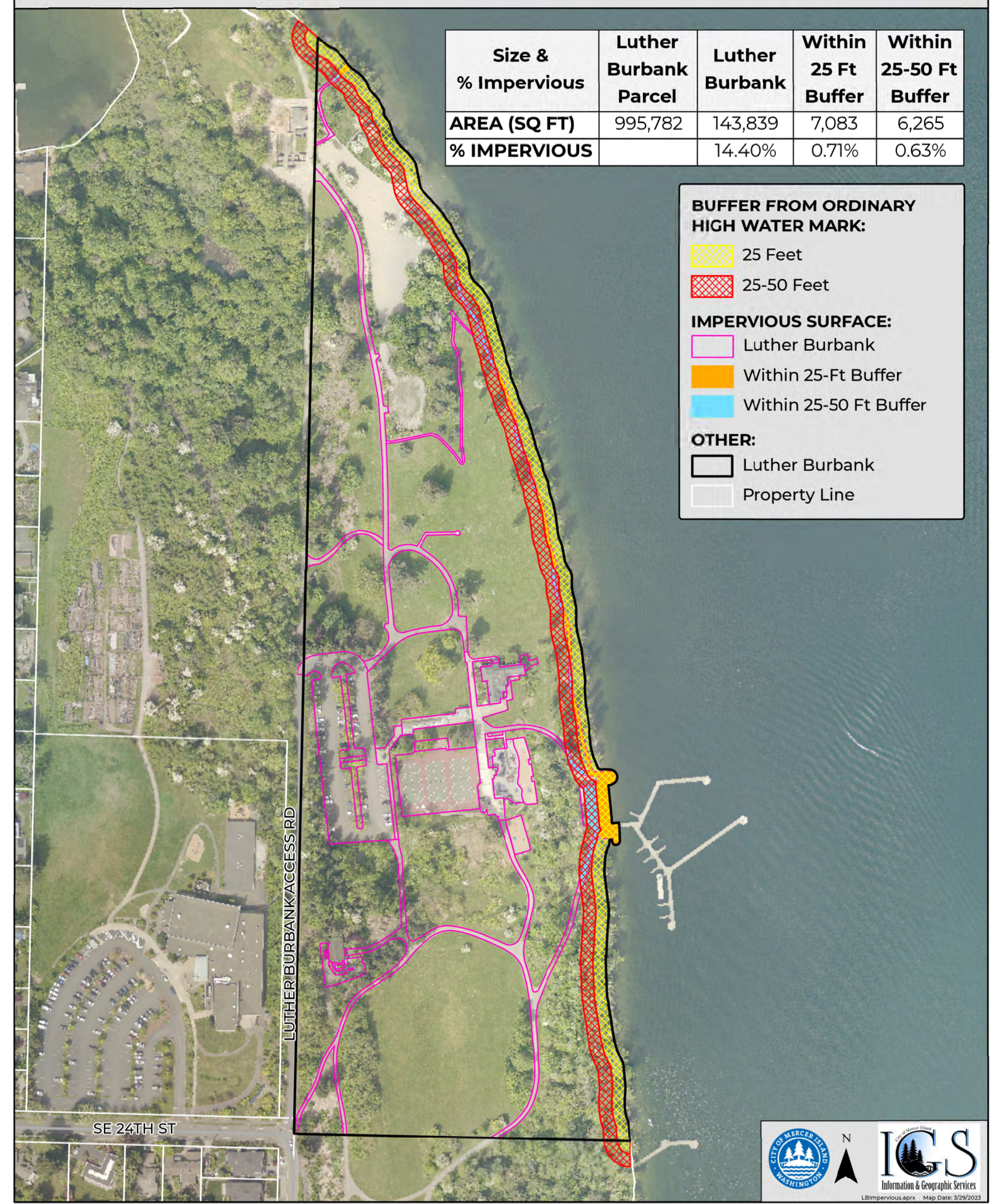
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PROJECT
INFORMATION

T1

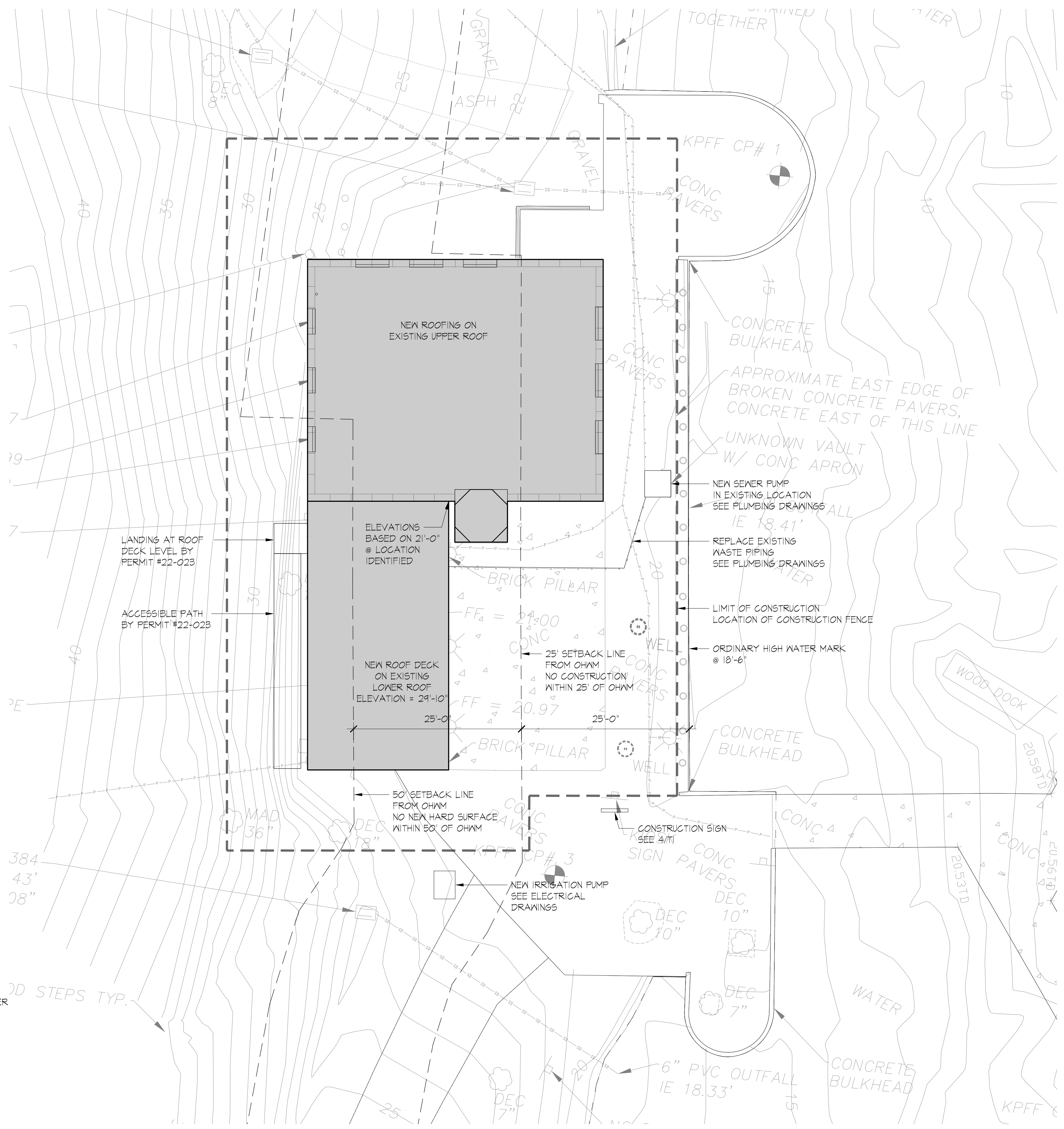
LUTHER BURBANK IMPERVIOUS SURFACE



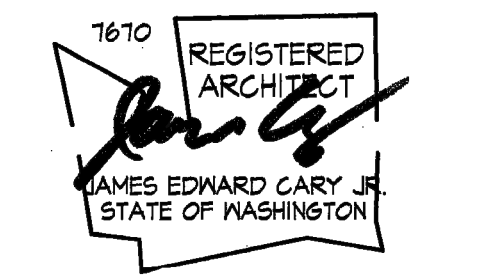
LOT COVERAGE DIAGRAM 3
NO SCALE



ACCESS DIAGRAM 2
NO SCALE



SITE PLAN 1
1/8" = 1'-0"



REVISIONS

NO.	DESCRIPTION

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BOILER BUILDING
PHASE LBB1**

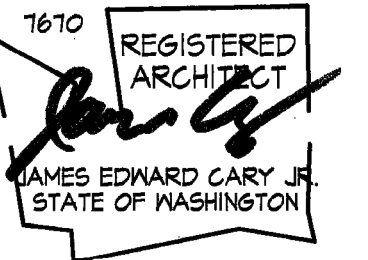
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SITE PLAN

A1



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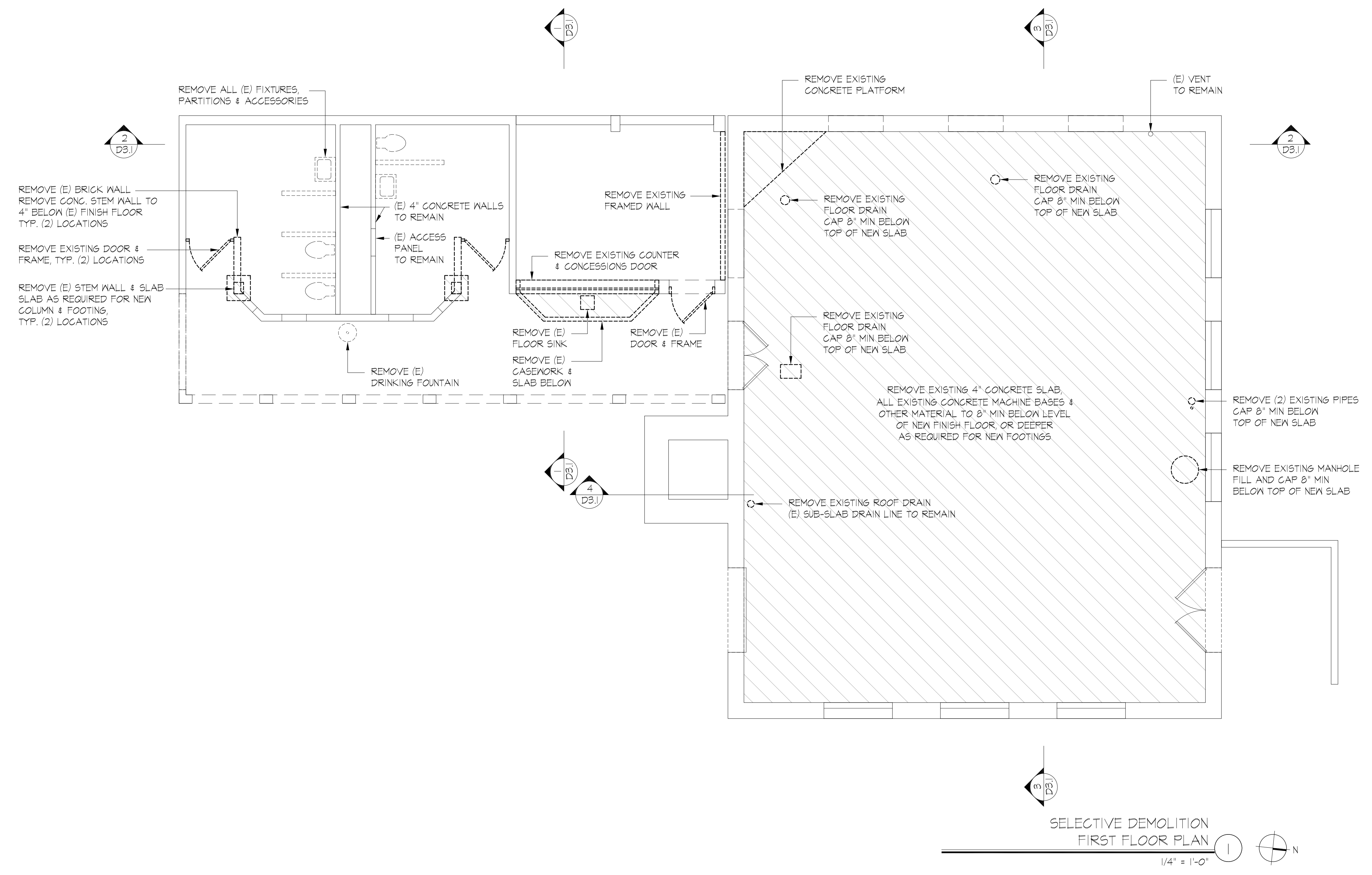


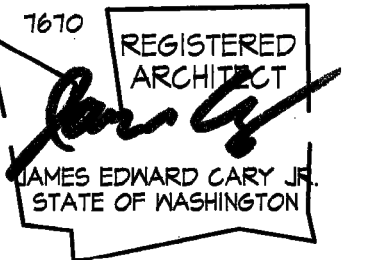
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SELECTIVE
DEMOLITION
FIRST FLOOR PLAN

D2.1





REVISIONS

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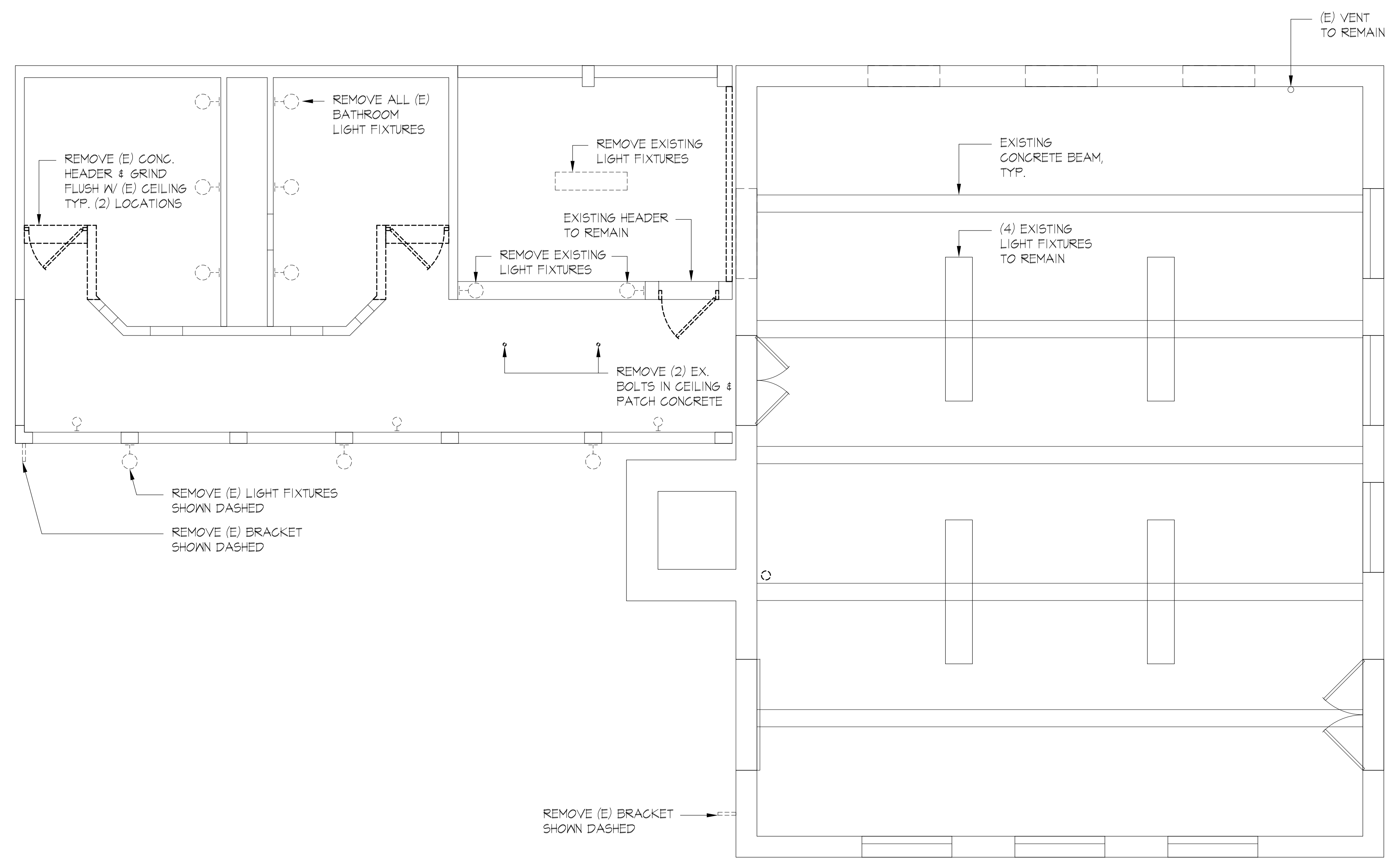



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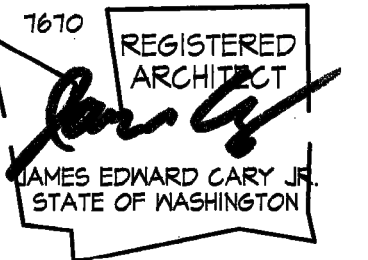
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SELECTIVE
DEMOLITION
FIRST FLOOR RCP

D2.11



SELECTIVE DEMOLITION
FIRST FLOOR RCP
1/4" = 1'-0" 



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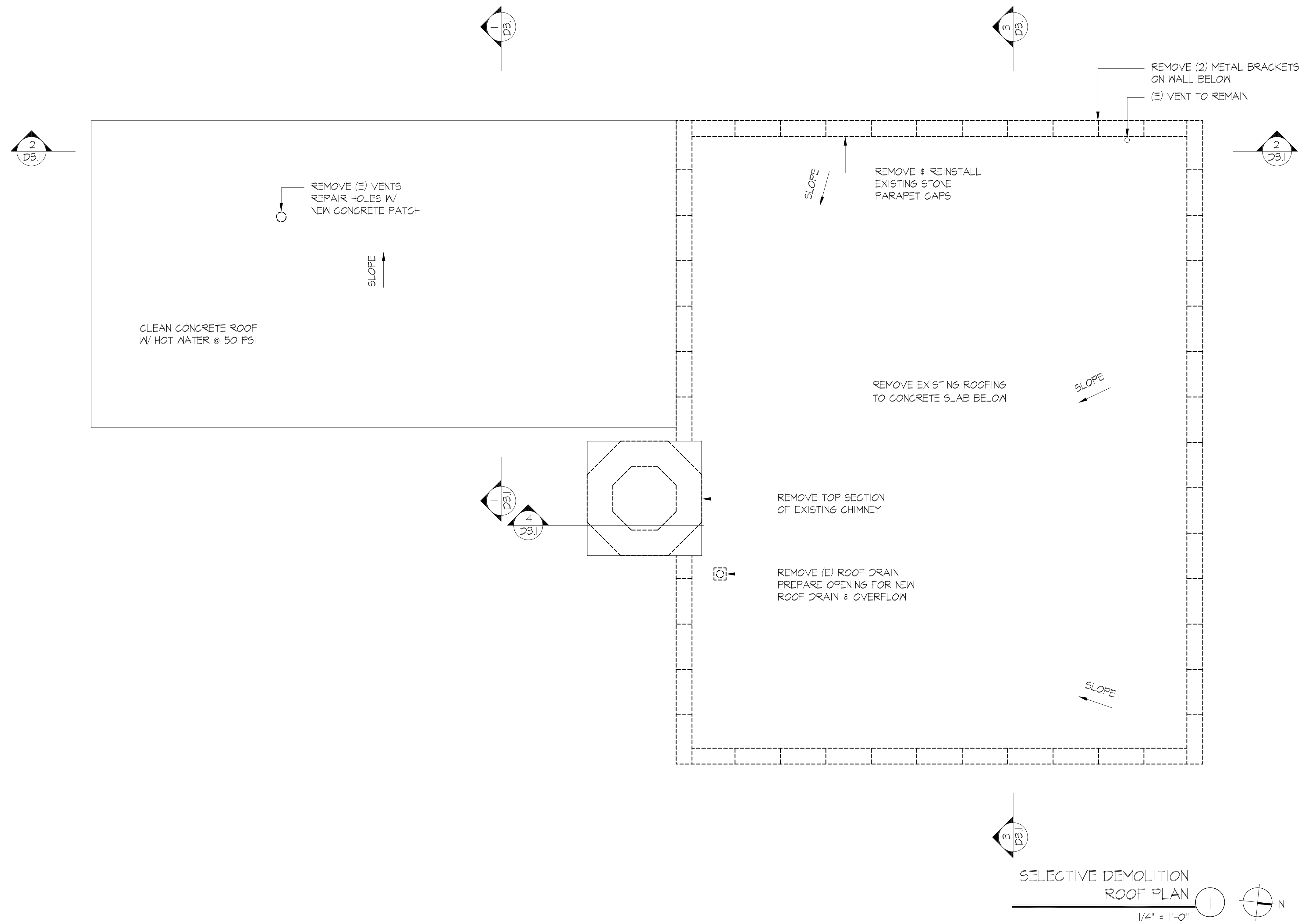


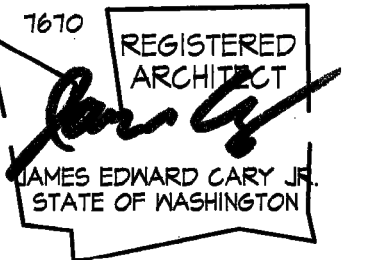
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SELECTIVE
DEMOLITION
ROOF PLAN

D2.3





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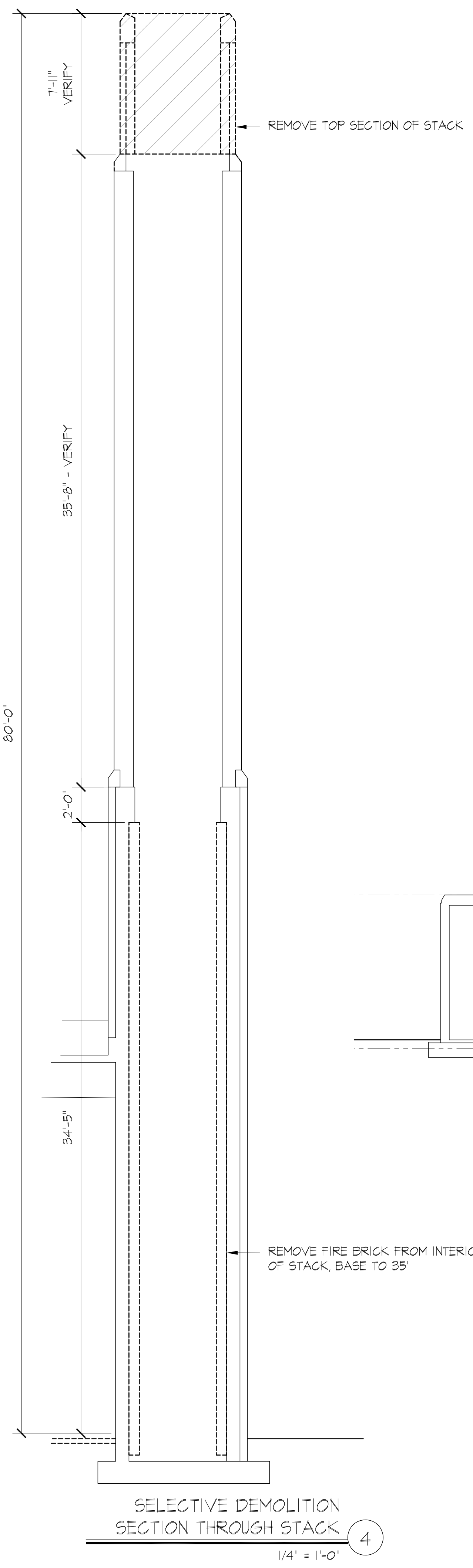


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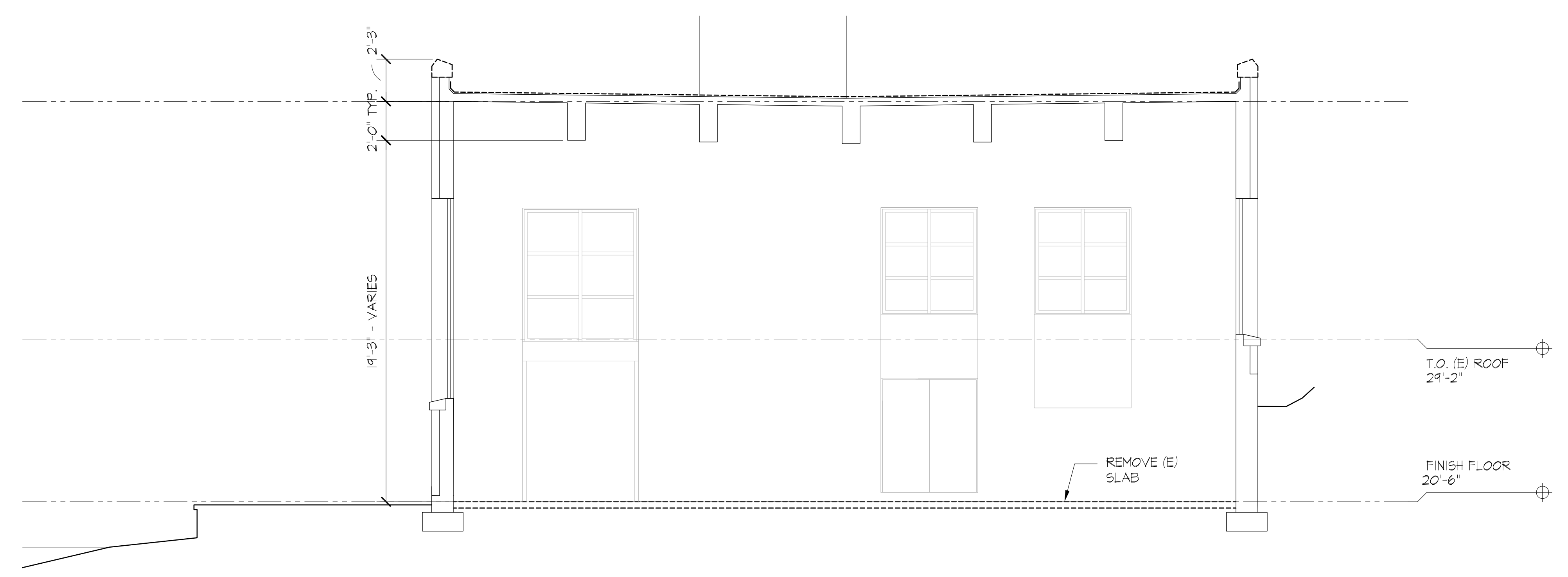
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SELECTIVE
DEMOLITION
BUILDING
SECTIONS

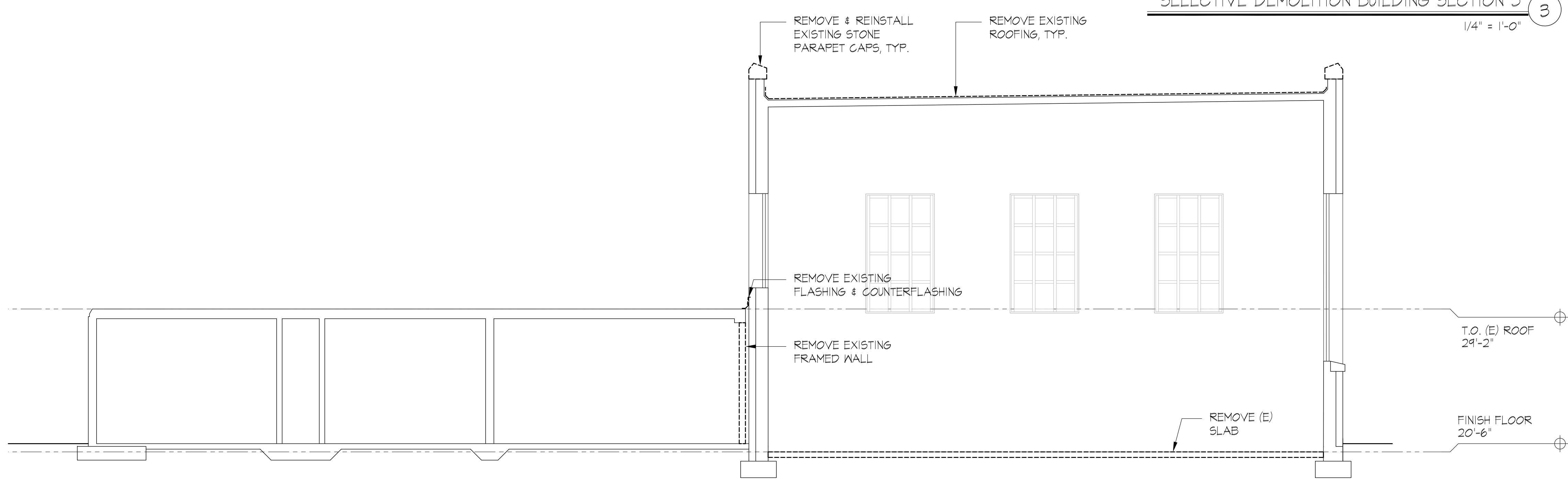
D3.1



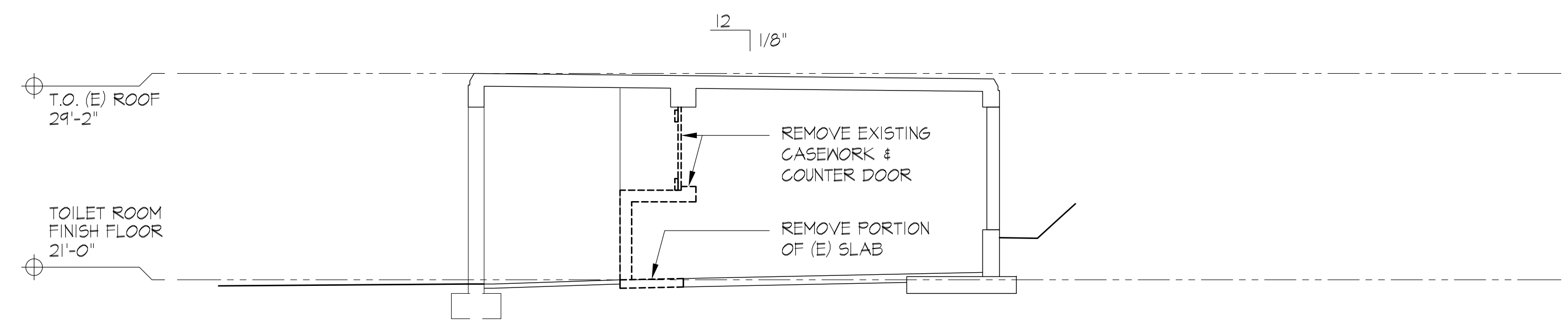
SELECTIVE DEMOLITION SECTION THROUGH STACK 4
1/4" = 1'-0"



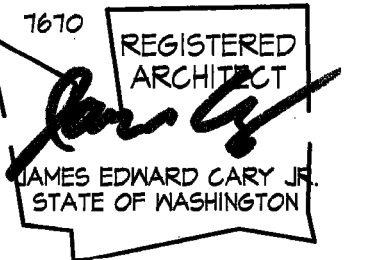
SELECTIVE DEMOLITION BUILDING SECTION 3 3
1/4" = 1'-0"



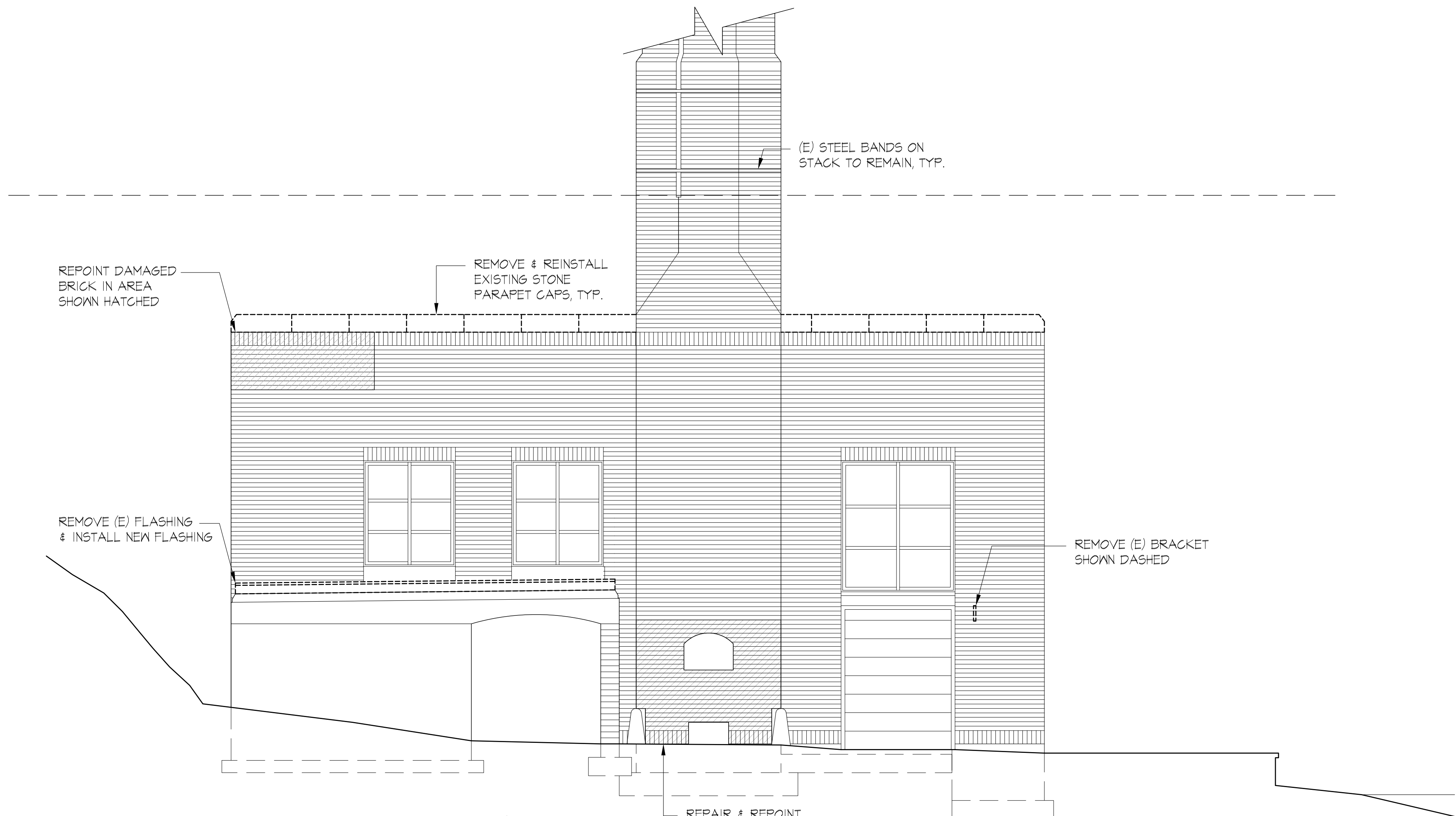
SELECTIVE DEMOLITION BUILDING SECTION 2 2
1/4" = 1'-0"



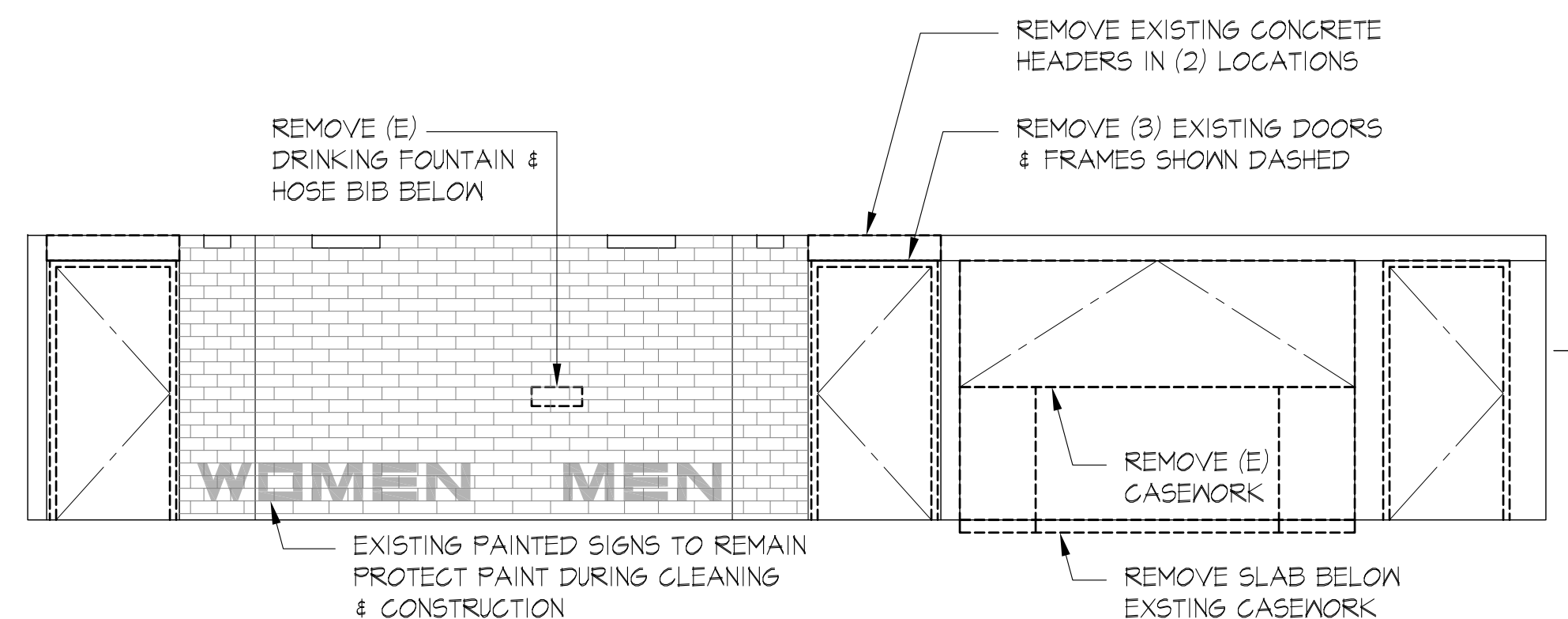
SELECTIVE DEMOLITION BUILDING SECTION 1 1
1/4" = 1'-0"



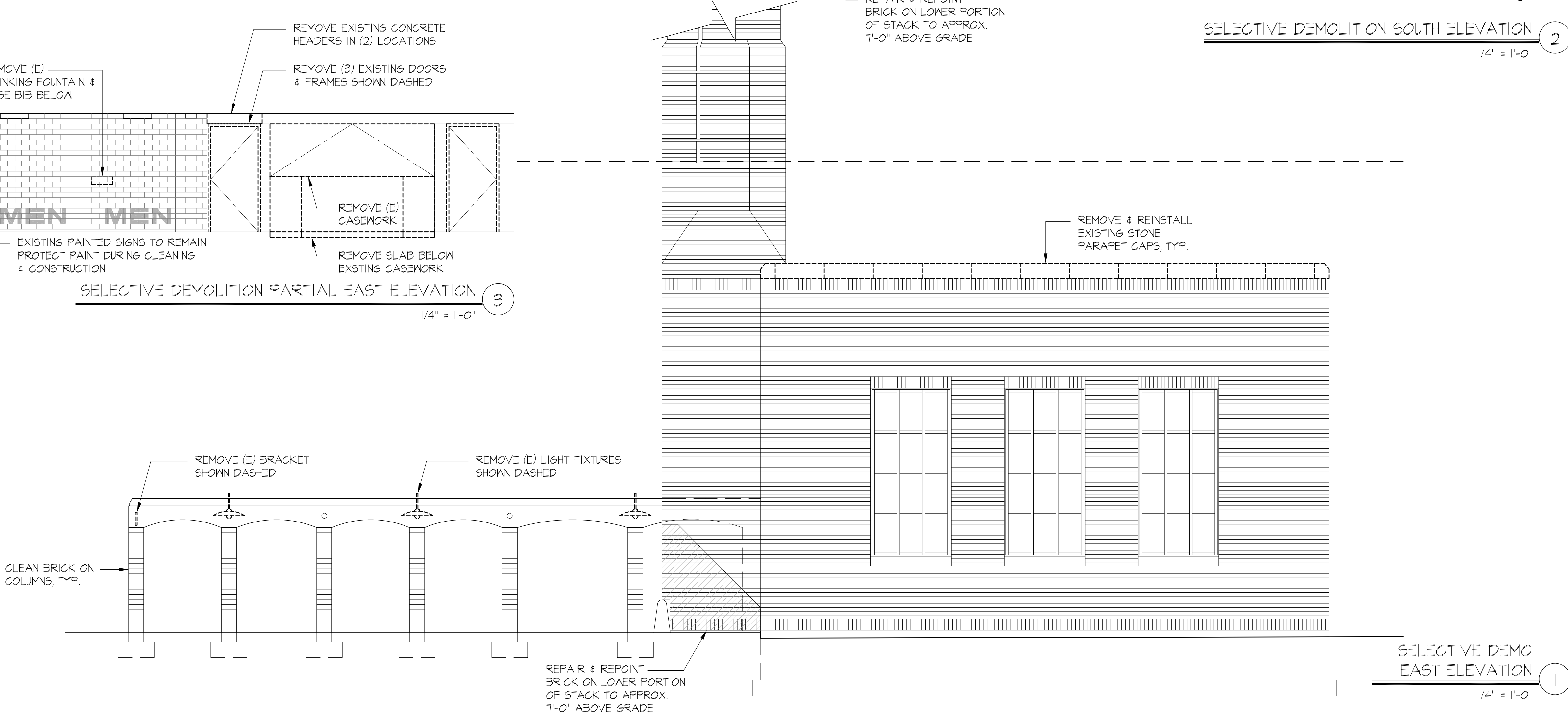
MASONRY NOTES:
 * CLEAN ALL EXTERIOR CONCRETE & MASONRY W/ HOT WATER @ 50 PSI
 * REPOINT EXISTING BRICK AS REQUIRED IN AREAS INDICATED ONLY



SELECTIVE DEMOLITION SOUTH ELEVATION 2
 1/4" = 1'-0"



SELECTIVE DEMOLITION PARTIAL EAST ELEVATION 3
 1/4" = 1'-0"



SELECTIVE DEMO EAST ELEVATION 1
 1/4" = 1'-0"

REVISIONS

NO.	DESCRIPTION

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 BOILER BUILDING
 PHASE LBB1**
 2040 84TH AVENUE SE
 MERCER ISLAND, WA 98040



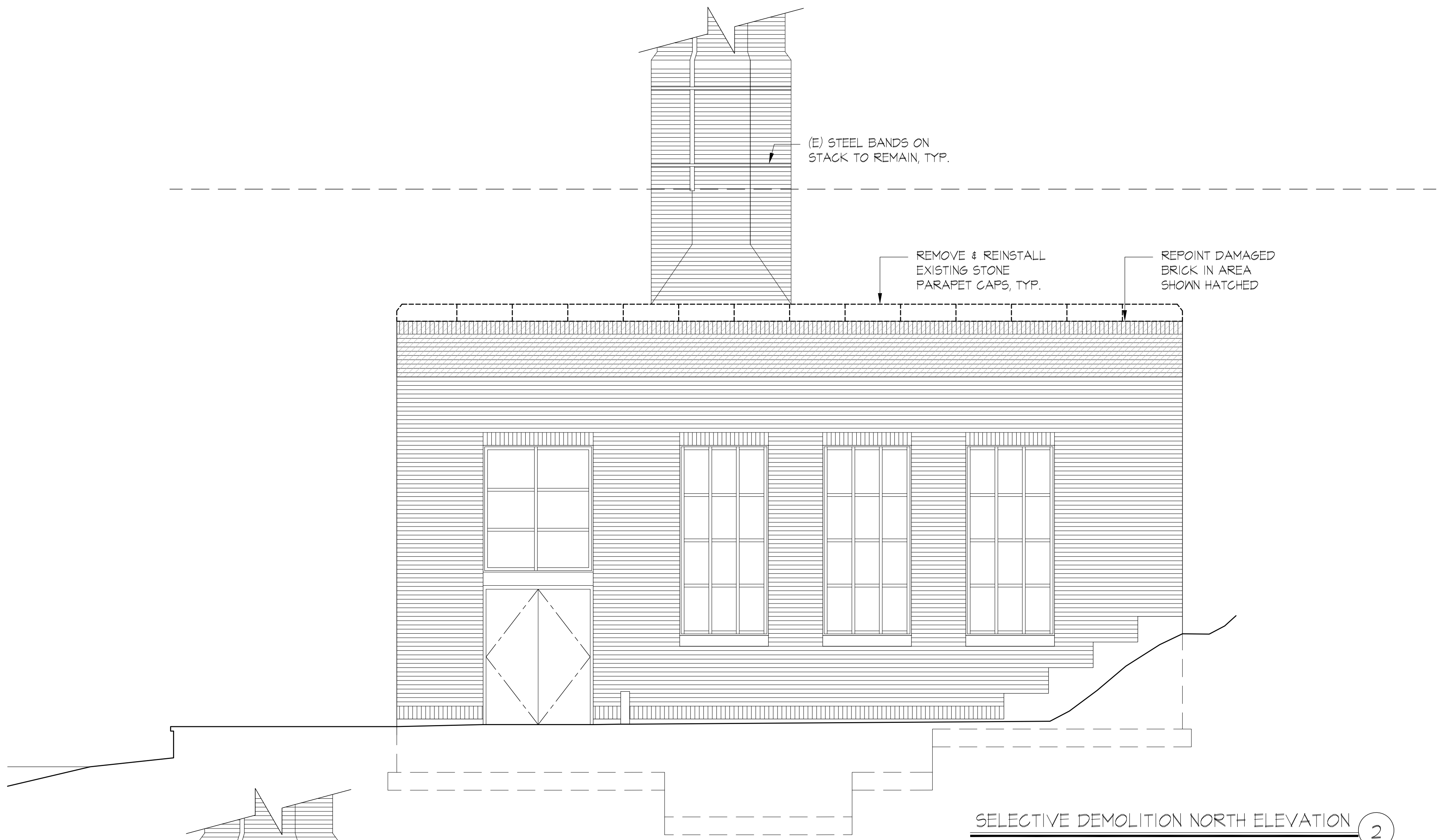
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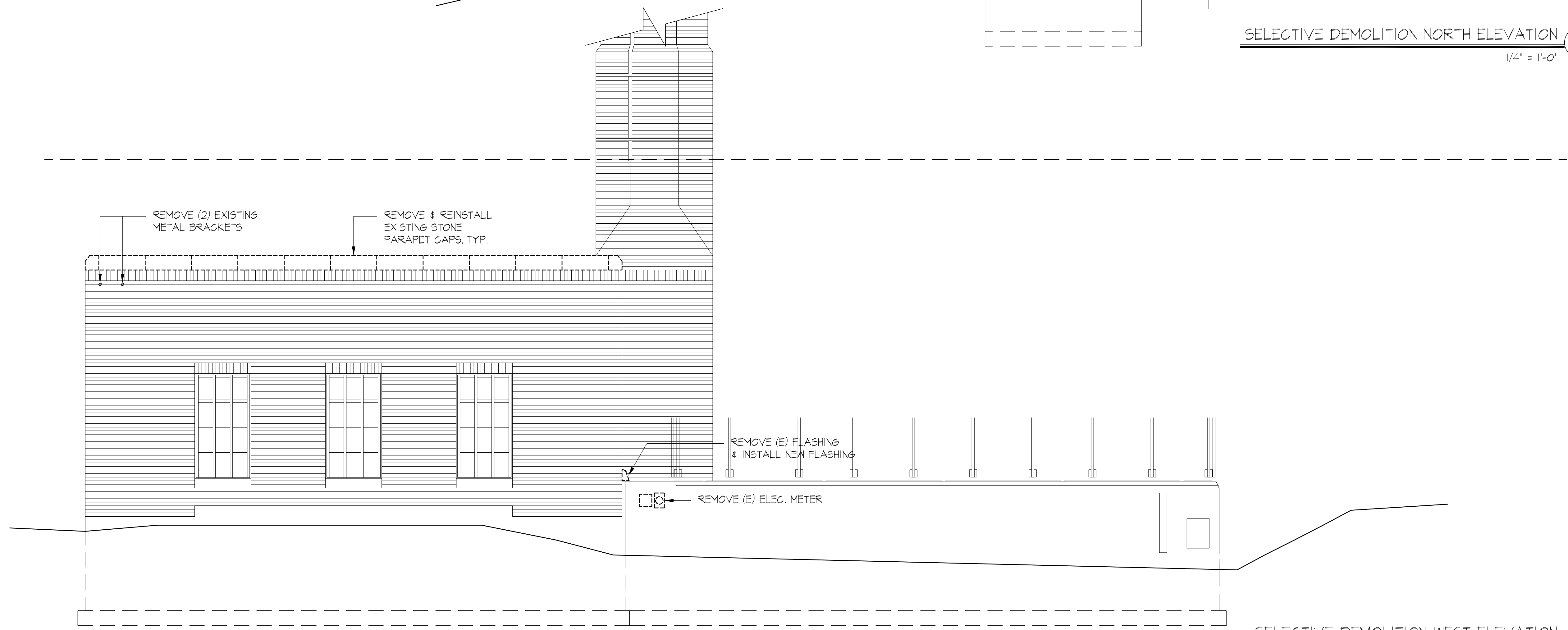
SELECTIVE
 DEMOLITION
 BUILDING
 ELEVATIONS

D4.1

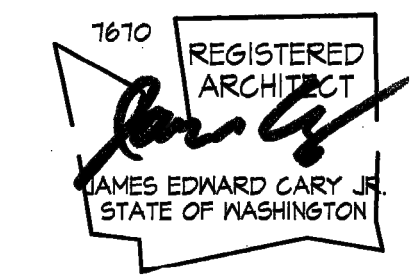
MASONRY NOTES:
 * CLEAN ALL EXTERIOR CONCRETE & MASONRY W/ HOT WATER @ 50 PSI
 * REPOINT EXISTING BRICK AS REQUIRED IN AREAS INDICATED ONLY



SELECTIVE DEMOLITION NORTH ELEVATION 2
 1/4" = 1'-0"



SELECTIVE DEMOLITION WEST ELEVATION 1
 1/4" = 1'-0"



REVISIONS

NO.	DESCRIPTION

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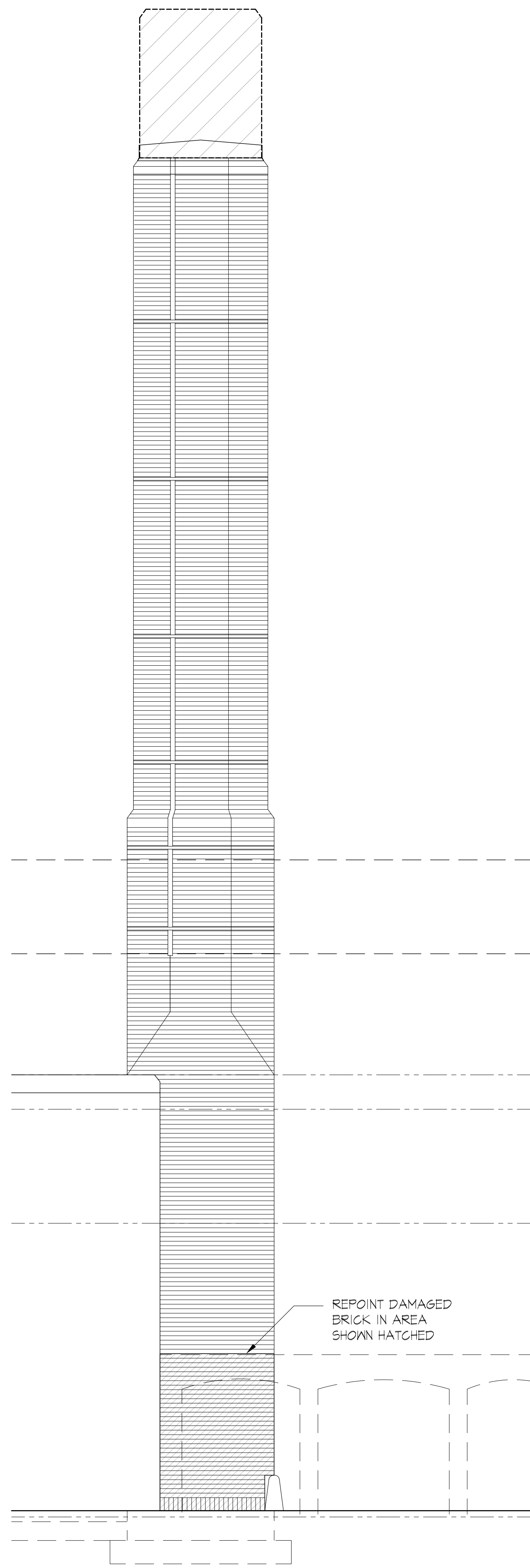


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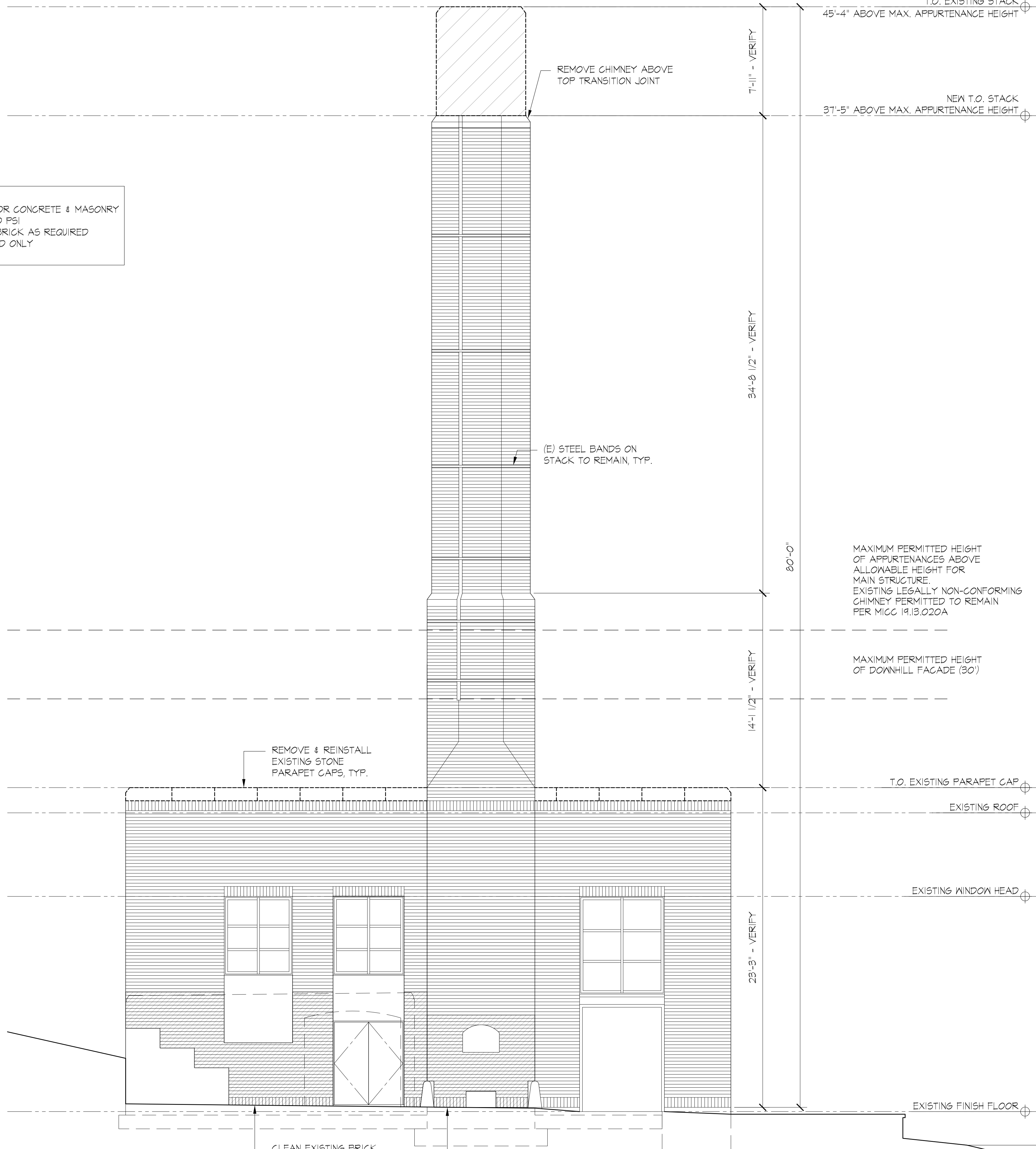
SELECTIVE
 DEMOLITION
 BUILDING
 ELEVATIONS

D4.2

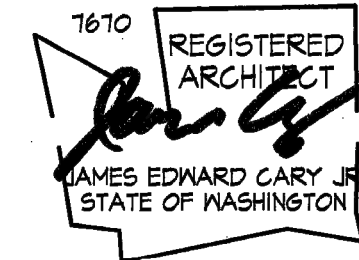


SELECTIVE DEMOLITION
SOUTH STACK ELEVATION ②
1/4" = 1'-0"

MASONRY NOTES:
 * CLEAN ALL EXTERIOR CONCRETE & MASONRY
 W/ HOT WATER @ 50 PSI
 * REPOINT EXISTING BRICK AS REQUIRED
 IN AREAS INDICATED ONLY



SELECTIVE DEMOLITION
SOUTH STACK ELEVATION ①
1/4" = 1'-0"



REVISIONS

NO.	DATE	DESCRIPTION

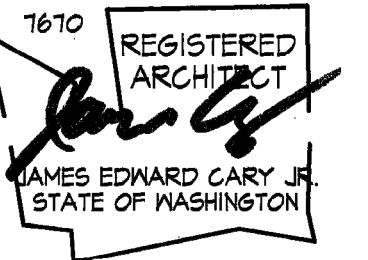
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CARDINAL
 ARCHITECTURE PC
 1326 5TH AVENUE #440
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SELECTIVE
 DEMOLITION
 STACK ELEVATIONS

D4.3



REVISIONS

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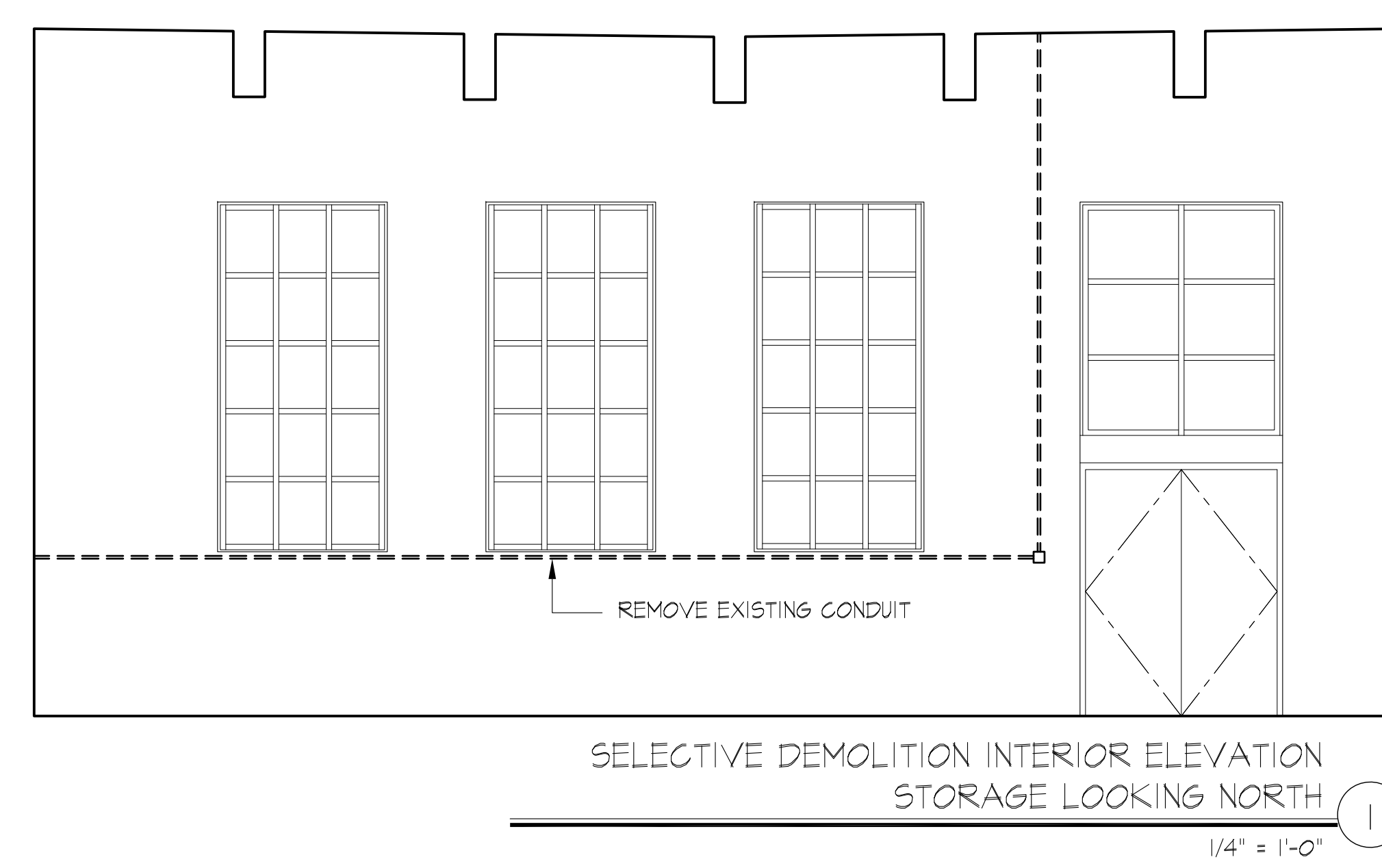
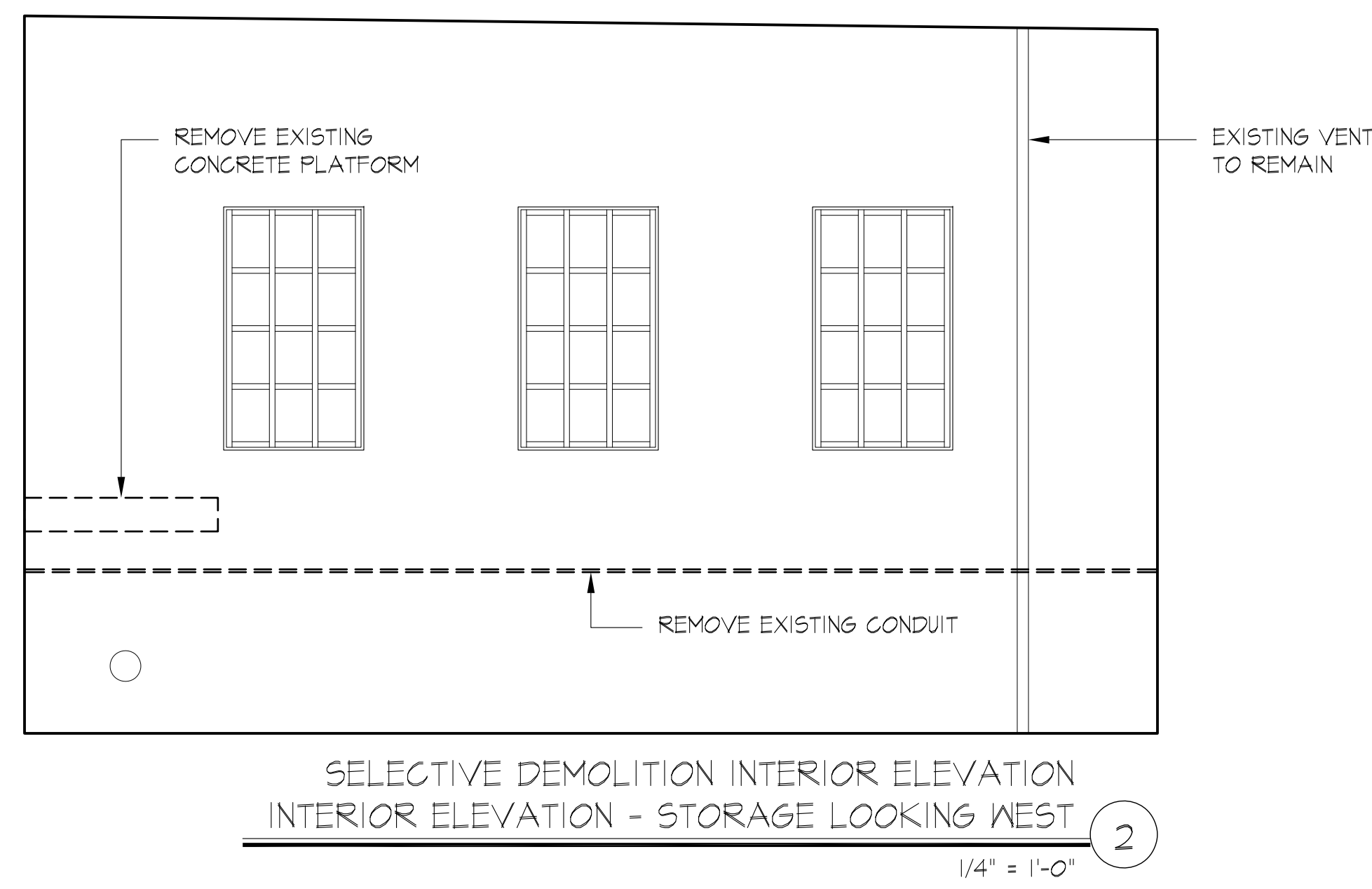
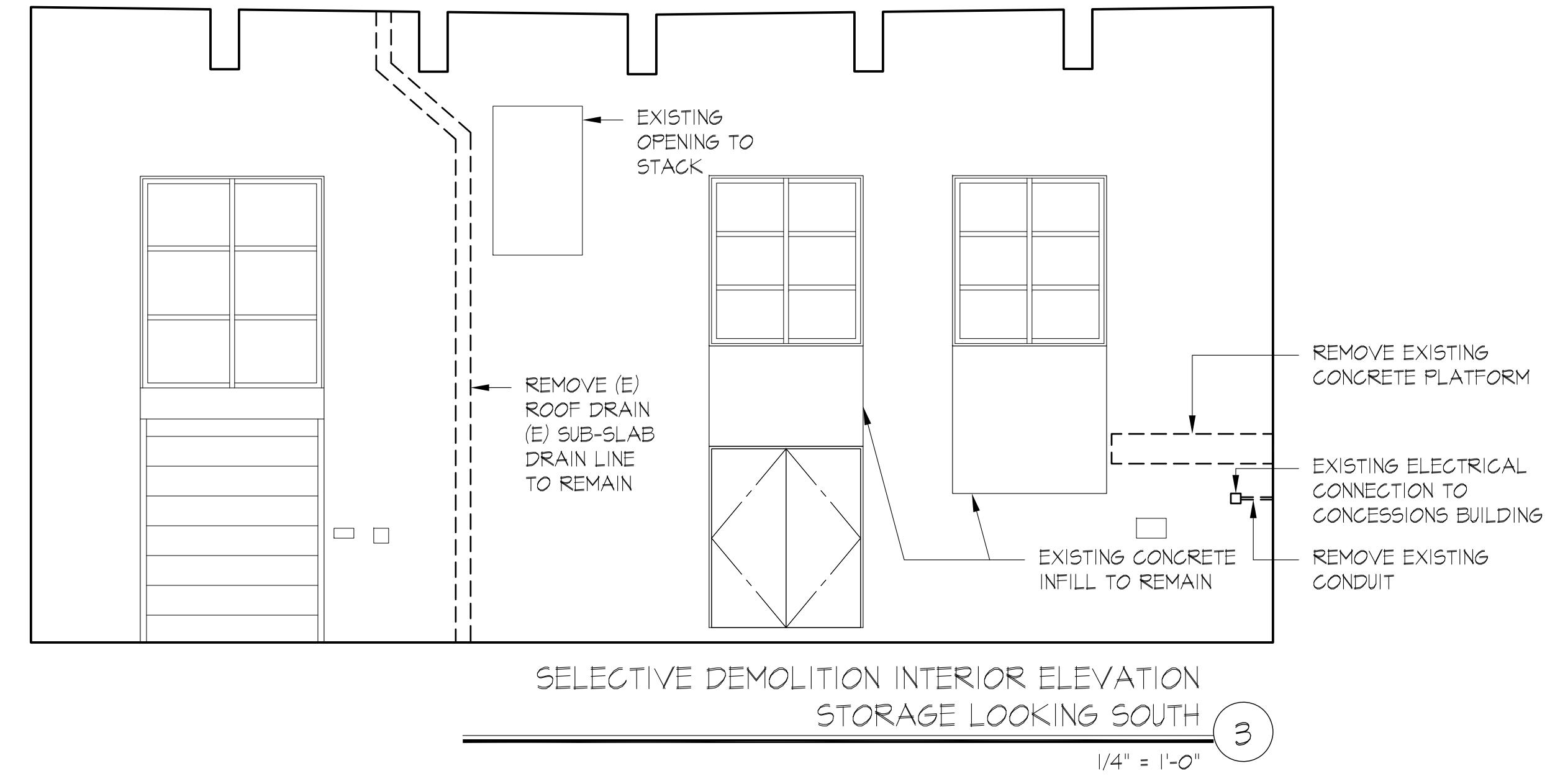
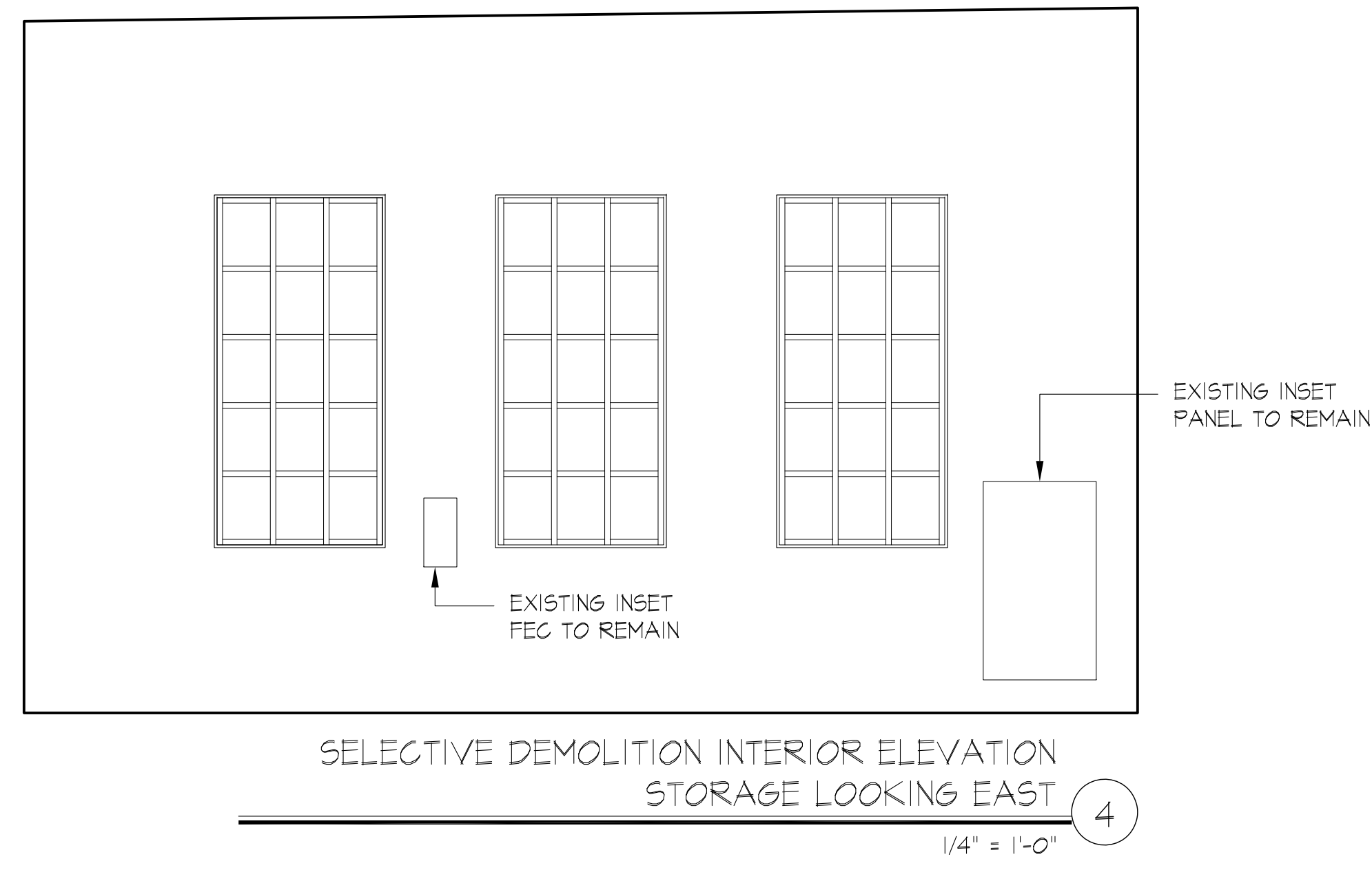


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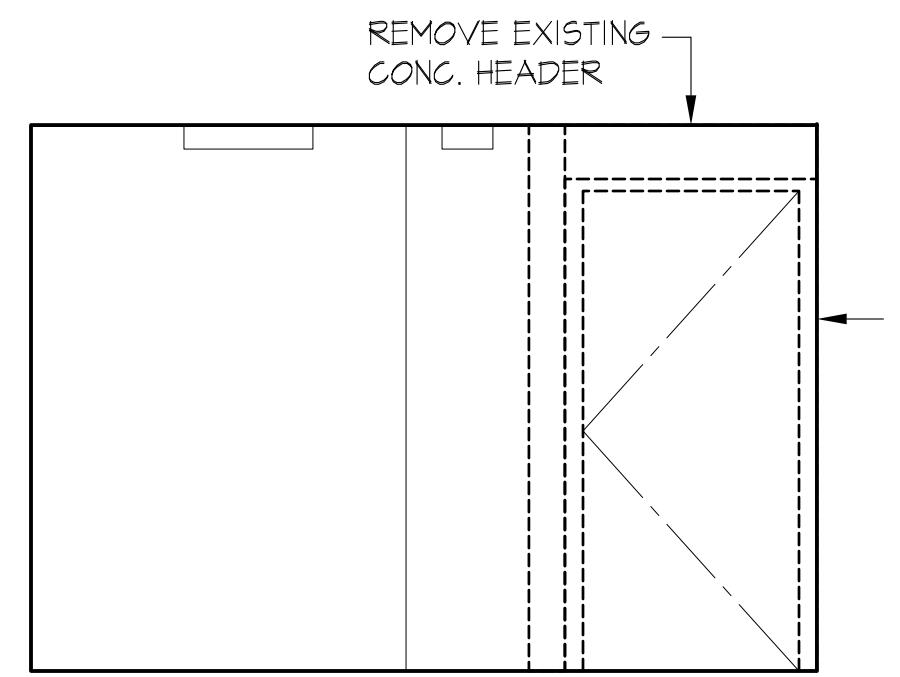
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SELECTIVE DEMOLITION
 INTERIOR ELEVATIONS

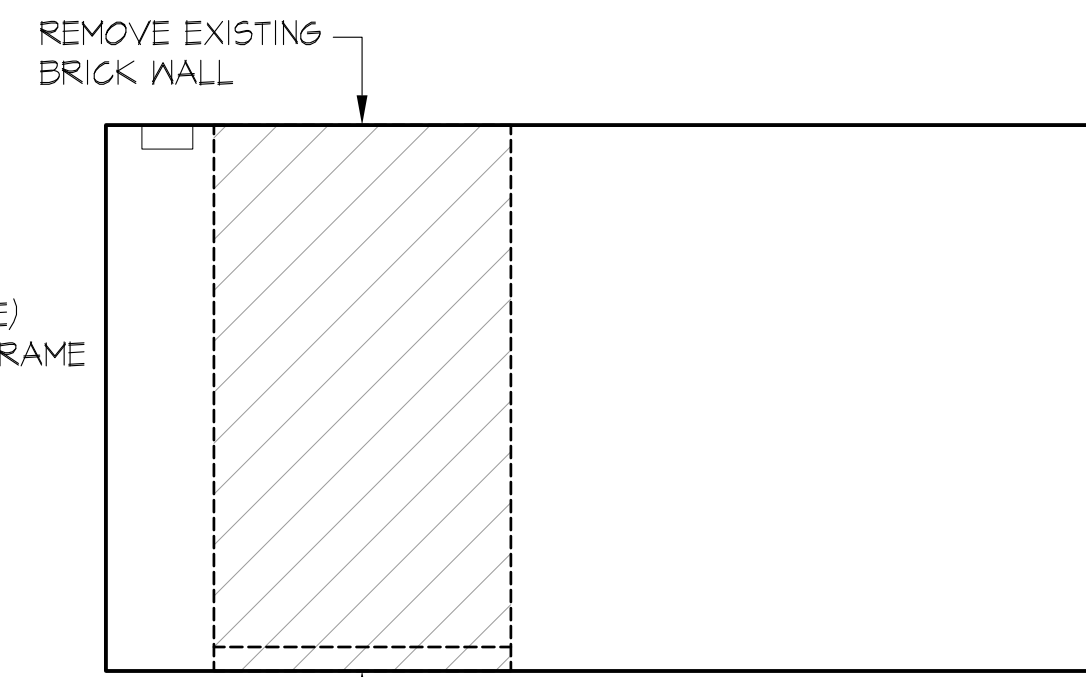
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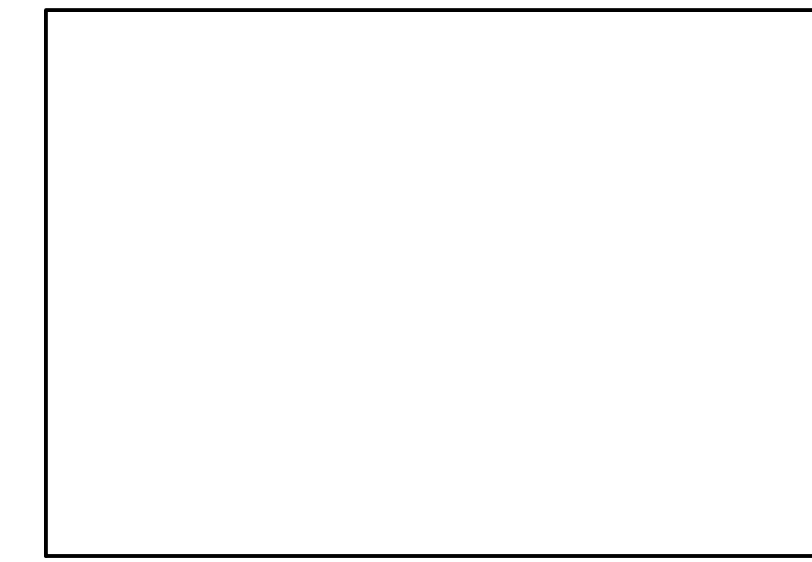
REVISIONS



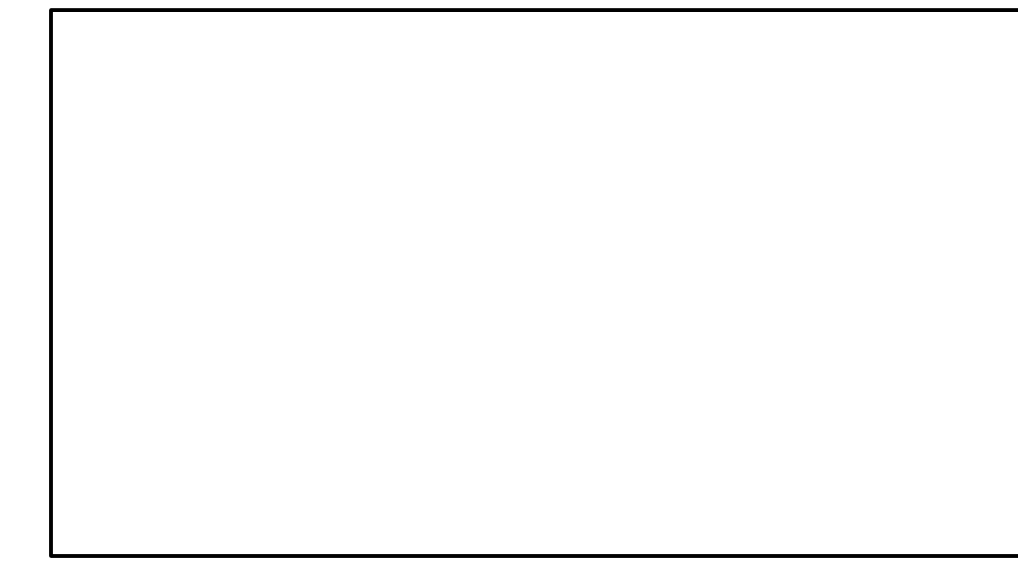
SELECTIVE DEMOLITION
 INTERIOR ELEVATION
 WOMEN'S TOILET LOOKING EAST
 3/8" = 1'-0" 12



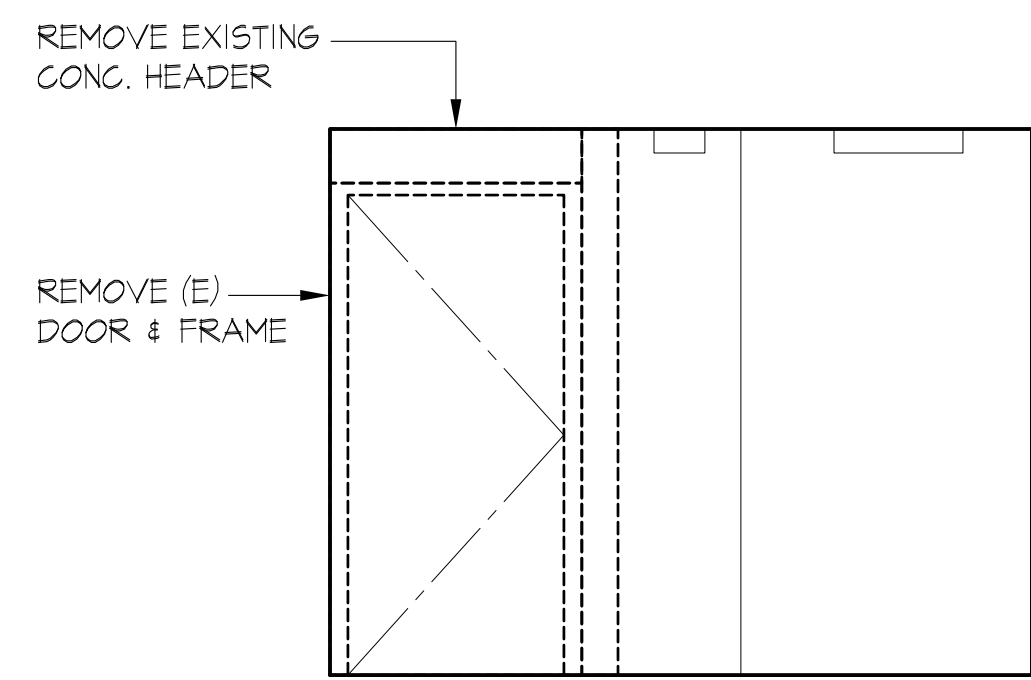
SELECTIVE DEMOLITION
 INTERIOR ELEVATION
 WOMEN'S TOILET LOOKING SOUTH
 3/8" = 1'-0" 11



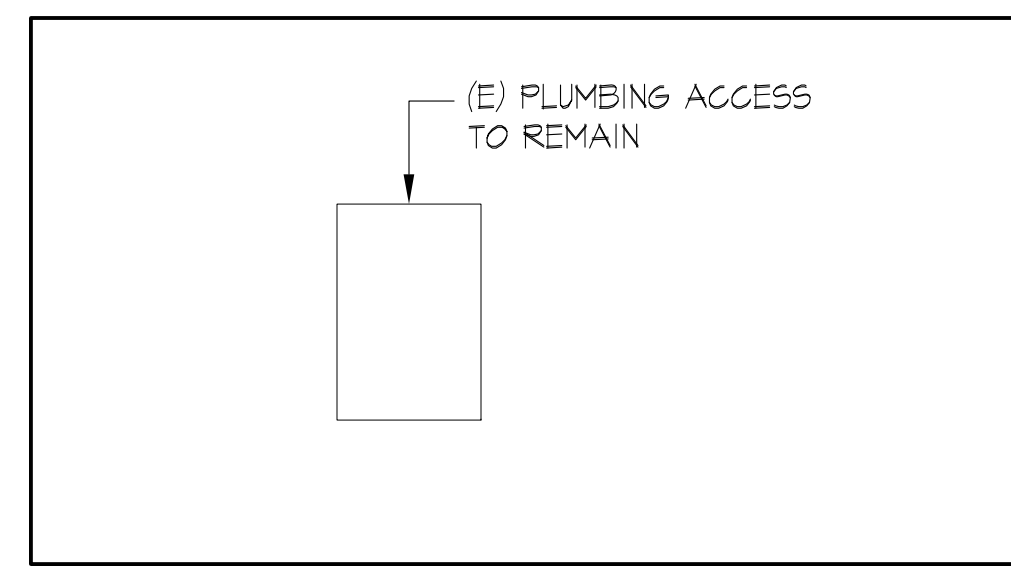
SELECTIVE DEMOLITION
 INTERIOR ELEVATION
 WOMEN'S TOILET LOOKING WEST
 3/8" = 1'-0" 10



SELECTIVE DEMOLITION
 INTERIOR ELEVATION
 WOMEN'S TOILET LOOKING NORTH
 3/8" = 1'-0" 9



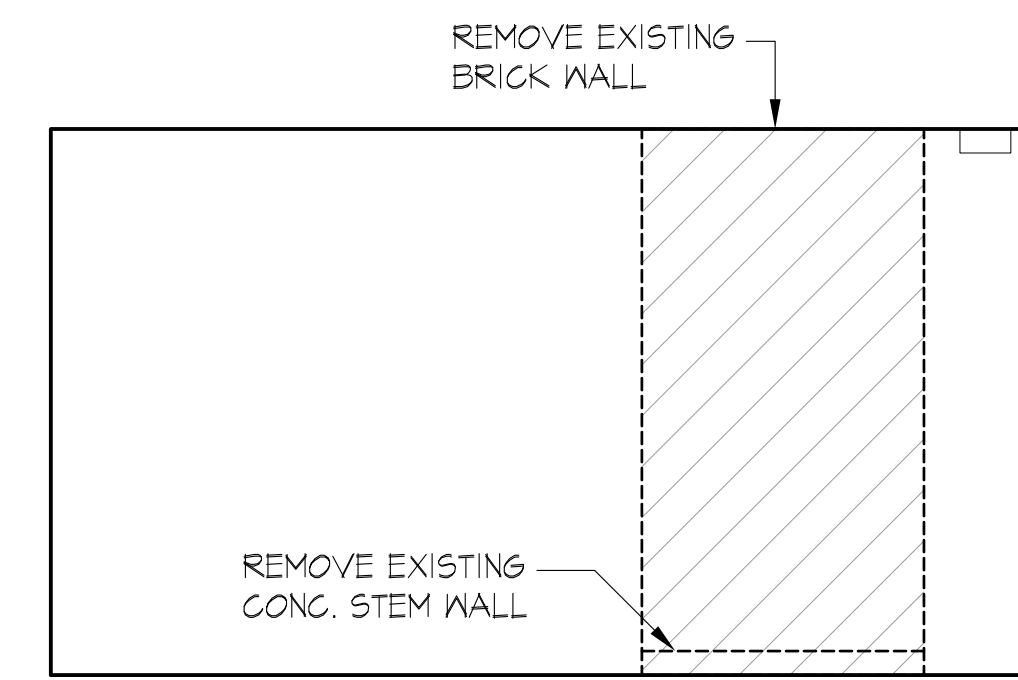
SELECTIVE DEMOLITION
 INTERIOR ELEVATION
 MEN'S TOILET LOOKING EAST
 3/8" = 1'-0" 8



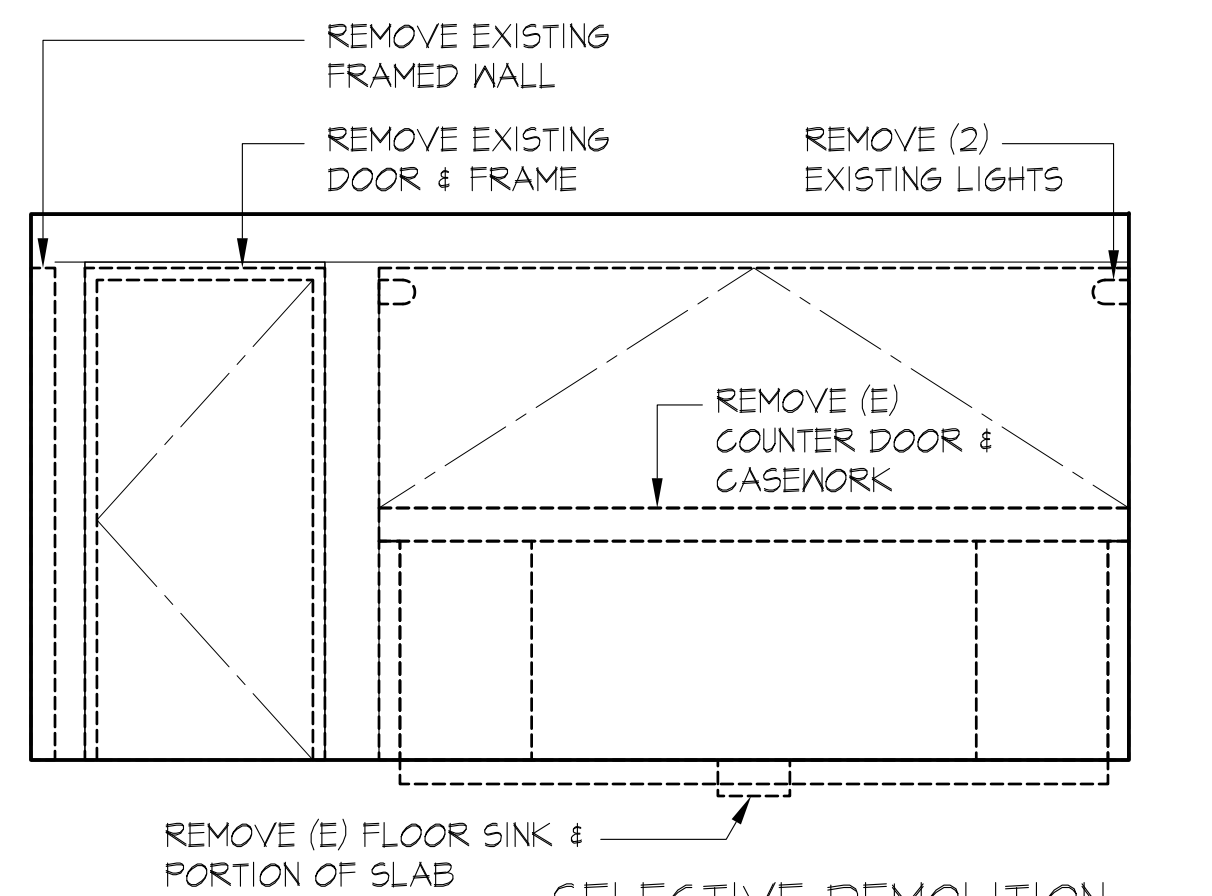
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 INTERIOR ELEVATION
 MEN'S TOILET LOOKING SOUTH
 3/8" = 1'-0" 7



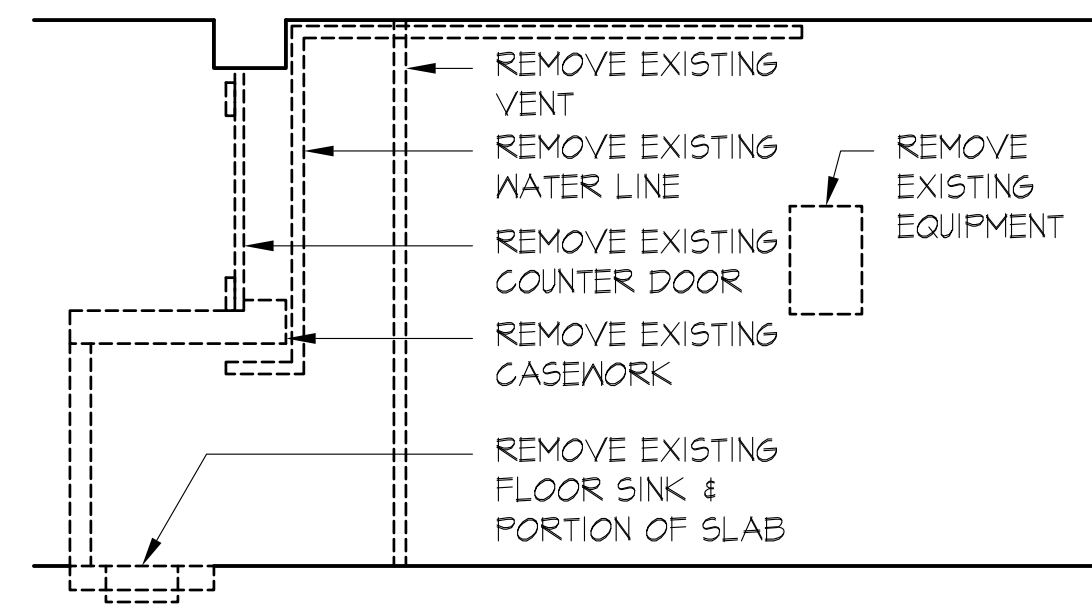
SELECTIVE DEMOLITION
 INTERIOR ELEVATION
 MEN'S TOILET LOOKING WEST
 3/8" = 1'-0" 6



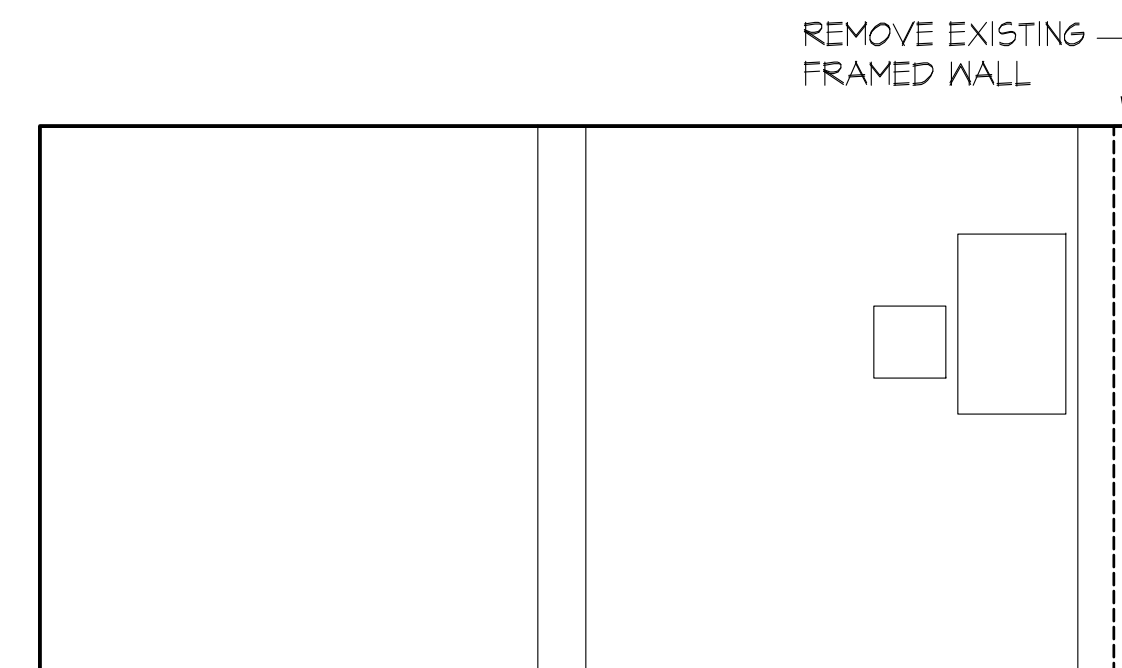
SELECTIVE DEMOLITION
 INTERIOR ELEVATION
 MEN'S TOILET LOOKING NORTH
 3/8" = 1'-0" 5



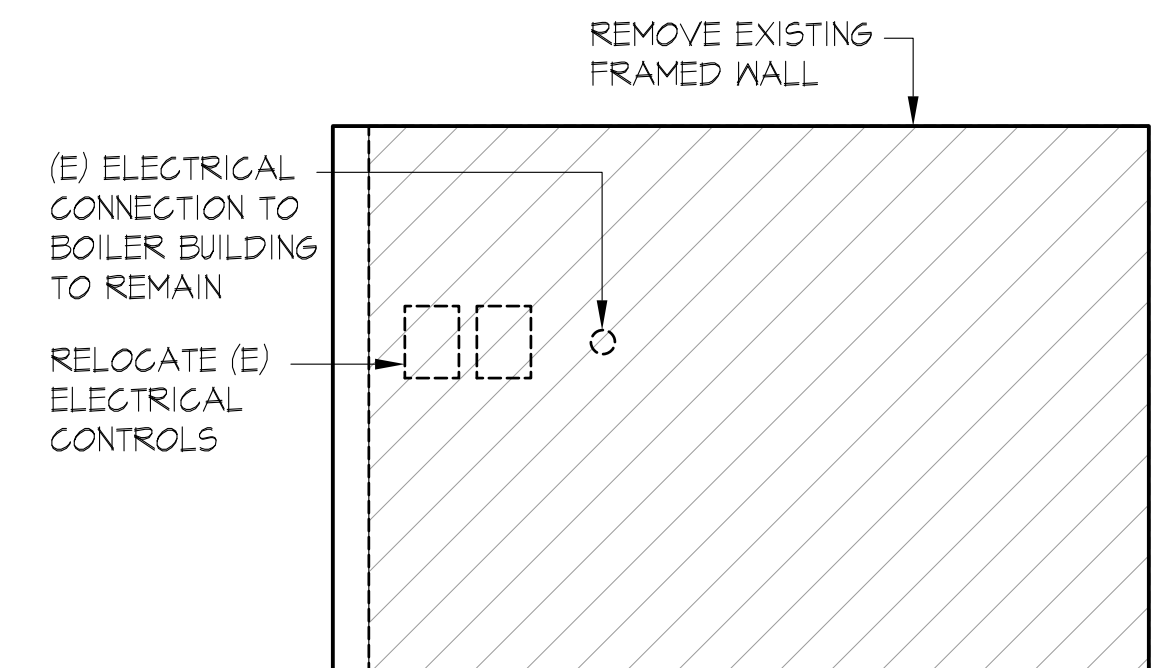
SELECTIVE DEMOLITION
 INTERIOR ELEVATION
 CONCESSIONS LOOKING EAST
 3/8" = 1'-0" 4



SELECTIVE DEMOLITION
 INTERIOR ELEVATION
 CONCESSIONS LOOKING SOUTH
 3/8" = 1'-0" 3



SELECTIVE DEMOLITION
 INTERIOR ELEVATION
 CONCESSIONS LOOKING WEST
 3/8" = 1'-0" 2



SELECTIVE DEMOLITION
 INTERIOR ELEVATION
 CONCESSIONS LOOKING NORTH
 3/8" = 1'-0" 1

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 BOILER BUILDING
 PHASE LBB1
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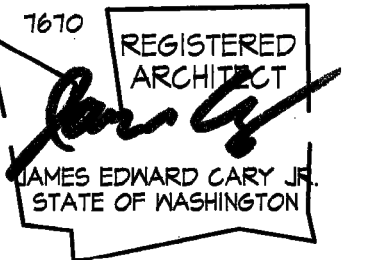
CARDINAL
 ARCHITECTURE PC

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SELECTIVE
 DEMOLITION
 INTERIOR
 ELEVATIONS

D6.2



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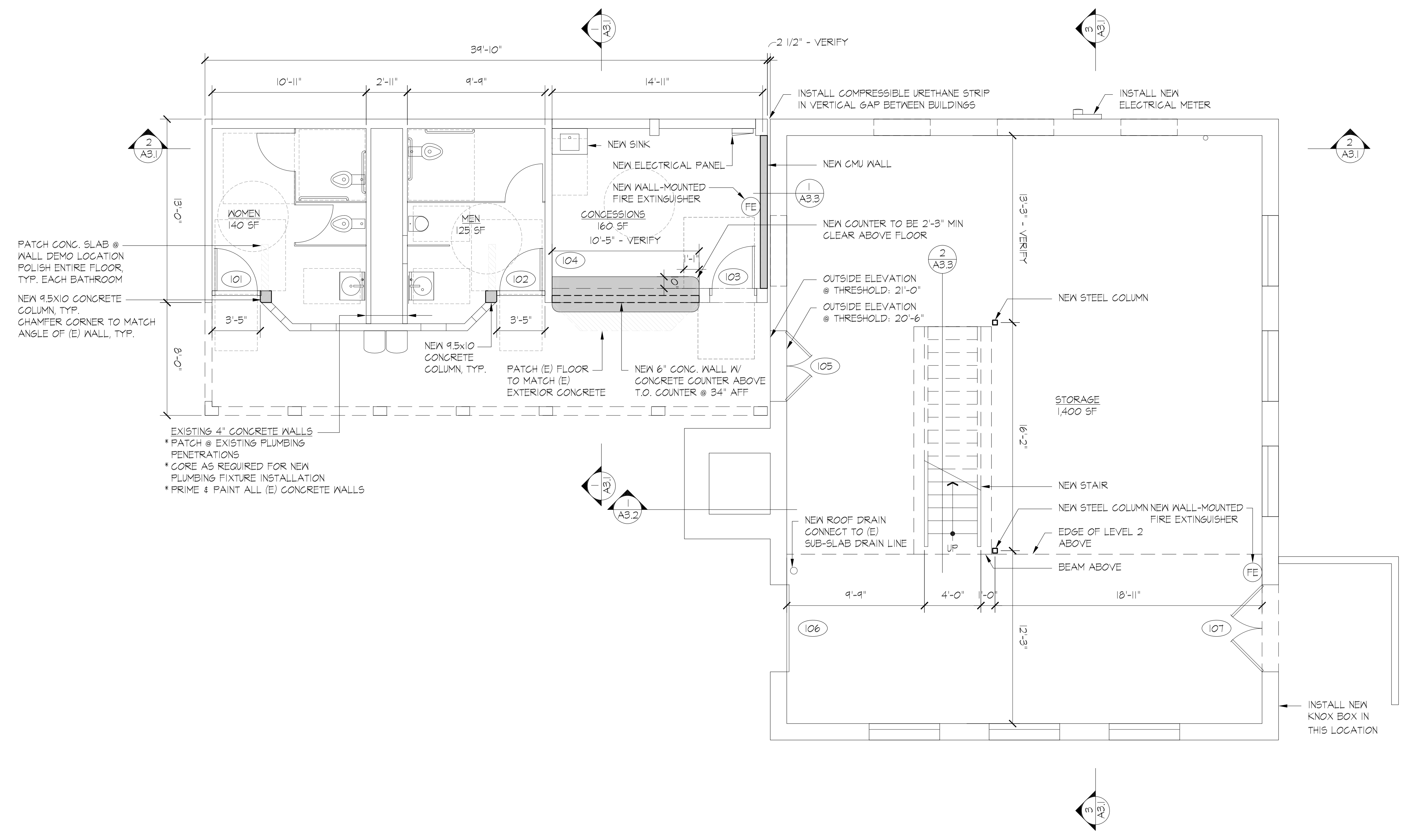
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FIRST FLOOR PLAN

A2.1

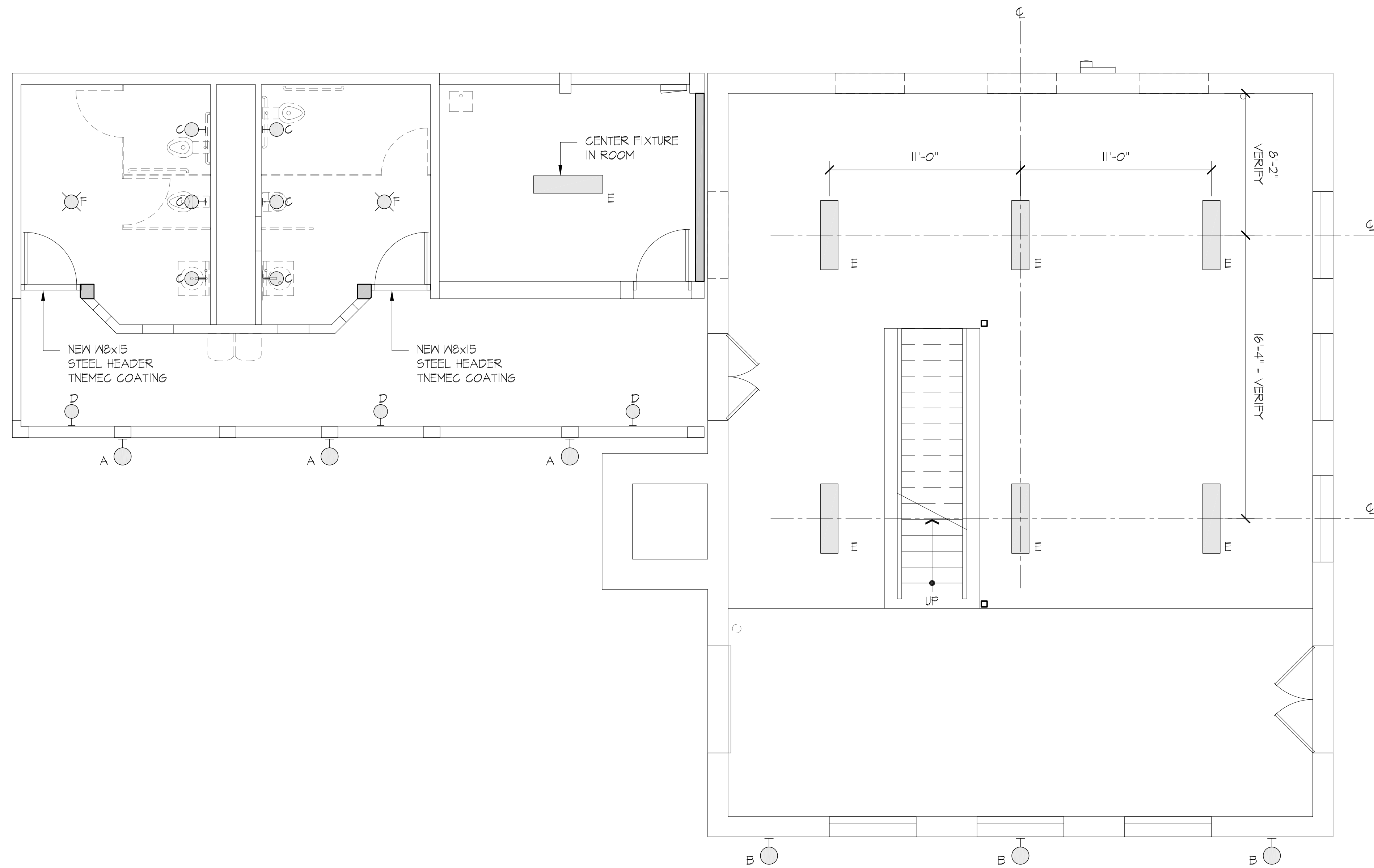
NOTE:
 * INSTALL (2) 2A FIRE EXTINGUISHERS IN LOCATIONS INDICATED BY 'FE'

CONCESSION NOTES:
 * ALL FOODS SOLD AT CONCESSIONS TO BE PREPACKAGED.
 * NO REHEATING OR COOKING TO OCCUR ON SITE. INSTALL SIGNS INDICATING "COOKING PROHIBITED" IN CONCESSIONS SPACE.
 * ICC A117.1, SECTION 306 (KNEE & TOE CLEARANCES) COUNTER PERMITTED TO PROJECT UP TO 25" INTO REQUIRED CLEARANCES WHEN MIN 2" CLEARANCE IN PROVIDED BELOW COUNTER.
 * APPLIANCES AND FURNITURE IN CONCESSIONS TO BE INSTALLED TO MAINTAIN REQUIRED CLEARANCES AT DOOR, SINK & TURNING CIRCLE AS SHOWN

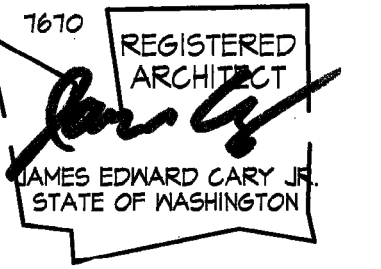


FLOOR PLAN 1
 1/4" = 1'-0" N

LIGHTING SCHEDULE					
#	TYPE	PRODUCT	FINISH	COLOR TEMPERATURE	NOTES
A	TROY RLM HEAVY DUTY ALUMINUM SHADE	TROY RH16LED122TBB-C-C6	BLACK	2700K	SMALL LOOP ARM MOUNT (36L23BB-C), CLEAR GLASS ENCLOSURE INSTALL IN (E) LOCATIONS INSTALL LEVEL 2 LOCATIONS W/ B.O. SHADE 1'-0" ABOVE WINDOW HEAD
B	WE-EF SURFACE MOUNTED LUMINAIRES	WE-EF RLS410 LED 131-9604	BLACK	2700K	MOUNT @ 32" ABOVE GRADE
C	ALCON 2' LINEAR FIXTURE	ALCON ALYA LED 11122-2	BLACK	3000K	
D	WALL PACK LED LIGHT FIXTURE	LITHONIA WPX1 LED P1	BLACK	3000K	INSTALL IN (E) LOCATIONS
E	4' SURFACE-MOUNTED LED FIXTURE	LITHONIA BLAP4 LP830	STANDARD WHITE	3000K	
F	12" Ø SURFACE-MOUNTED LED FIXTURE	ALCON DISK LED 11170-12	BLACK	3000K	INSTALL W/ COLOR TEMPERATURE SWITCH AT 3000K



FIRST FLOOR REFLECTED CEILING PLAN 1/4" = 1'-0" N



REVISIONS

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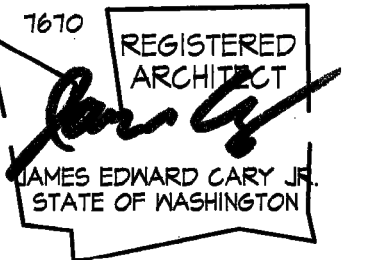


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FIRST FLOOR
REFLECTED
CEILING PLAN

A2.11



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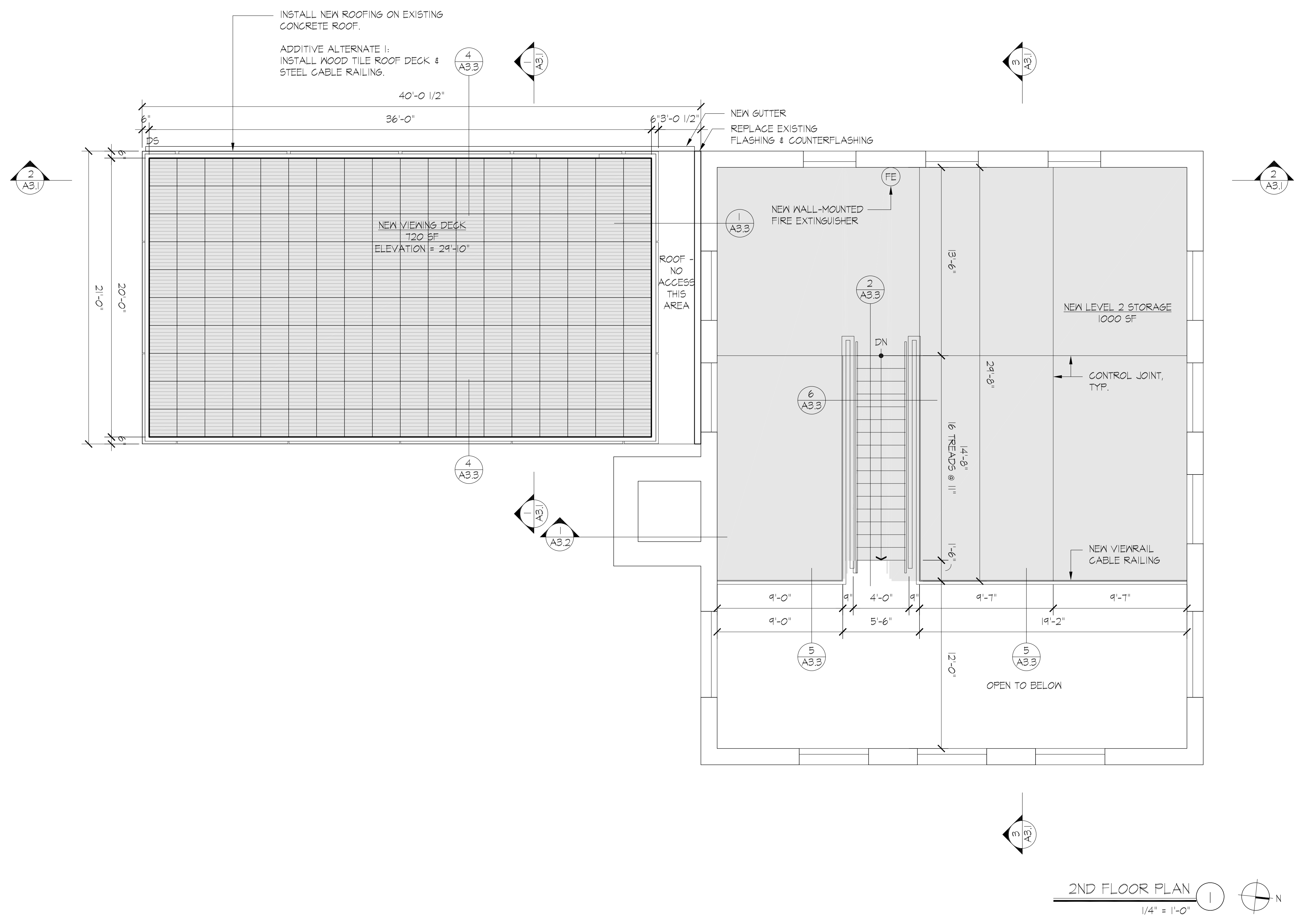


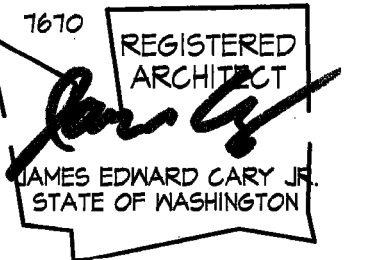
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2ND FLOOR PLAN

A2.2





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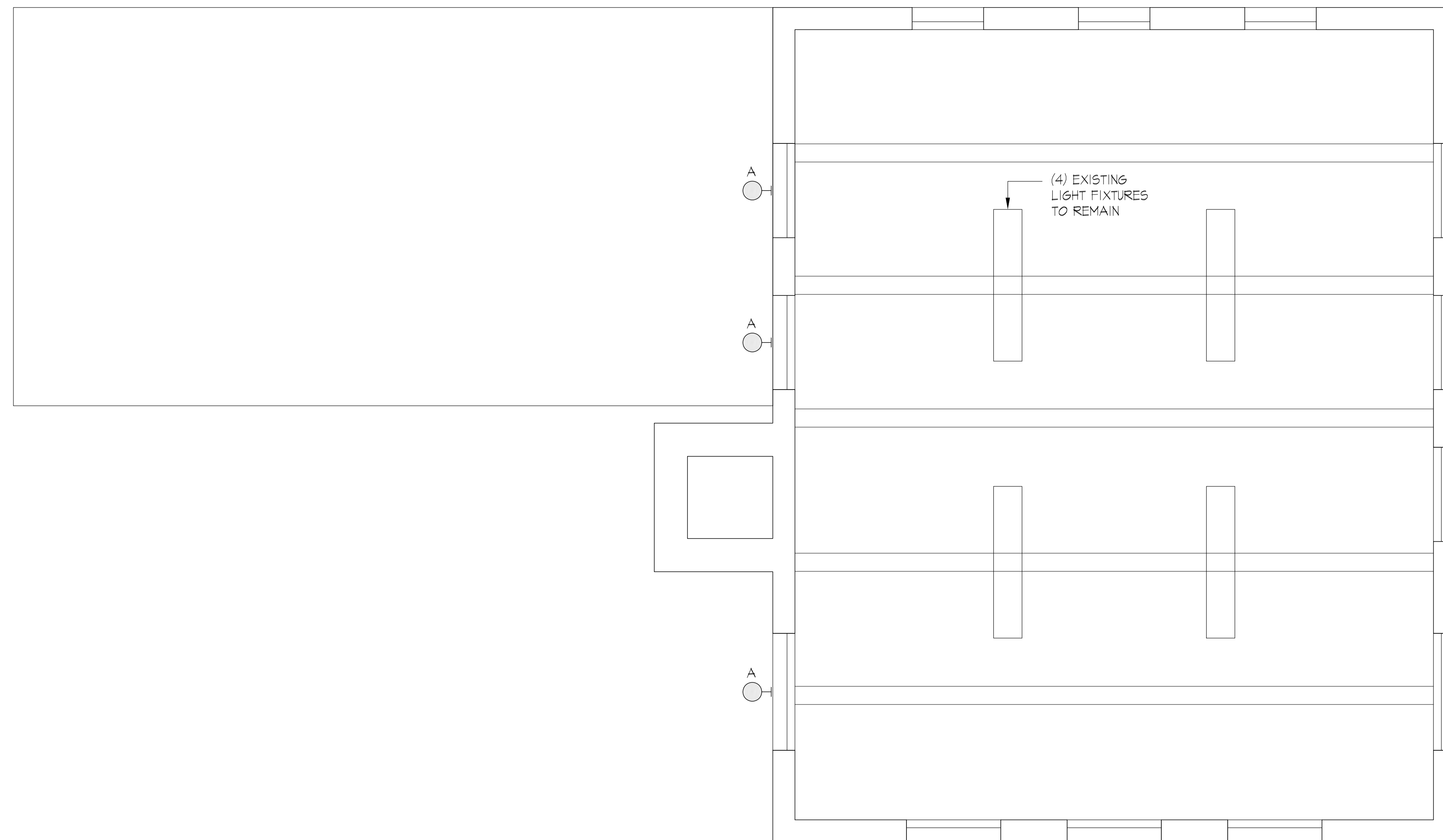


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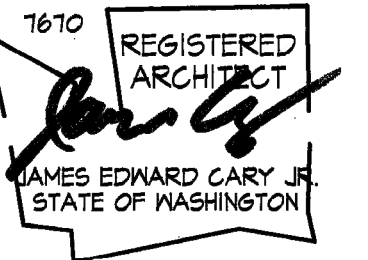
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2ND FLOOR
REFLECTED
CEILING PLAN

A2.21



SECOND FLOOR REFLECTED CEILING PLAN 1
1/4" = 1'-0" 



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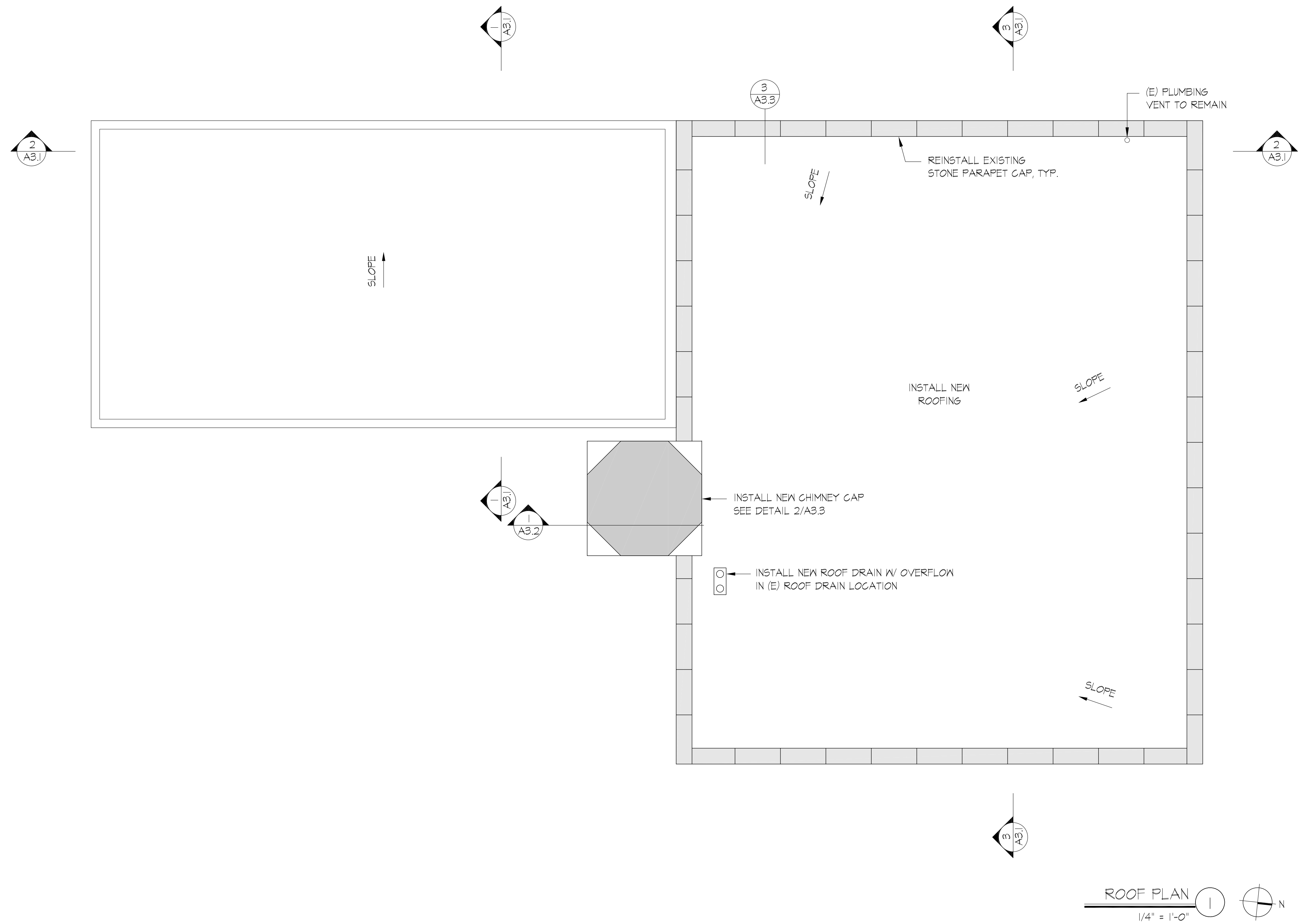


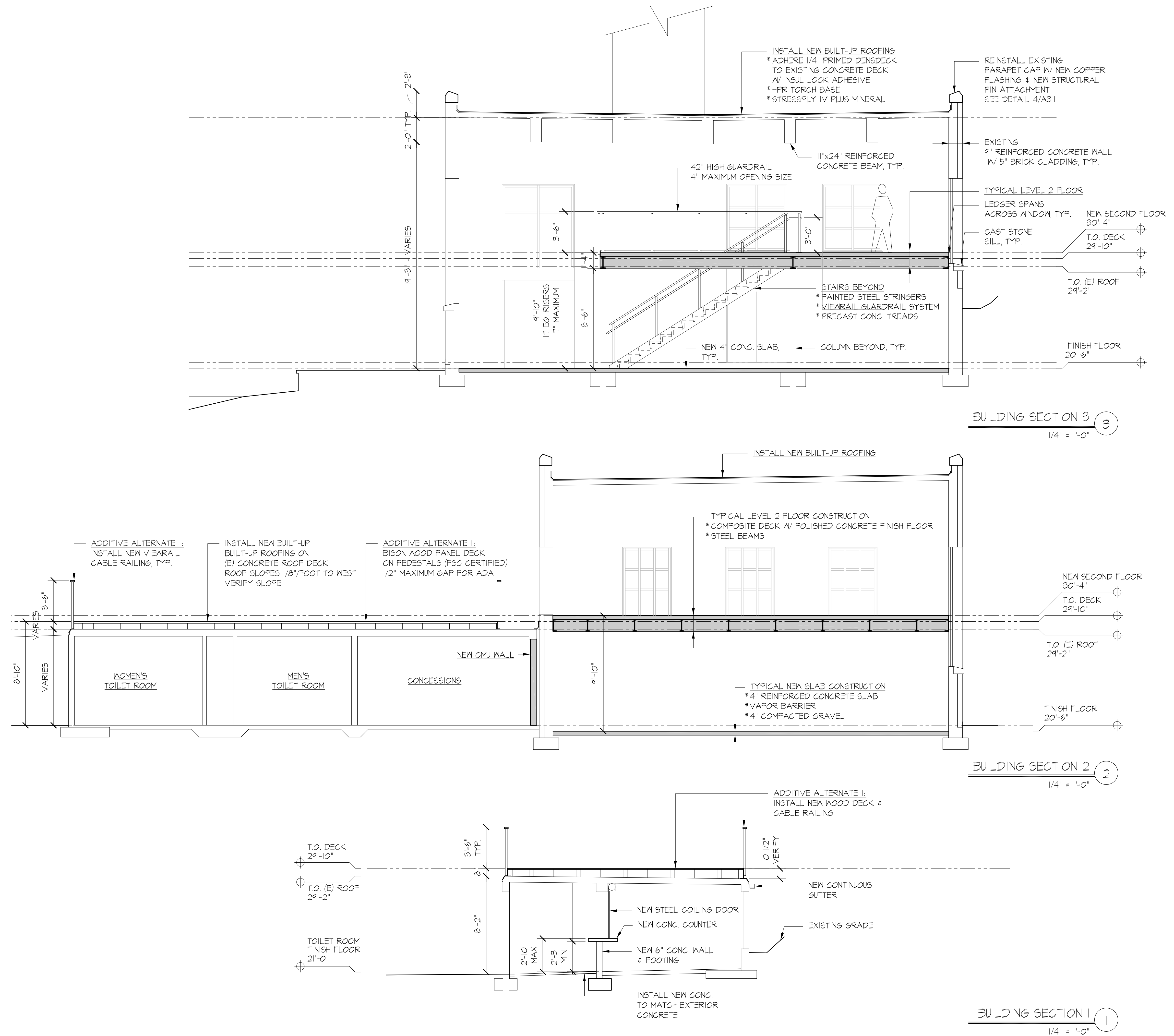
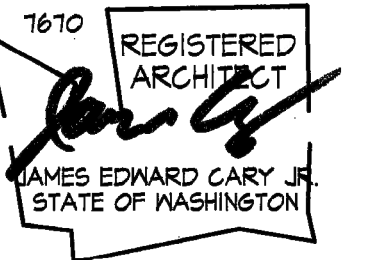
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ROOF PLAN

A2.3





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CARDINAL
ARCHITECTURE PC

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BUILDING SECTIONS

A3.1

REVISIONS

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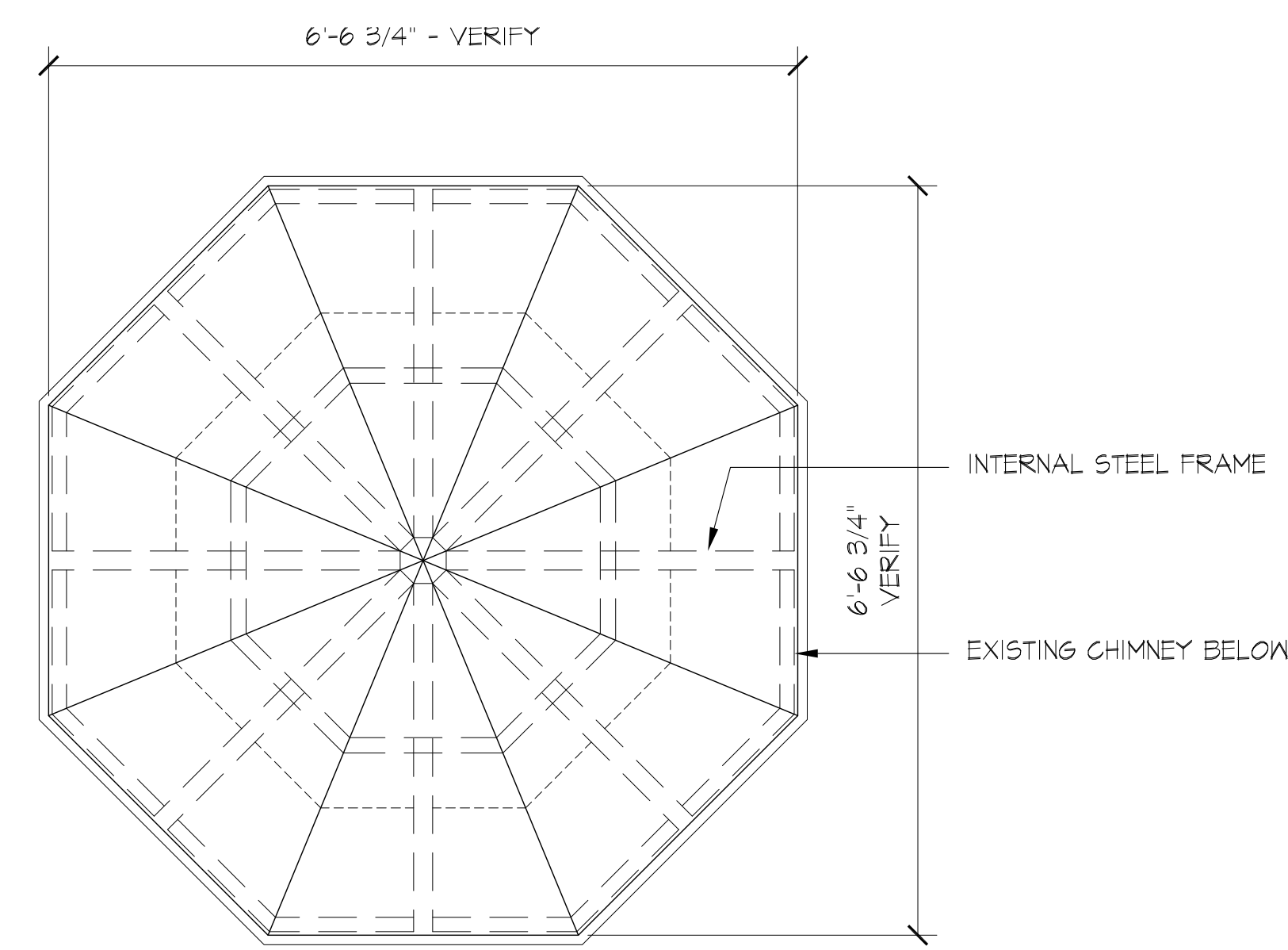
CARDINAL
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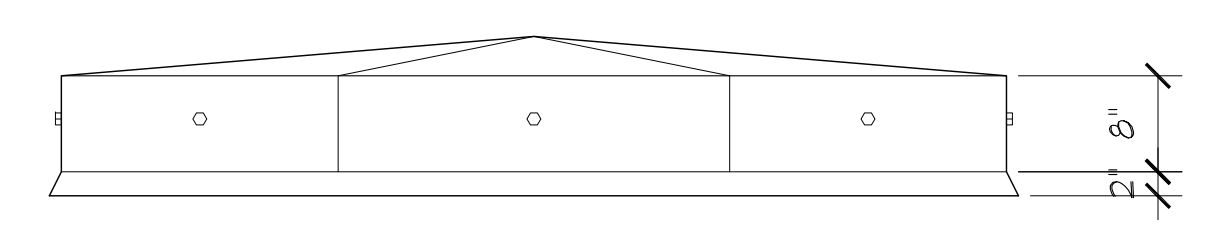
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STACK SECTION &
 DETAILS

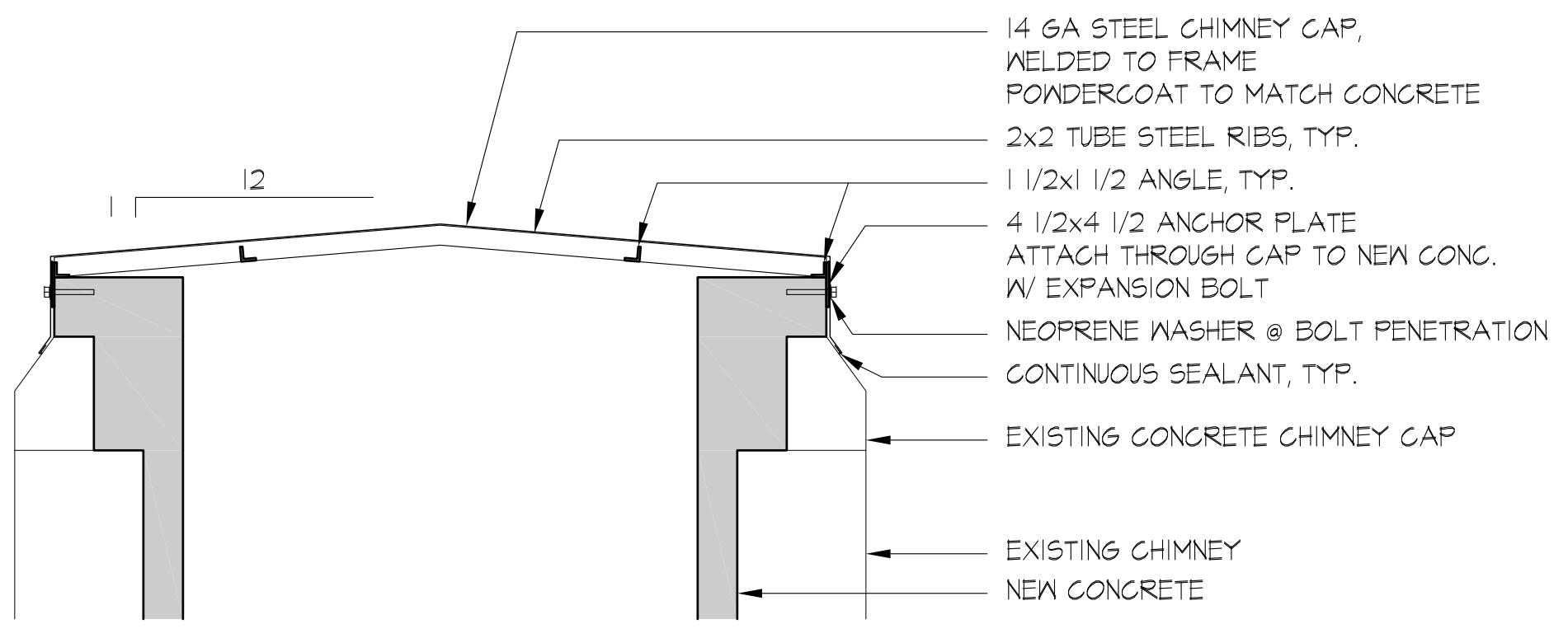
A3.2



PLAN

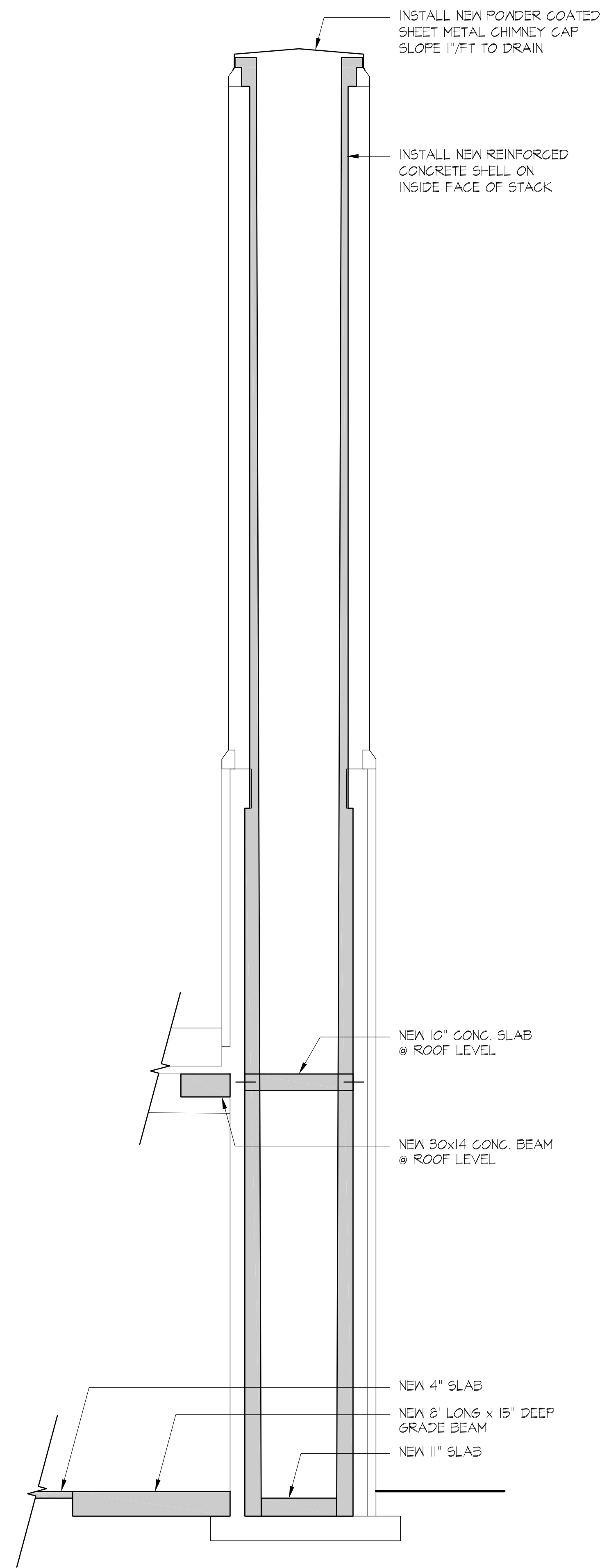


ELEVATION

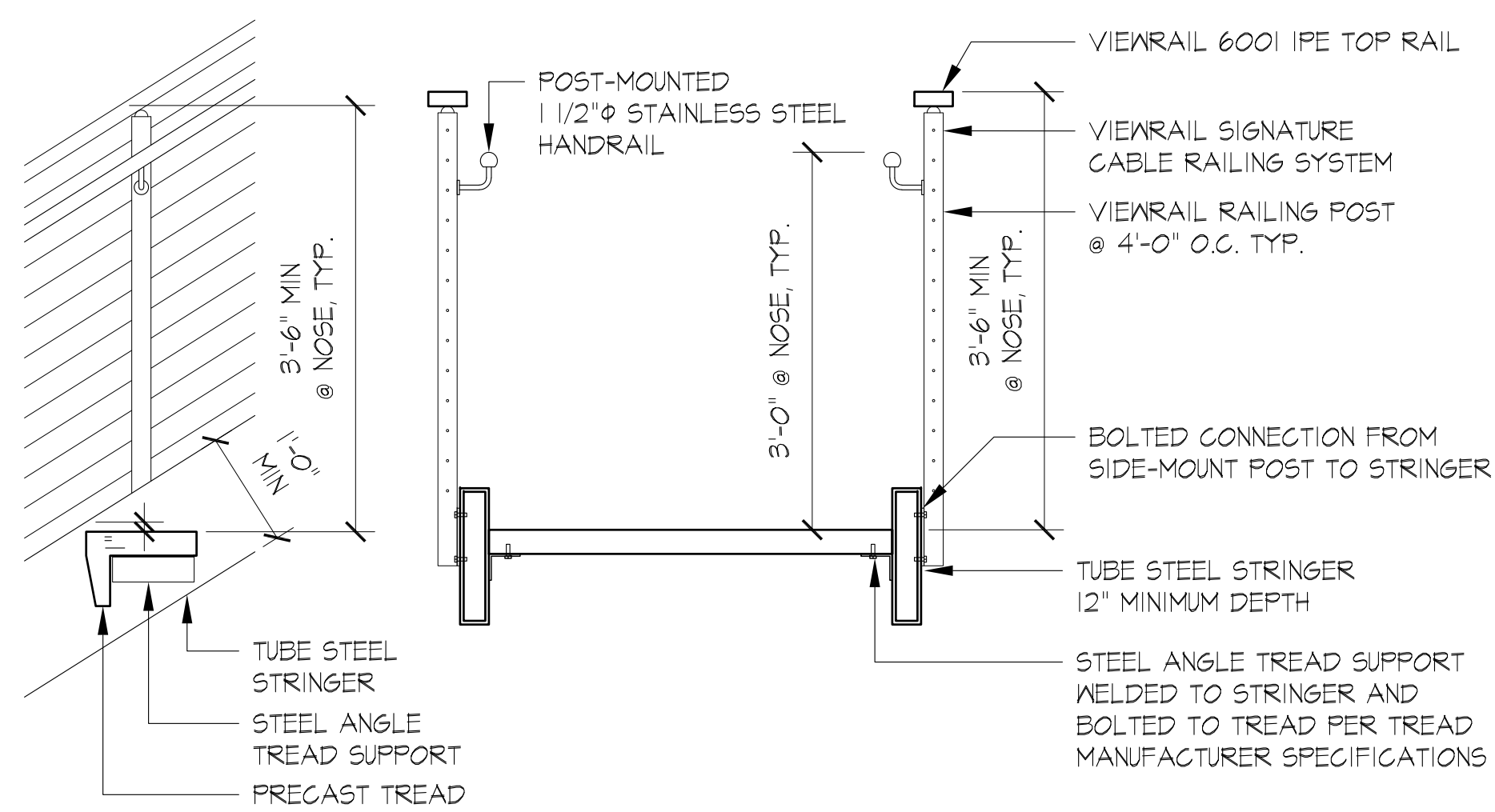


SECTION

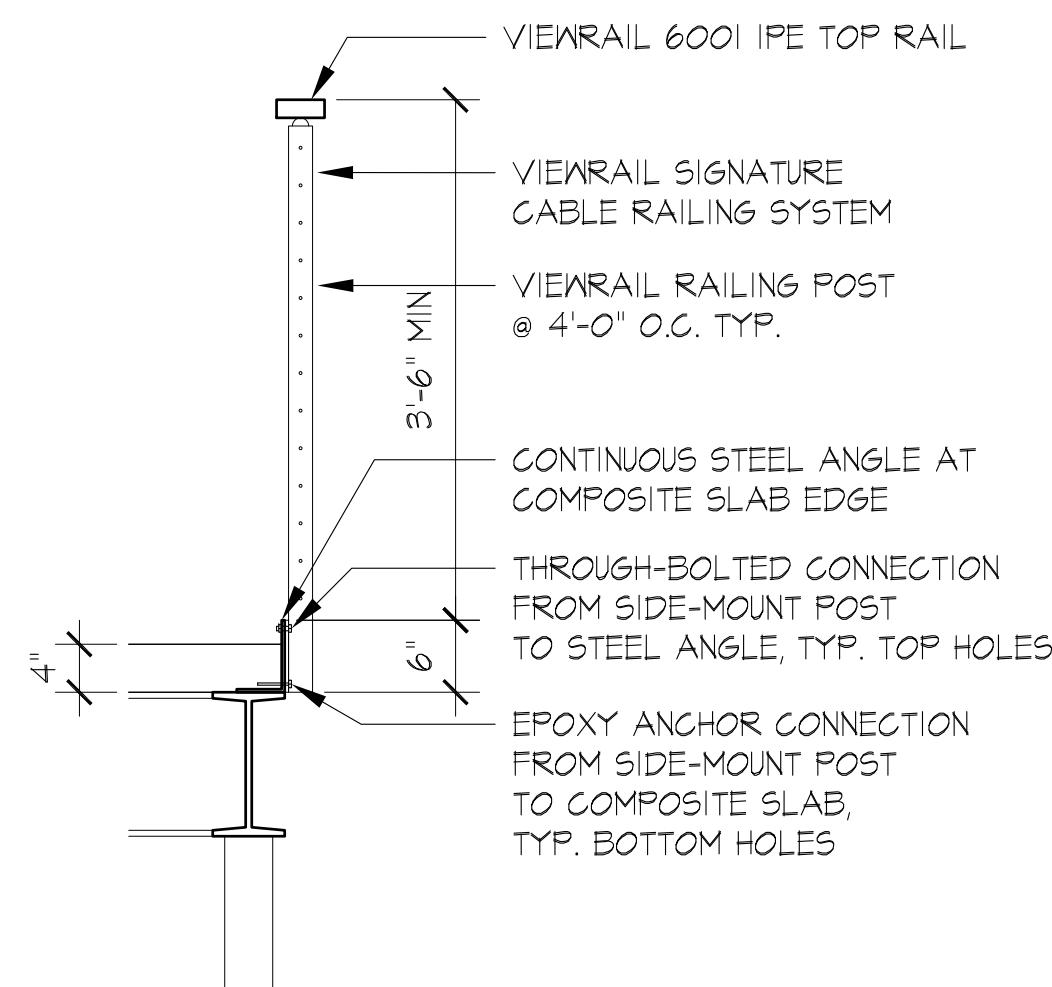
CHIMNEY CAP DETAILS 2
 3/4" = 1'-0"



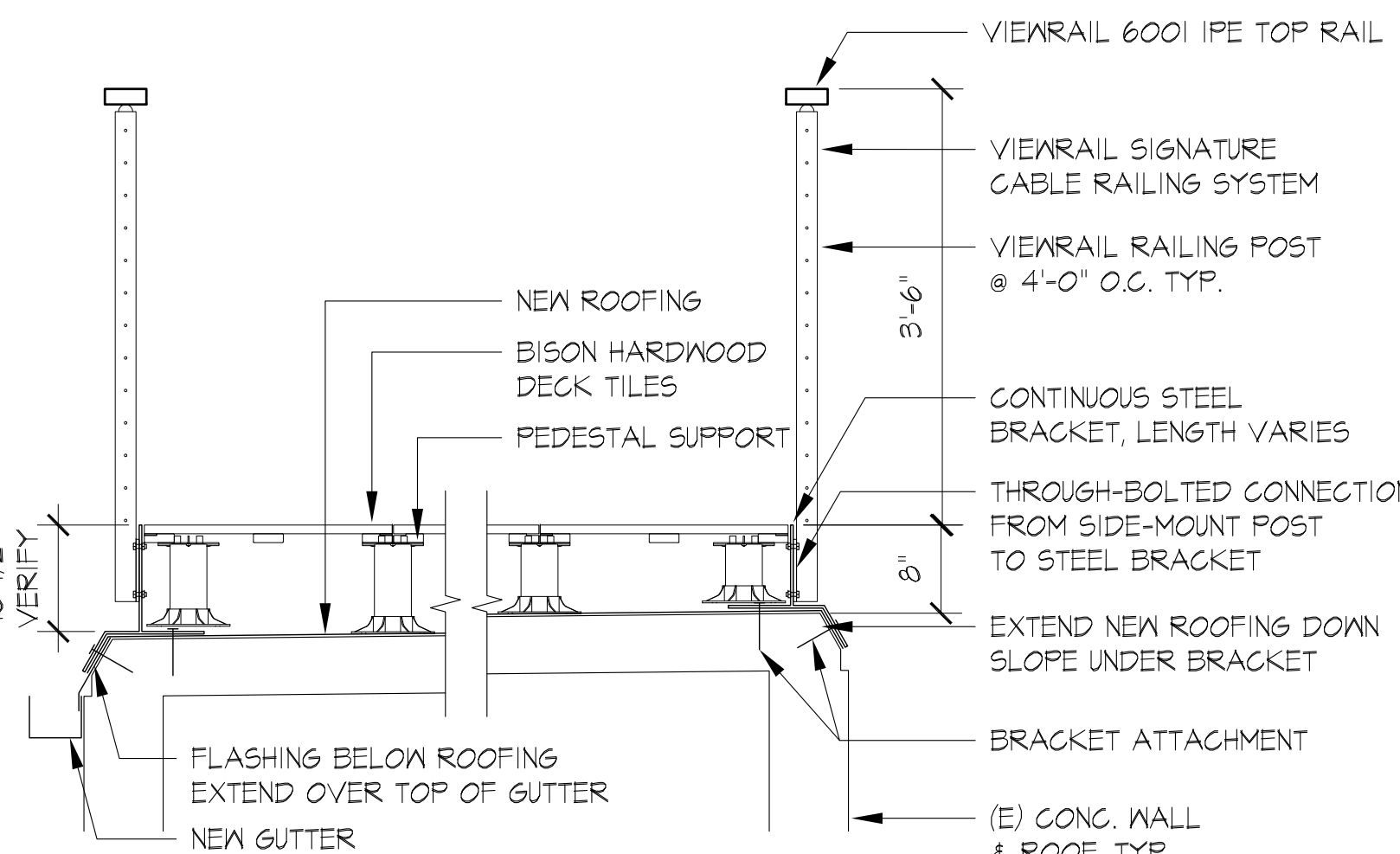
SECTION THROUGH STACK 1
 1/4" = 1'-0"



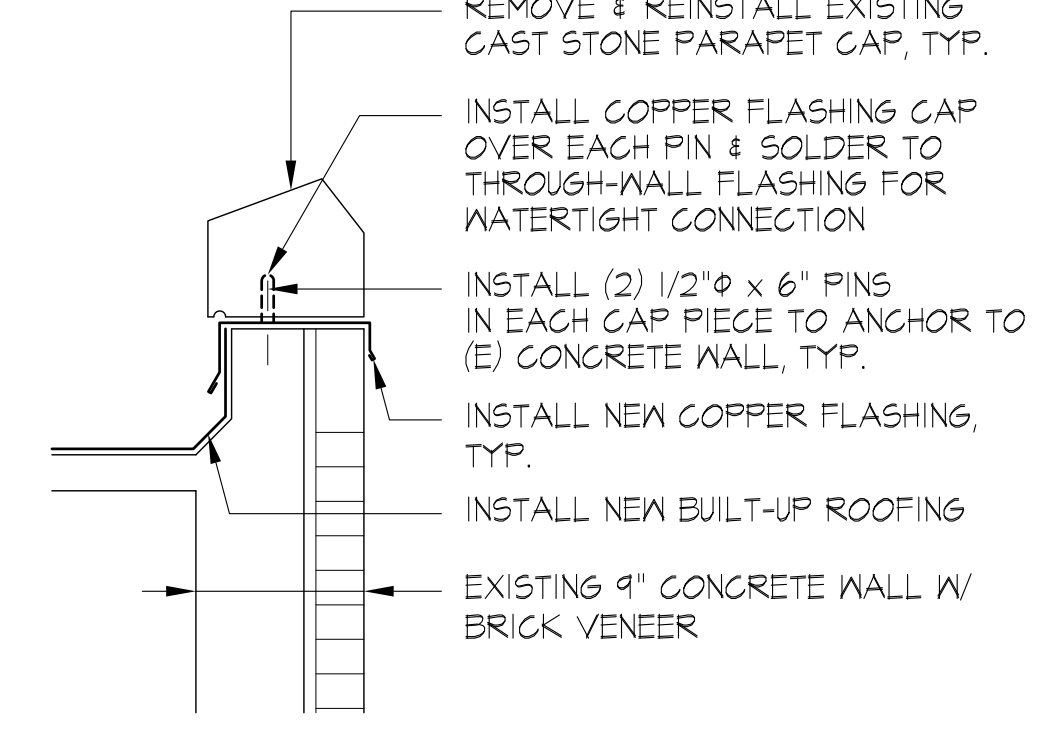
DETAILS @ STAIR RAILING 6
3/4" = 1'-0"



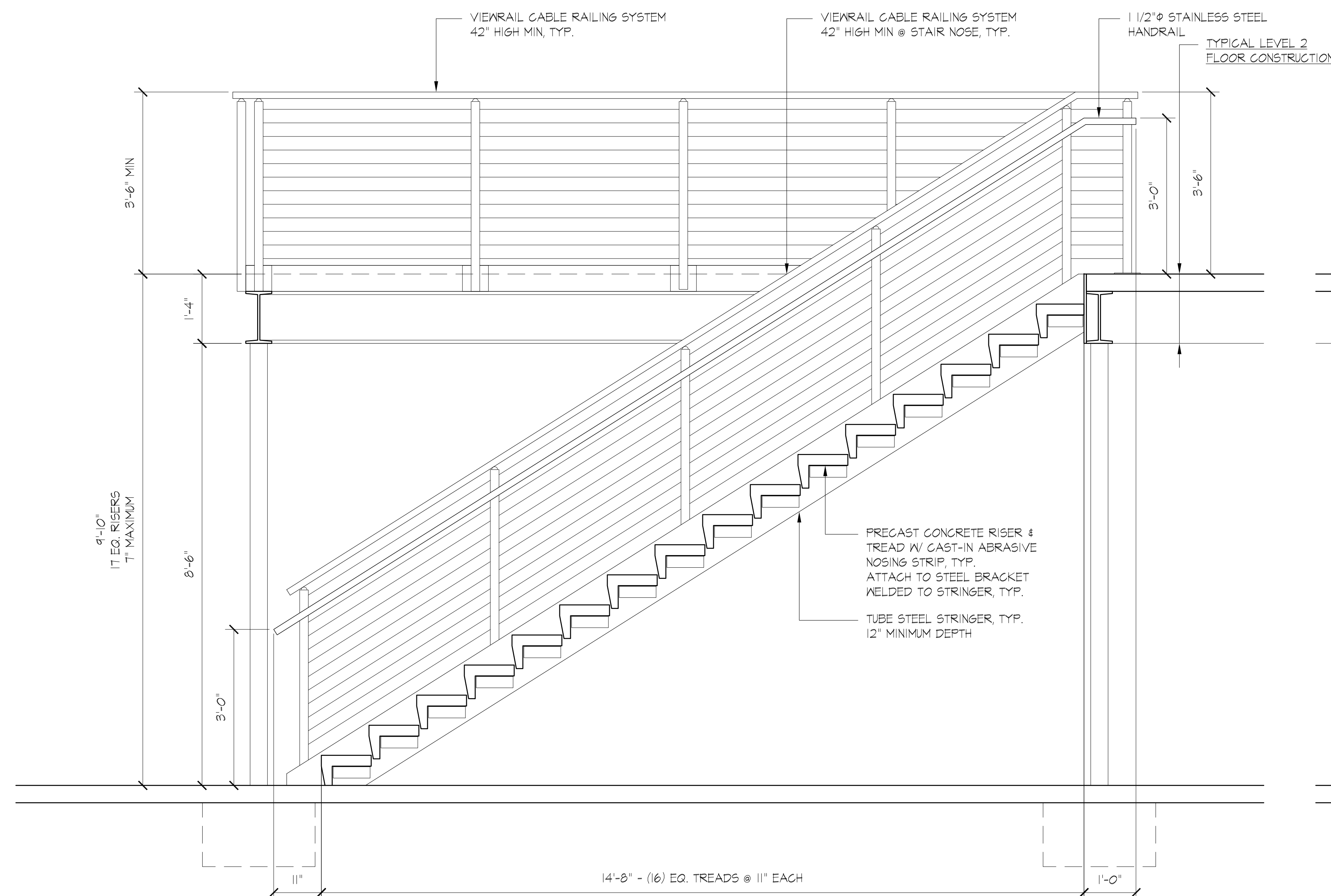
DETAIL @ MEZZANINE RAILING 5
3/4" = 1'-0"



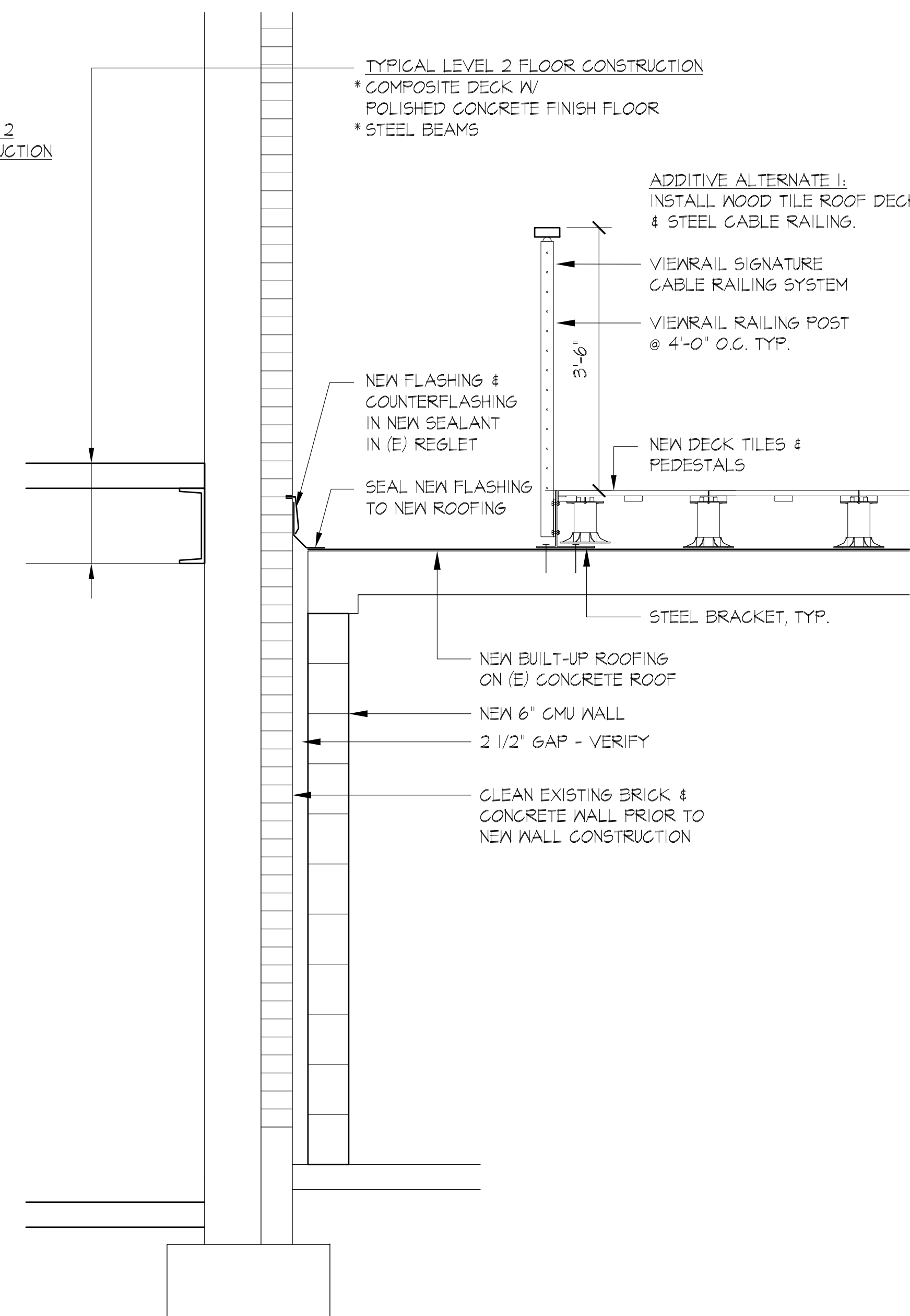
ADDITIVE ALTERNATE 1: DETAIL @ DECK RAILING 4
3/4" = 1'-0"



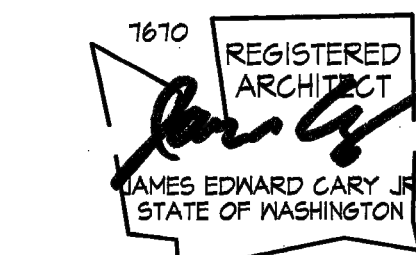
DETAIL @ PARAPET CAP 3
3/4" = 1'-0"



SECTION @ STAIRS 2
3/4" = 1'-0"



SECTION @ NEW CMU WALL 1
3/4" = 1'-0"



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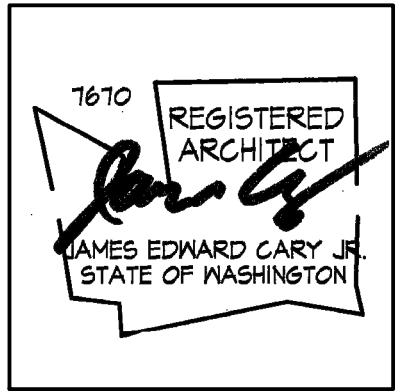


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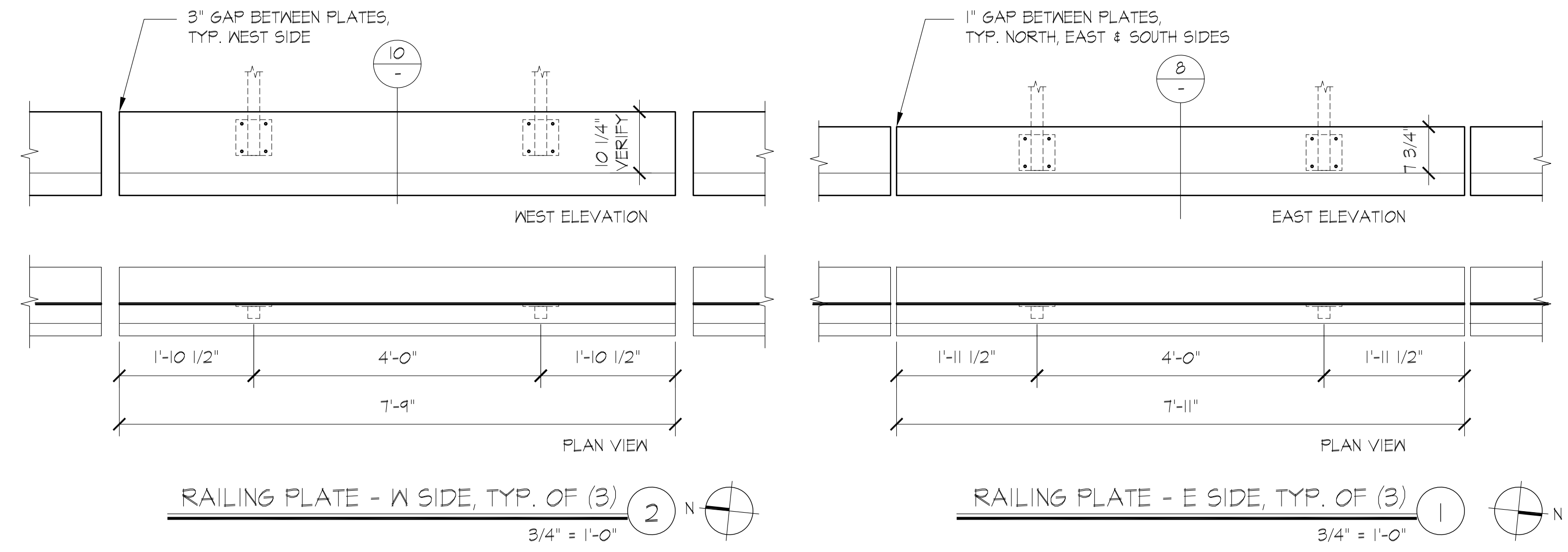
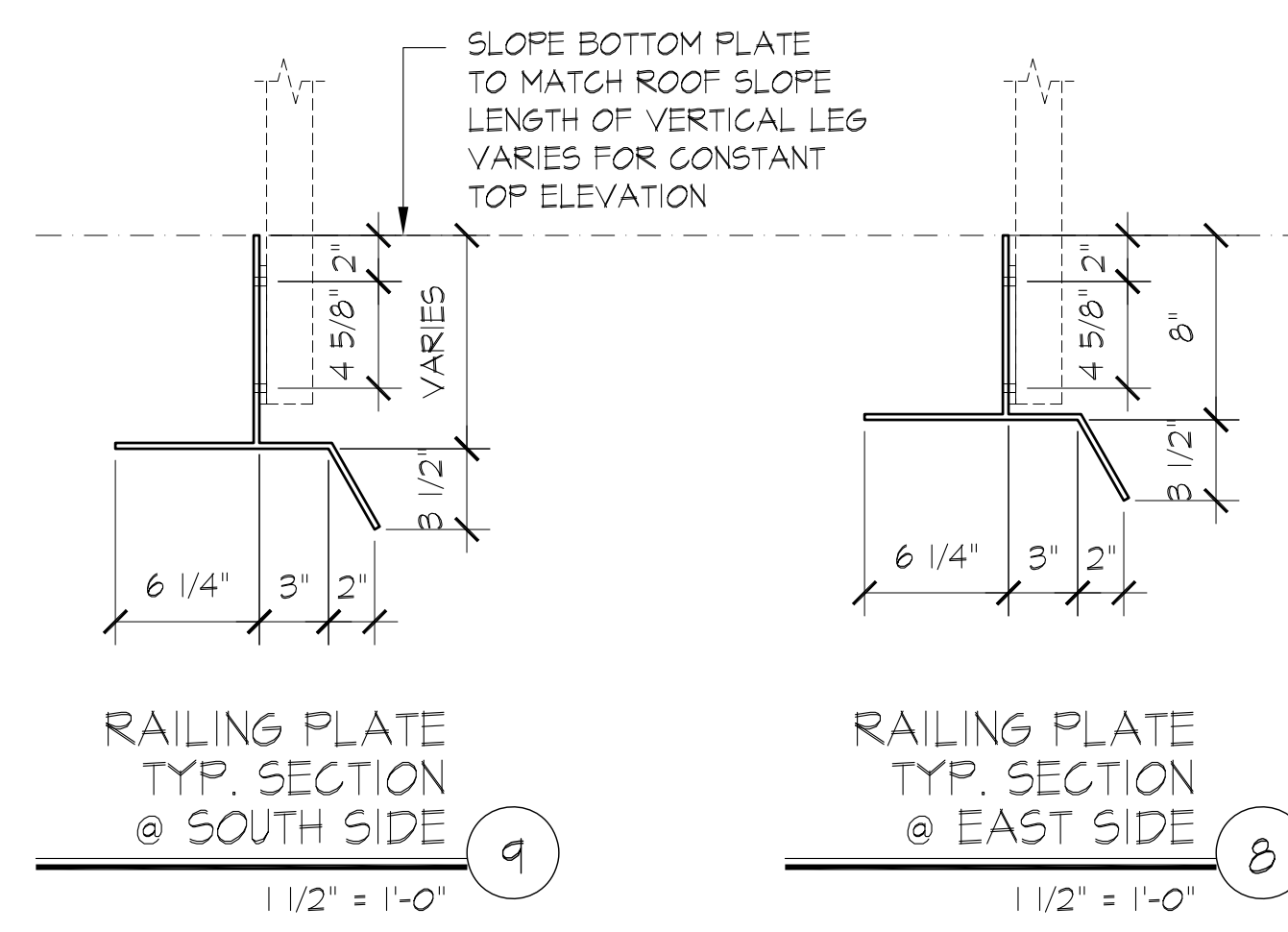
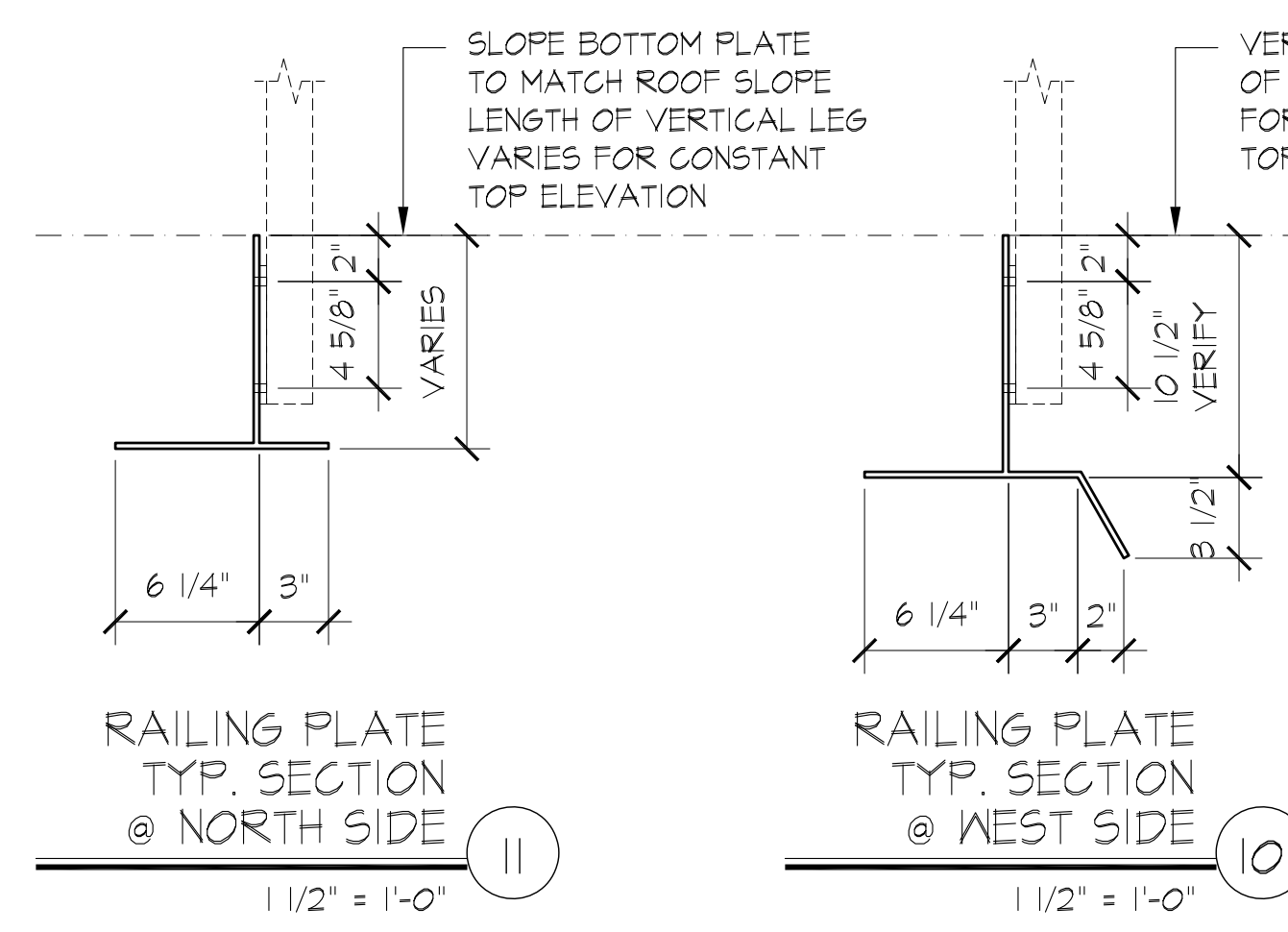
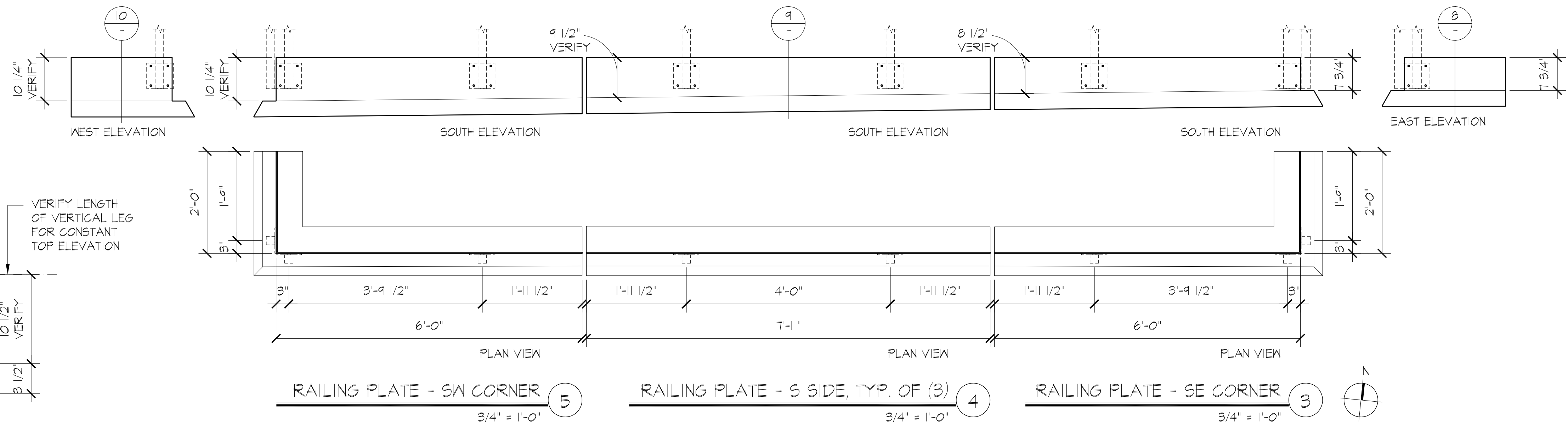
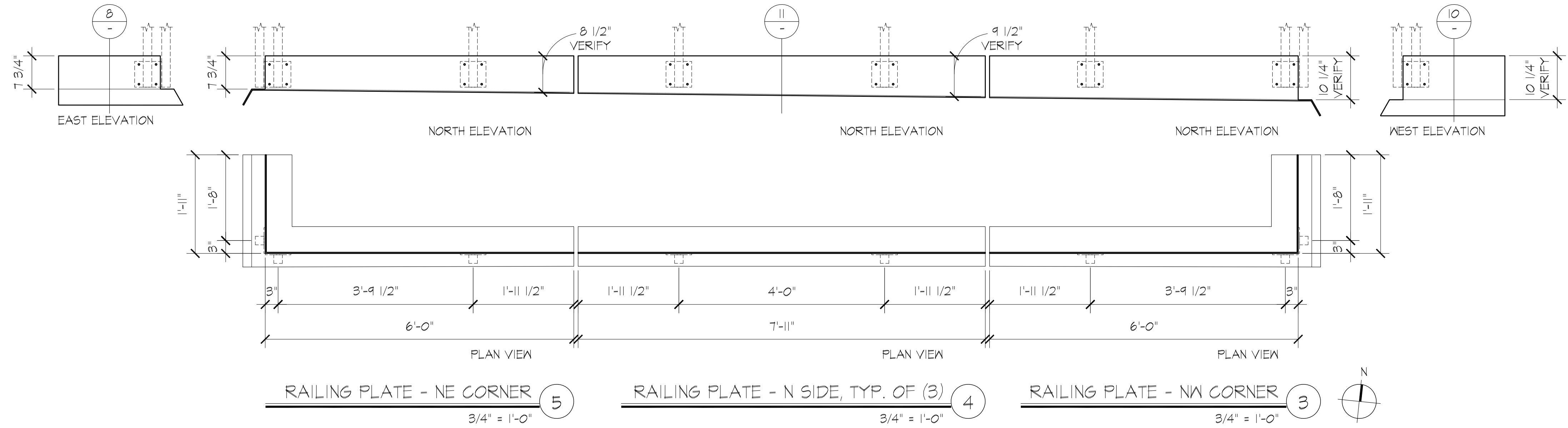
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WALL SECTION,
STAIR SECTION
& DETAILS

A3.3



ADDITIVE ALTERNATE 1:
INSTALL NEW DECK & GUARDRAIL ON ROOF OF
EXISTING BATHROOM & CONCESSIONS



NO.	REVISIONS

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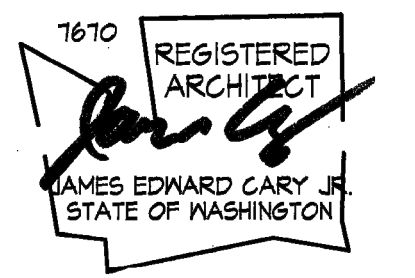
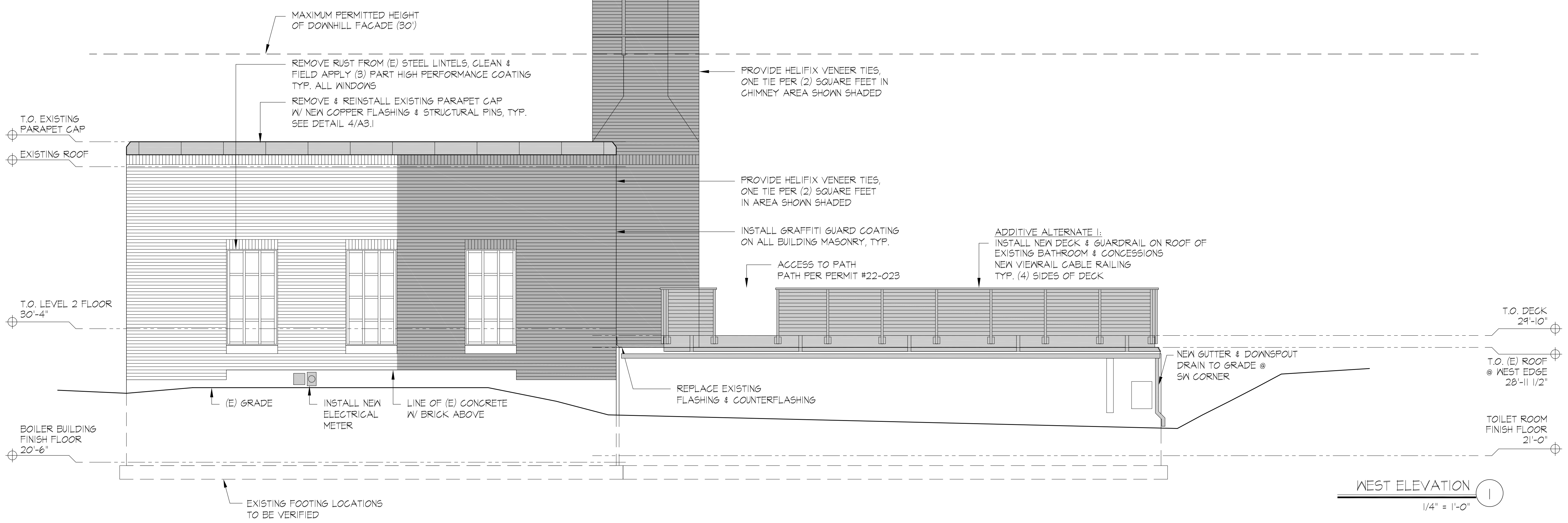
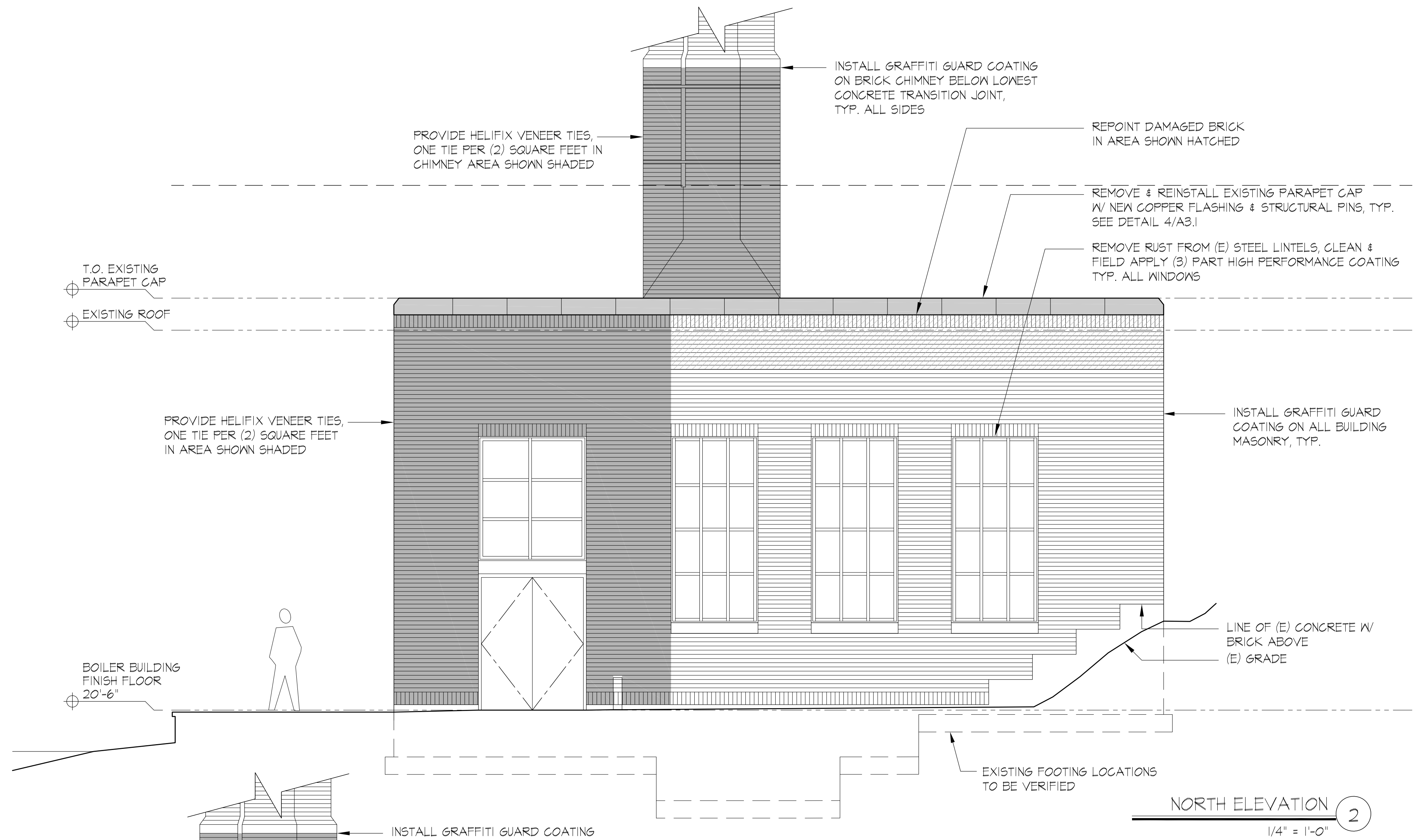
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EXTERIOR
RAILING DETAILS

A3.4

MASONRY NOTES:
 * CLEAN ALL EXTERIOR CONCRETE & MASONRY W/ HOT WATER @ 50 PSI
 * REPOINT EXISTING BRICK AS REQUIRED IN AREAS INDICATED ONLY
 * INSTALL GRAFFITI GUARD COATING ON ALL EXTERIOR MASONRY BUILDING SURFACES AND CHIMNEY BELOW FIRST CONCRETE JOINT, APPROXIMATELY 13'-6" ABOVE PARAPET



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BUILDING
 ELEVATIONS

A4.2

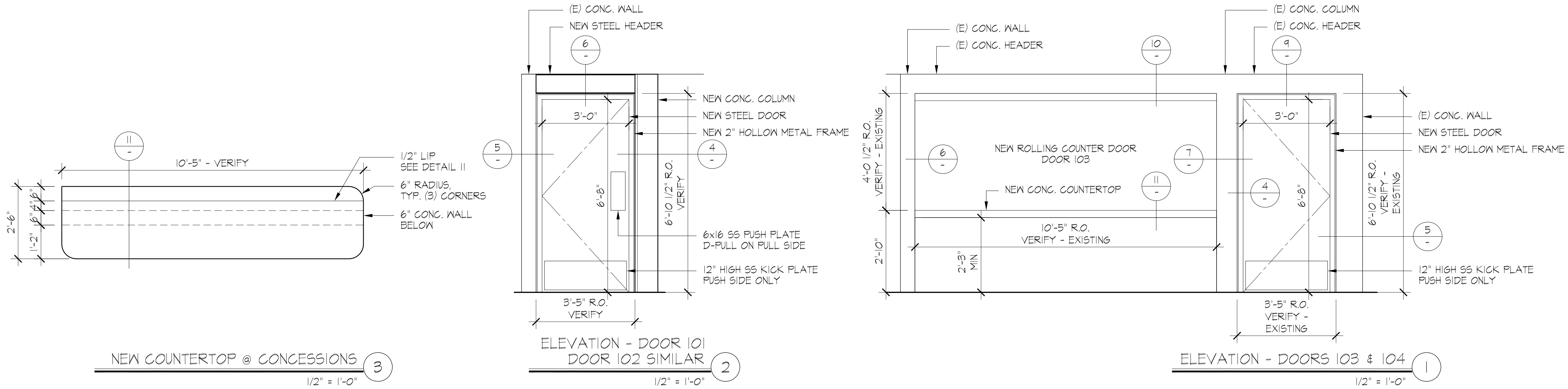
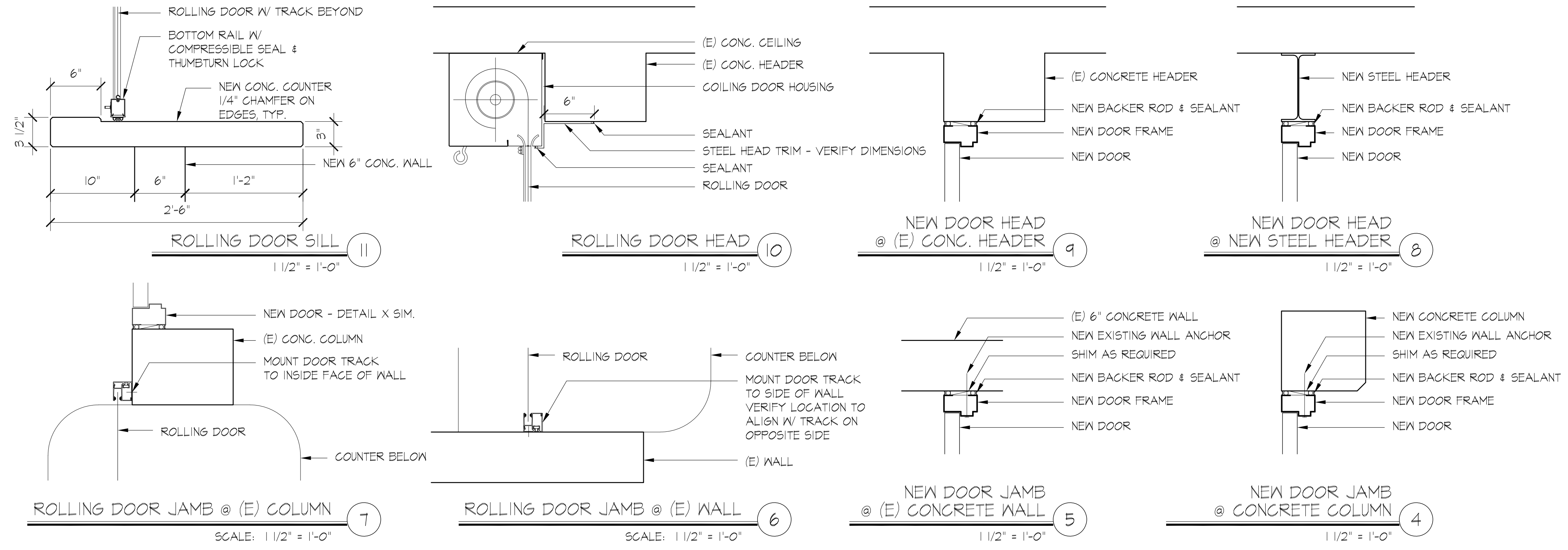
HARDWARE TYPES:

*** STOREROOM**
 * FULL MORTISE LOCKSET
 * STOREROOM FUNCTION, ANSI F01
 * W/ ELECTRONIC KEYCARD ACCESS
 * LCN HEAVY-DUTY CLOSER W/ HOLD-OPEN

*** BATHROOM**
 * PUSH PLATE ON EXTERIOR, D-PULL ON INTERIOR
 * NO LOCKSET, DEADBOLT ONLY
 * CLASSROOM FUNCTION, ANSI E01T2
 * REMOTE-ACCESS ELECTRONIC MAGNETIC LOCK
 * W/ PUSH-BUTTON EXIT
 * LCN HEAVY-DUTY CLOSER, NO HOLD-OPEN

GENERAL DOOR NOTES:
 * ALL DOOR LOCKS & ACCESS CONTROLS TO BE "BEST ACCESS" BRAND
 * COORDINATE W/ OWNER FOR INTEGRATION WITH EXISTING ACCESS CONTROL SYSTEMS
 * ALL NEW DOORS TO BE PAINTED STEEL EXTERIOR DOORS
 * INSTALL NEW PAINTED HOLLOW METAL FRAMES AT ALL NEW DOOR LOCATIONS
 * REPAINT (3) EXISTING DOORS TO REMAIN

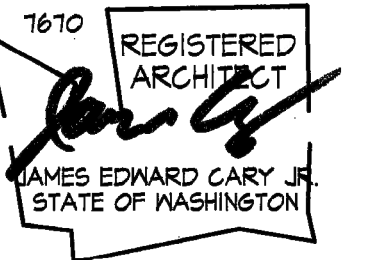
#	DOOR SIZE (W x H)	HARDWARE TYPE	NOTES
101	3'-0" x 6'-8"	BATHROOM	HOLLOW METAL DOOR & FRAME, PT-3
102	3'-0" x 6'-8"	BATHROOM	HOLLOW METAL DOOR & FRAME, PT-3
103	3'-0" x 6'-8"	STOREROOM	HOLLOW METAL DOOR & FRAME, PT-3 PROVIDE KEY CARD READER
104	10'-5" x 4'-0"	N/A	ROLL-UP COUNTER
105	EXISTING	STOREROOM	NEW LOCKSET & KEY CARD READER ON (E) DOOR NEW PAINT ON (E) DOOR & FRAME - PT-3
106	EXISTING	EXISTING	NEW PAINT ON (E) DOOR & FRAME - PT-3
107	EXISTING	STOREROOM	NEW LOCKSET & KEY CARD READER ON (E) DOOR NEW PAINT ON (E) DOOR & FRAME - PT-3



REVISIONS

NO.	DESCRIPTION

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 BOILER BUILDING
 PHASE LBB1**
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LUTHER BURBANK PARK
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 PHASE LBB1
 2040 84TH AVENUE SE
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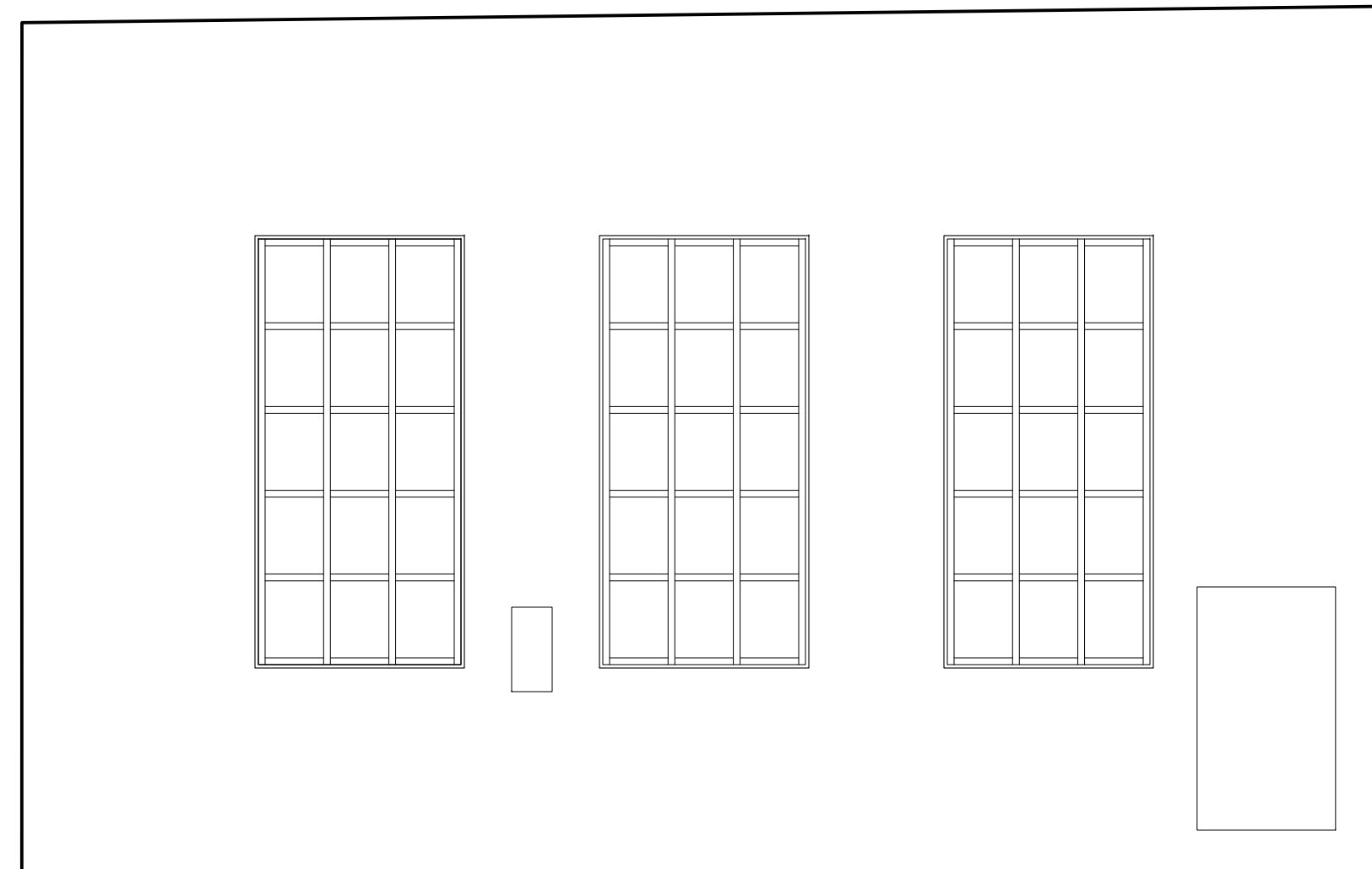


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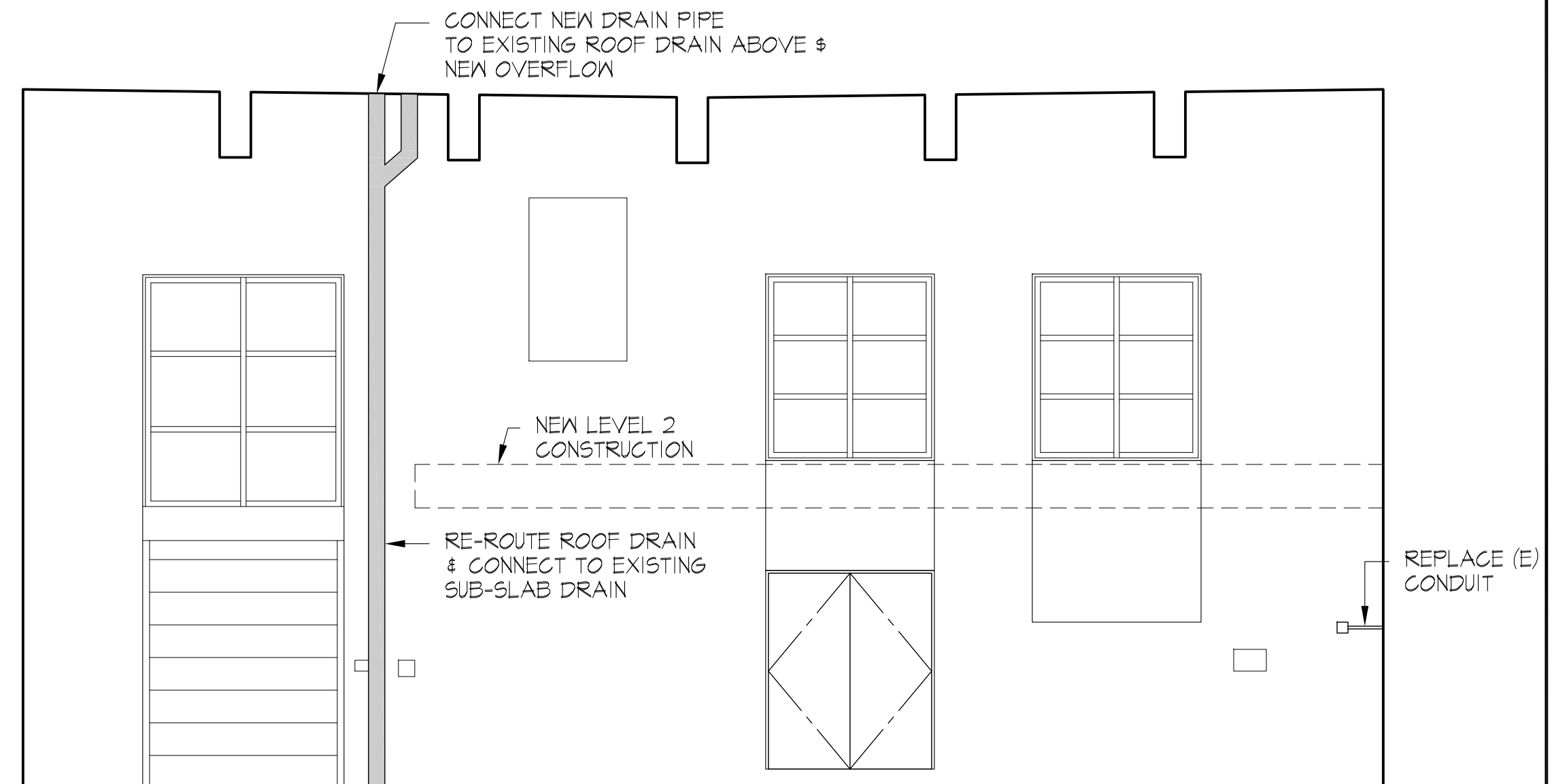
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INTERIOR
 ELEVATIONS

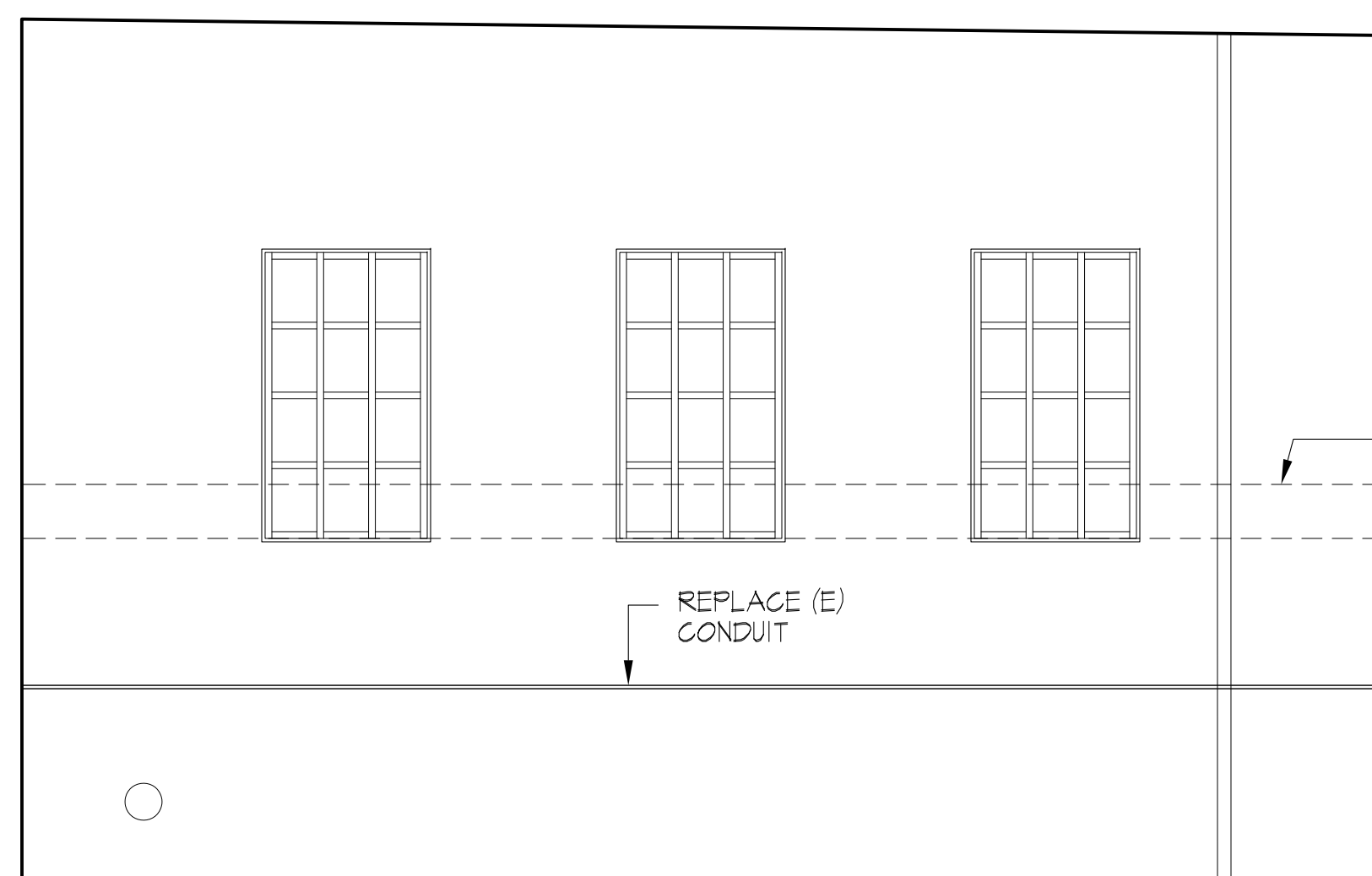
A6.1



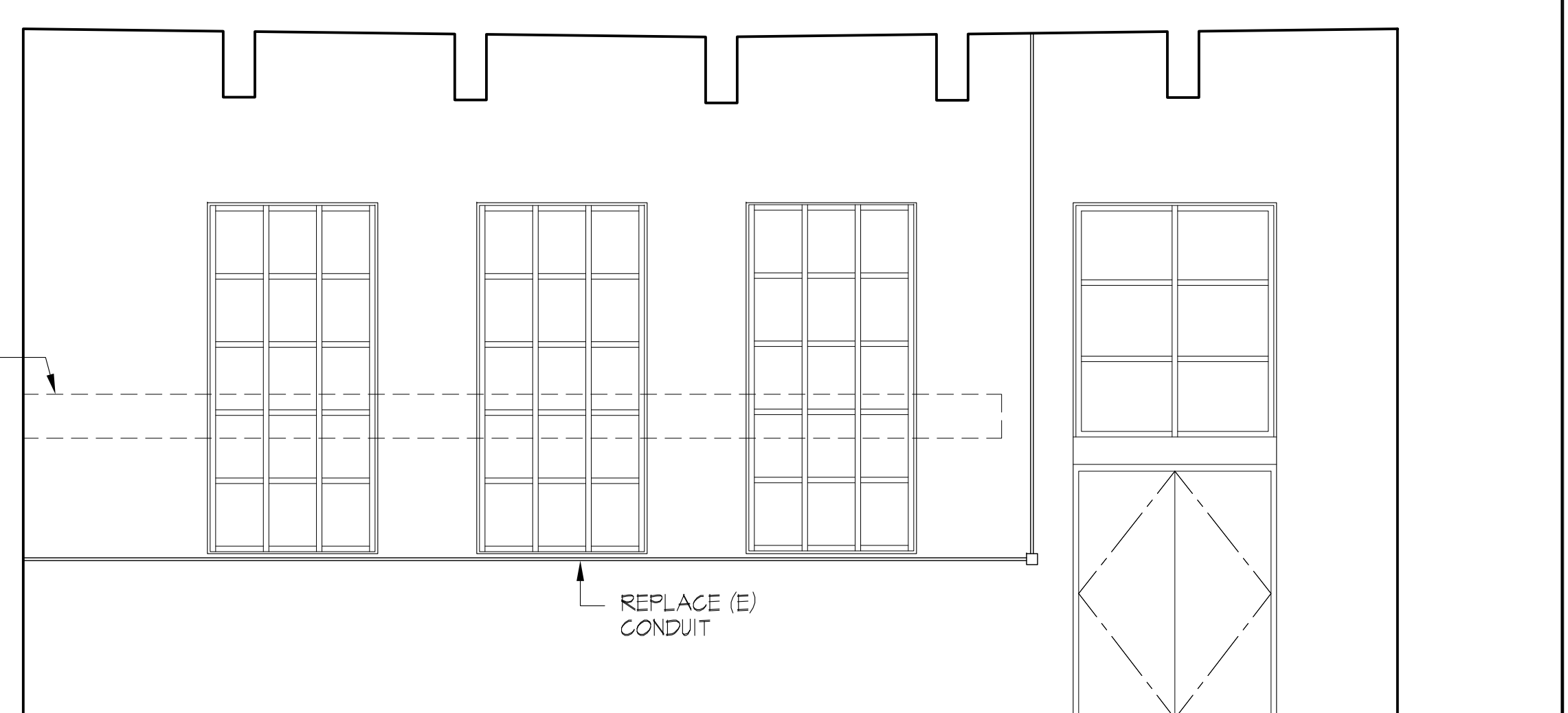
INTERIOR ELEVATION - STORAGE LOOKING EAST ④
 1/4" = 1'-0"



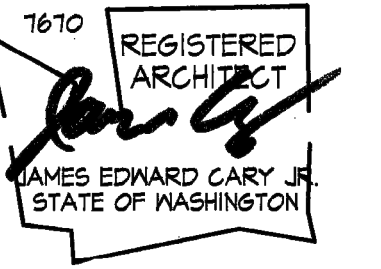
INTERIOR ELEVATION - STORAGE LOOKING SOUTH ③
 1/4" = 1'-0"



INTERIOR ELEVATION - STORAGE LOOKING WEST ②
 1/4" = 1'-0"



INTERIOR ELEVATION - STORAGE LOOKING NORTH ①
 1/4" = 1'-0"



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#2140
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INTERIOR
ELEVATIONS &
FINISH SCHEDULE

A6.2

PAINT & HIGH PERFORMANCE COATINGS	
PT-1	MATERIAL: TNEMEC HIGH PERFORMANCE COATING FINISH: SEMI-GLOSS LOCATION: BATHROOM & CONCESSIONS WALLS & CEILINGS COLOR: TENECEC 02WH "ICEBERG"
PT-2	MATERIAL: TNEMEC HIGH PERFORMANCE COATING FINISH: EGGSHELL LOCATION: NEW EXTERIOR STEEL COLOR: TENECEC 86BR "DARK BRONZE"
PT-3	MATERIAL: TNEMEC HIGH PERFORMANCE COATING FINISH: SEMI-GLOSS LOCATION: NEW & EXISTING DOORS & FRAMES COLOR: TENECEC 86BR "DARK BRONZE"
PT-4	MATERIAL: INTERIOR PAINT FINISH: EGGSHELL LOCATION: INTERIOR STEEL COLOR: MATCH TENECEC 86BR "DARK BRONZE"

TOILET ROOM ACCESSORIES
* ALL TOILET ROOM ACCESSORIES FOIC UNLESS NOTED OTHERWISE
* STAINLESS STEEL SECURITY MIRROR - (1) PER BATHROOM
* TRASH CAN - (1) PER BATHROOM
* FORCED AIR HAND DRYER
* MANUAL PAPER TOWEL DISPENSER BY VENDOR
* SOAP DISPENSER BY VENDOR
* SEAT COVER DISPENSERS - (1) AT EACH WC
* TOILET PAPER DISPENSERS - (1) AT EACH WC
* GRAB BARS - (3) AT EACH ACCESSIBLE WC
* FEMININE NAPKIN DISPOSAL RECEPTACLES - (1) PER STALL IN WOMEN'S BATHROOM, (2) TOTAL
* FEMININE NAPKIN DISPENSERS - (1) PER STALL IN WOMEN'S BATHROOM, (2) TOTAL

12 INTERIOR ELEVATION WOMEN'S TOILET LOOKING EAST 3/8" = 1'-0"

11 INTERIOR ELEVATION WOMEN'S TOILET LOOKING SOUTH 3/8" = 1'-0"

10 INTERIOR ELEVATION WOMEN'S TOILET LOOKING WEST 3/8" = 1'-0"

9 INTERIOR ELEVATION WOMEN'S TOILET LOOKING NORTH 3/8" = 1'-0"

8 INTERIOR ELEVATION MEN'S TOILET LOOKING EAST 3/8" = 1'-0"

7 INTERIOR ELEVATION MEN'S TOILET LOOKING SOUTH 3/8" = 1'-0"

6 INTERIOR ELEVATION MEN'S TOILET LOOKING WEST 3/8" = 1'-0"

5 INTERIOR ELEVATION MEN'S TOILET LOOKING NORTH 3/8" = 1'-0"

4 INTERIOR ELEVATION CONCESSIONS LOOKING EAST 3/8" = 1'-0"

3 INTERIOR ELEVATION CONCESSIONS LOOKING SOUTH 3/8" = 1'-0"

2 INTERIOR ELEVATION CONCESSIONS LOOKING WEST 3/8" = 1'-0"

1 INTERIOR ELEVATION CONCESSIONS LOOKING NORTH 3/8" = 1'-0"

General Structural Notes, Continued

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

MASONRY

34. MASONRY VENEER, 5" MAXIMUM THICKNESS, SHALL BE ANCHORED TO BACKING WALLS PER SECTION 1405.6 OF THE INTERNATIONAL BUILDING CODE WITH "RJ-711" OR "HB-200" ADJUSTABLE VENEER ANCHORS AS MANUFACTURED BY WIRE-BOND, INC. ANCHORS SHALL BE SPACED SO AS TO SUPPORT NOT MORE THAN TWO SQUARE FEET OF WALL AREA AND SHALL BE SPACED NOT MORE THAN 24" O.C. HORIZONTALLY. ATTACHMENTS SHALL BE WITH CORROSION RESISTANT FASTENERS AND CONNECT TO FRAMING MEMBERS OR CONCRETE OR MASONRY BACKING. INSTALL ANCHORS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. THE SHEAR LUGS OF EACH ANCHOR SHALL ENGAGE A NO. 9 GAUGE JOINT REINFORCEMENT WIRE. JOINT REINFORCEMENT SHALL BE CONTINUOUS WITH BUTT SPLICES BETWEEN TIES PERMITTED.

35. CONCRETE MASONRY UNIT WALLS SHALL BE CONSTRUCTED OF GRADE N, MEDIUM WEIGHT UNITS, CONFORMING TO ASTM C90, LAID IN A RUNNING BOND. MORTAR SHALL BE TYPE "S" CONFORMING TO ASTM C270. GROUT SHALL CONFORM TO ASTM C476 AND ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF f_{cm} WITH A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI, AT 28 DAYS. DESIGN $f_{cm} = 2000$ PSI.

STRENGTH SHALL BE VERIFIED BY EITHER THE UNIT STRENGTH METHOD OR PRISM TESTING IN ACCORDANCE WITH TMS 602-2016 SECTION 1.4. WHEN VERIFIED BY THE UNIT STRENGTH METHOD, MASONRY UNITS SHALL BE CHOSEN IN ACCORDANCE WITH TMS 602-2016, TABLE 2.

UNLESS NOTED OTHERWISE, PROVIDE THE FOLLOWING REINFORCEMENT:

6" WALLS #4 @ 16" O.C. VERT. #4 @ 24" O.C. HORIZ.

IN ADDITION, PROVIDE (1) #4 @ 6" VERT. AT EACH SIDE OF OPENINGS, AT WALL CORNERS AND INTERSECTIONS AND AT FREE ENDS OF WALLS AND (2) #4 AT TOP AND BOTTOM OF WALLS AND ABOVE AND BELOW ALL OPENINGS. ALL HORIZONTAL REINFORCEMENT SHALL BE PLACED IN BOND BEAMS. EXTEND REINFORCEMENT AROUND OPENINGS 2'-0" BEYOND FACE OF OPENING. IF 2'-0" IS UNAVAILABLE EXTEND AS FAR AS POSSIBLE AND HOOK. PROVIDE CORNER BARS TO LAP HORIZONTAL REINFORCING AT CORNERS AND INTERSECTIONS. LAP ALL REINFORCING STEEL 48 BAR DIAMETERS OR 24" MINIMUM.

FILL ALL CELLS WITH GROUT. PROVIDE CLEANOUT HOLES AT BOTTOM OF ALL CELLS CONTAINING REINFORCEMENT FOR ALL GROUT POURS OVER 5 FEET IN HEIGHT. UNITS MAY BE LAID TO THE FULL HEIGHT OF THE GROUT POUR AND GROUT SHALL BE PLACED IN A CONTINUOUS POUR IN GROUT LIFTS NOT EXCEEDING 5 FEET. ALL PREPARATION AND PLACING OF MASONRY SHALL CONFORM TO SECTION 2104 OF THE INTERNATIONAL BUILDING CODE AND TMS 602-2016.

REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI.

STEEL

36. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON:

- A. AISC 360-16 AND SECTION 2205.2 OF THE INTERNATIONAL BUILDING CODE.
- B. JUNE 15, 2016 AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES AMENDED AS FOLLOWS: AS NOTED IN THE CONTRACT DOCUMENTS, BY THE DELETION OF PARAGRAPH 4.4.1, AND REVISE REFERENCE FROM "STRUCTURAL DESIGN DRAWINGS" TO "CONTRACT DOCUMENTS" IN PARAGRAPH 3.1.
- C. SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.

37. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

TYPE OF MEMBER	ASTM SPECIFICATION	FY
A. WIDE FLANGE SHAPES	A992	50 KSI
B. OTHER SHAPES, PLATES, AND RODS	A36	36 KSI
C. OTHER SHAPES AND PLATES (NOTED GRADE 50 ON PLANS)	A572 (GRADE 50)	50 KSI
D. PIPE COLUMNS	A53 (E OR S, GR. B)	35 KSI
E. STRUCTURAL TUBING	A500 (GR. C)	
-SQUARE OR RECTANGULAR		50 KSI
-ROUND		46 KSI
-ANY SHAPE	ASTM A1085	50 KSI
F. CONNECTION BOLTS (5/8" ROUND, UNLESS SHOWN OTHERWISE)	A325-N	

38. ALL STEEL EXPOSED TO THE WEATHER OR IN CONTACT WITH GROUND SHALL BE CORROSION PROTECTED BY GALVANIZATION OR PROVIDED WITH EXTERIOR PAINT SYSTEM, UNLESS OTHERWISE NOTED. REFER TO THE ARCHITECTURAL DETAILS.

39. SHOP PRIME ALL STEEL EXCEPT:

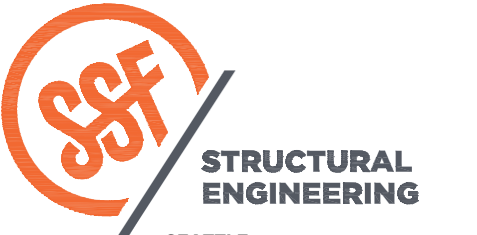
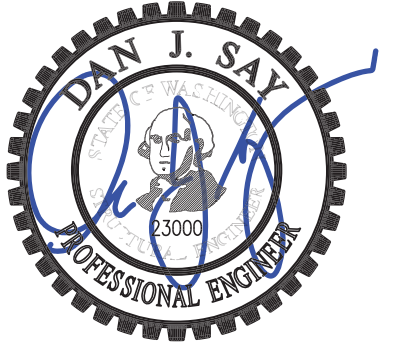
- A. STEEL ENCASED IN CONCRETE.
- B. SURFACES TO BE WELDED.
- C. CONTACT SURFACES AT HIGH-STRENGTH BOLTS.
- D. MEMBERS TO BE GALVANIZED.
- E. MEMBERS WHICH WILL BE CONCEALED BY INTERIOR FINISHES.
- F. SURFACES TO RECEIVE SPRAYED FIREPROOFING.
- G. SURFACES TO RECEIVE OTHER SPECIAL SHOP PRIMERS.
- H. WHERE INDICATED BY THE ARCHITECT.

40. ALL A-325N CONNECTION BOLTS NEED ONLY BE TIGHTENED TO A SNUG TIGHT CONDITION, DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PLIES IN A JOINT ARE IN FIRM CONTACT. THIS MAY BE ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF AN IRONWORKER USING AN ORDINARY SPUD WRENCH.

41. ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY AWS) SHALL BE USED. ALL COMPLETE JOINT PENETRATION GROOVE WELDS SHALL BE MADE WITH A FILLER MATERIAL THAT HAS A MINIMUM CVN TOUGHNESS OF 20 FT-LBS AT -20 DEGREES F AND 40 FT - LBS AT 70 DEGREES F, AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION.

42. METAL FLOOR AND ROOF DECKING SHALL BE IN ACCORDANCE TO THE FOLLOWING: PROVIDE SIZE, TYPE, GAUGE, AND ATTACHMENT TO THE SUPPORTING STRUCTURE AS SHOWN ON THE PLANS. ARC SEAM AND SPOT (PUDDLE) WELDS FOR FIELD ASSEMBLY OF METAL DECK SHALL BE MADE WITH MINIMUM E60XX ELECTRODES. DECK ALTERNATES MUST BE CONNECTED ACCORDING TO PUBLISHED ICC-ES CRITERIA FOR DIAPHRAGM SHEARS SHOWN. PROVIDE TEMPORARY SHORING WHERE REQUIRED PER MANUFACTURER'S PUBLISHED CRITERIA.

A. COMPOSITE SLABS ON STEEL DECK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH SD1-C.



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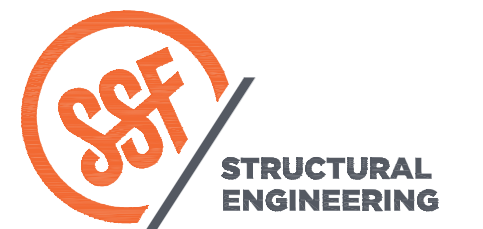


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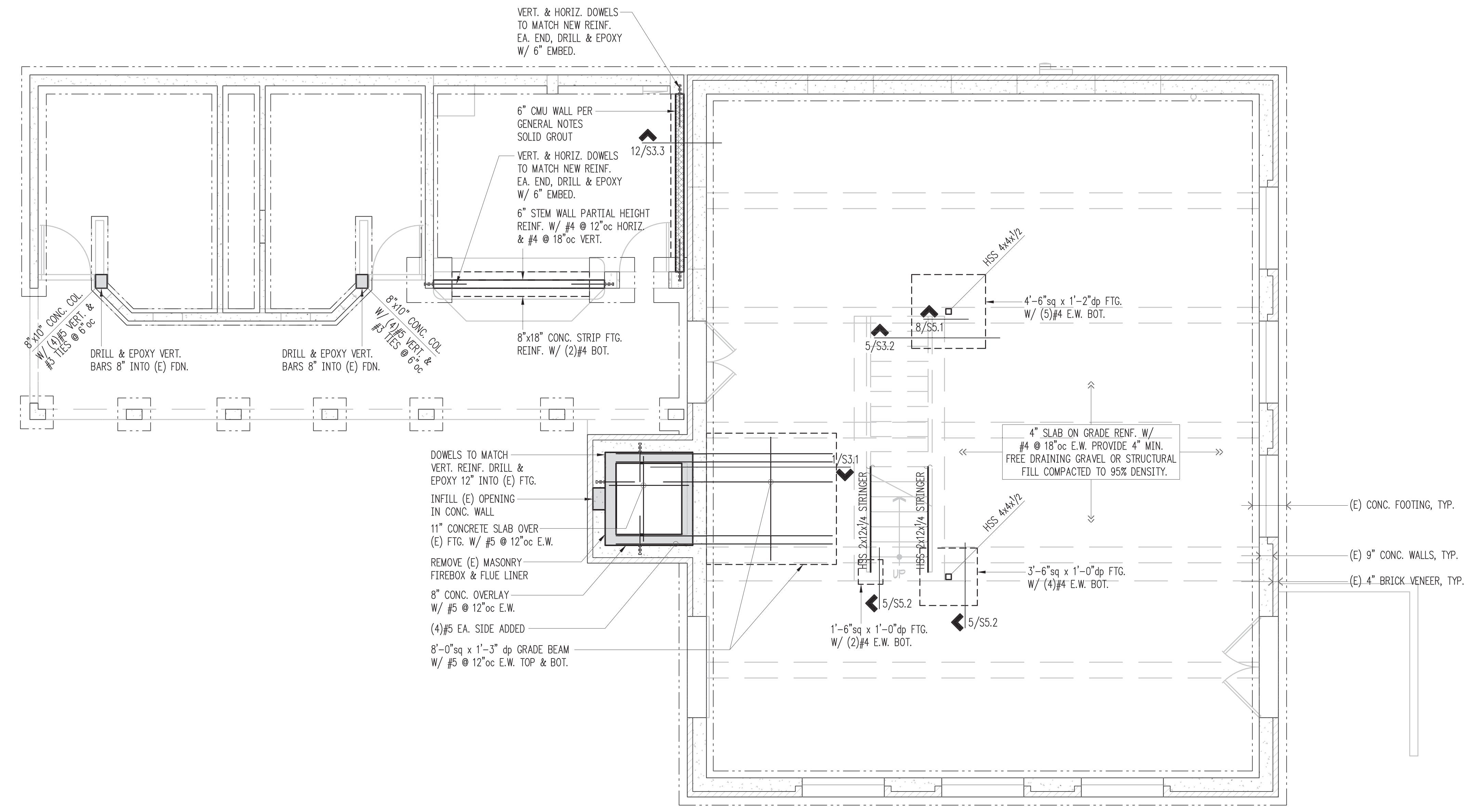
General
Structural
Notes
Continued

S1.2



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Plan Notes

- DO NOT SCALE DRAWINGS.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION.
- DIMENSIONS ARE RELATIVE TO EXISTING STRUCTURAL ELEMENTS. CONTRACTOR TO FIELD VERIFY.
- FOOTINGS ARE TO BE 18" (MIN) BELOW GRADE.
- REFER TO 5/S3.3 AND 10/S3.3 FOR SLAB ON GRADE JOINTS.
- REFER TO 8/S3.2 FOR CONCRETE INFILL.
- REFER TO 7/S3.2 FOR TYPICAL SAWCUT HOLES IN CONCRETE.
- REFER TO 3/S3.2 FOR TYPICAL CORED HOLES IN CONCRETE WALLS.
- REFER TO 2/S3.2 FOR SLAB REPAIR.
- PROVIDE DOWELS PER 1/S3.2 AT ALL CONCRETE OVERLAYS.
- REMOVE FINISHES AND DEBRIS (INCLUDING COMBUSTION PRODUCTS) TO CLEAN BARE MASONRY OR CONCRETE AT NEW CONCRETE OVERLAYS.

Legend

- CONCRETE WALL, COLUMN OR INFILL
- CMU WALL
- EXISTING CONCRETE WALL OR COLUMN
- EXISTING BRICK VENEER
- FOOTING PER PLAN
- EXISTING FOOTING

Level 1 Plan

Scale: 1/4" = 1'-0"



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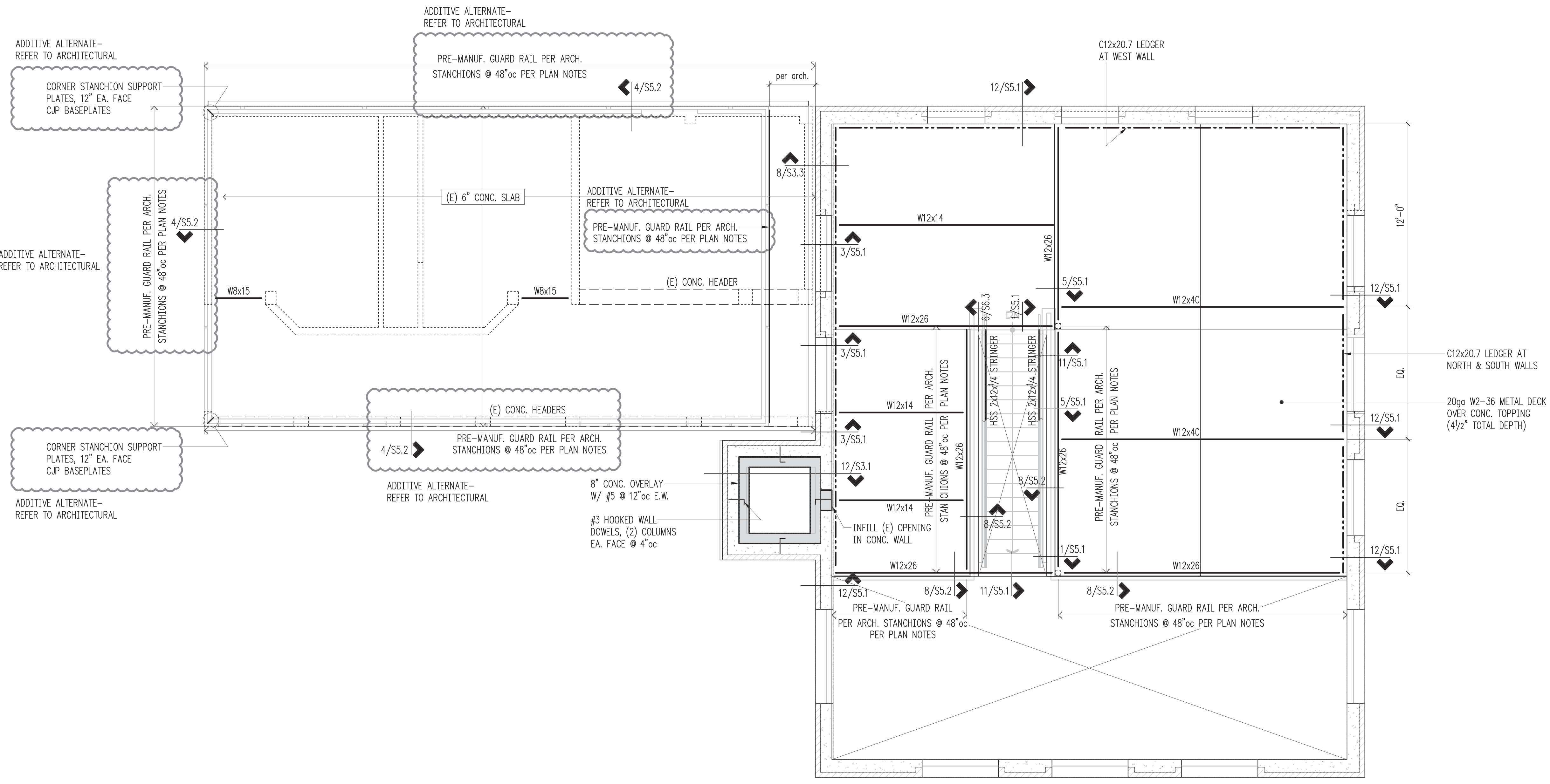


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LEVEL 1 PLAN

S2.1



Plan Notes

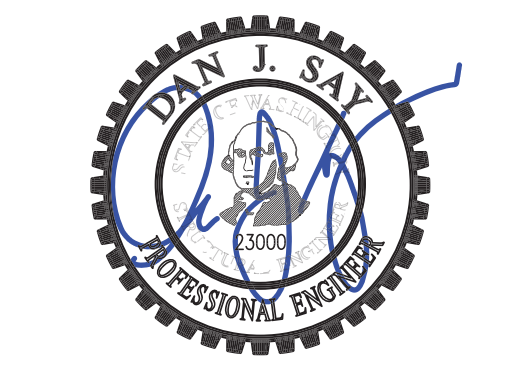
1. DO NOT SCALE DRAWINGS.
2. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION.
3. DIMENSIONS ARE RELATIVE TO EXISTING STRUCTURAL ELEMENTS. CONTRACTOR TO FIELD VERIFY.
4. REFER TO 8/S3.2 FOR CONCRETE INFILL.
5. REFER TO 7/S3.2 FOR TYPICAL SAWCUT HOLES IN CONCRETE.
6. REFER TO 3/S3.2 FOR TYPICAL CORED HOLES IN CONCRETE WALLS.
7. PROVIDE DOWELS PER 1/S3.2 AT ALL CONCRETE OVERLAYS.
8. REMOVE FINISHES AND DEBRIS (INCLUDING COMBUSTION PRODUCTS) TO CLEAN BARE CONCRETE AT NEW CONCRETE OVERLAYS.
9. GUARDRAILS ARE A PRE-MANUFACTURE DESIGN-BUILD SYSTEM WITH DEFERRED SUBMITTAL PER THE GENERAL STRUCTURAL NOTES. CONTRACTOR TO COORDINATE STANCHION CONNECTION REQUIREMENTS WITH DETAILS. MAXIMUM STANCHION SPACING IS 48" ON-CENTER.
10. REFER TO 7/S5.2 FOR TYPICAL SLAB ON METAL DECK CONSTRUCTION.
11. TYPICAL LEDGERS ARE C12x20.7 PER 4/S5.1. RUN LEDGERS MINIMUM 12" PAST WINDOW JAMBS AND PROVIDE AN ADDITIONAL (2) 5/8" DIA EXP ANCHORS AT 6" VERT SPACING.
12. PROVIDE GAURDRAILS AT EACH STRINGER PER 12/S5.2.

Legend

- CONCRETE WALL
- EXISTING CONCRETE WALL
- EXISTING BRICK VENEER
- EXISTING BEARING WALL BELOW
- EXISTING CONCRETE BEAM BELOW

Level 2 / Low Roof Plan

Scale: 1/4" = 1'-0"



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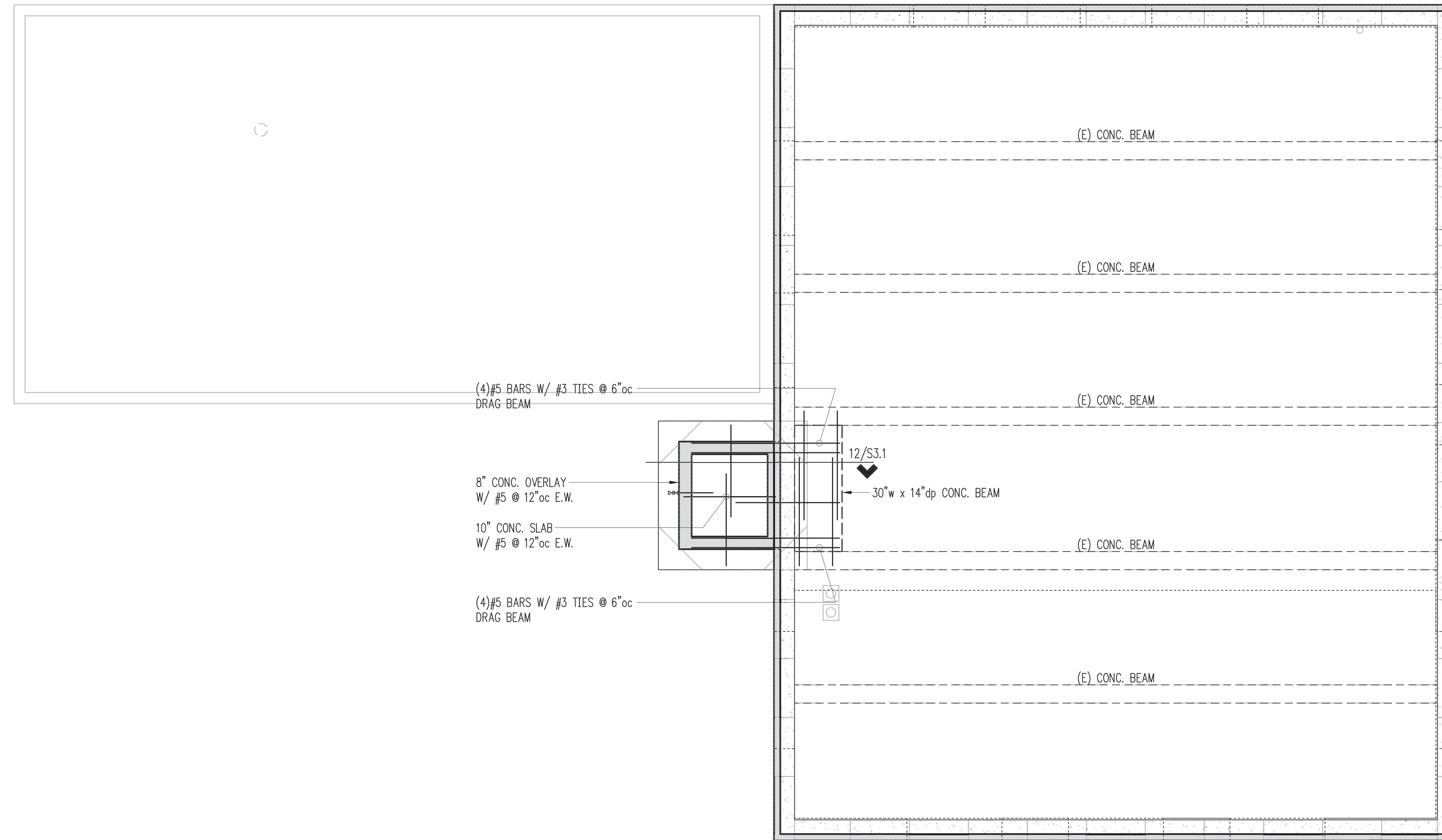


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LEVEL 2 /
 LOW ROOF PLAN

S2.2



Plan Notes

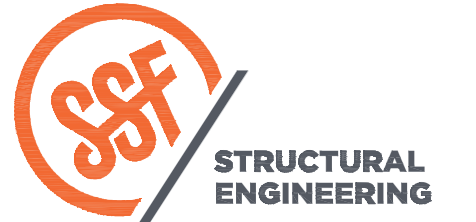
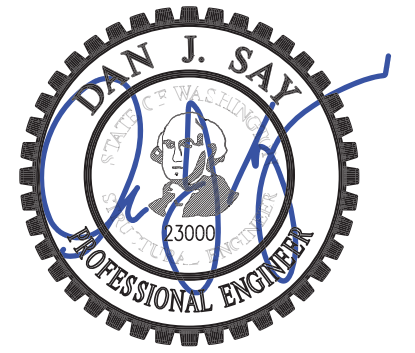
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2. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION.
3. DIMENSIONS ARE RELATIVE TO EXISTING STRUCTURAL ELEMENTS. CONTRACTOR TO FIELD VERIFY.
4. REFER TO 8/S3.2 FOR CONCRETE INFILL.
5. REFER TO 7/S3.2 FOR TYPICAL SAWCUT HOLES IN CONCRETE.
6. REFER TO 3/S3.2 FOR TYPICAL CORED HOLES IN CONCRETE WALLS.
7. PROVIDE DOWELS PER 1/S3.2 AT ALL CONCRETE OVERLAYS.
8. REMOVE FINISHES AND DEBRIS (INCLUDING COMBUSTION PRODUCTS) TO CLEAN BARE CONCRETE AT NEW CONCRETE OVERLAYS.
9. REFER TO 12/S3.1 FOR STACK REINFORCING DETAILS.
10. REFER TO 1/S3.3 FOR PARAPET CAP PINNING DETAILS.

Legend

- CONCRETE WALL
- EXISTING CONCRETE WALL
- EXISTING BRICK VENEER
- EXISTING CONCRETE BEAM BELOW

High Roof Plan

Scale: 1/4" = 1'-0"



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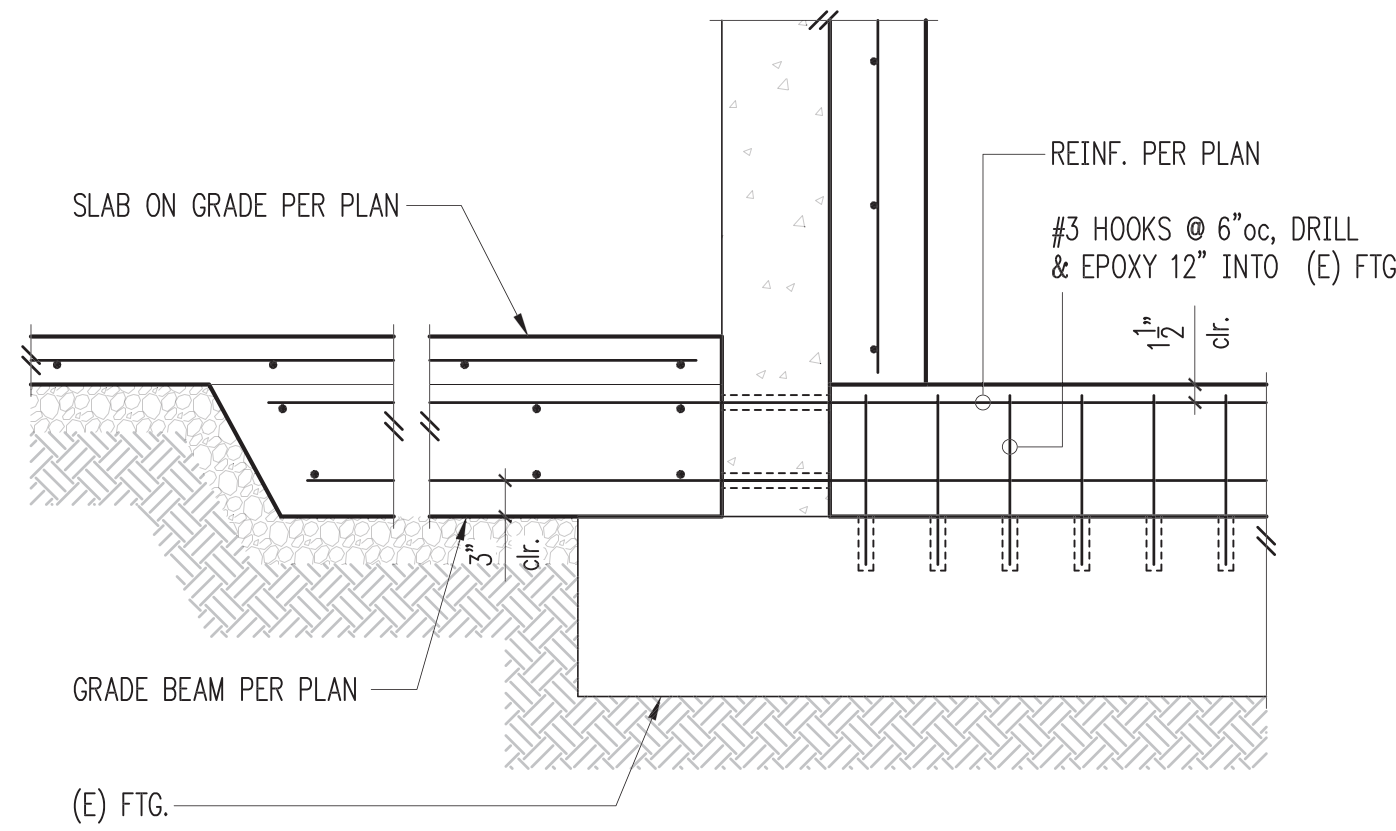
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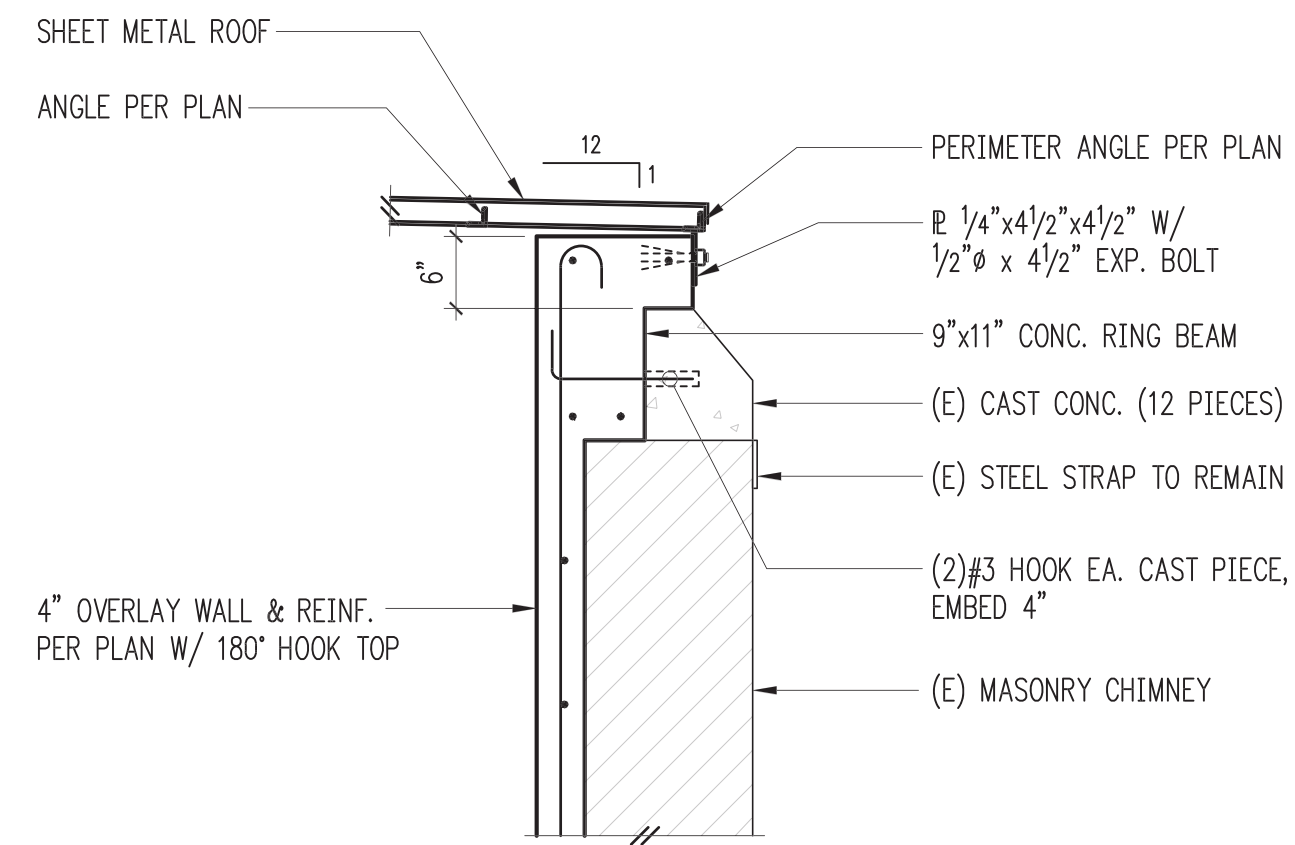
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HIGH ROOF PLAN

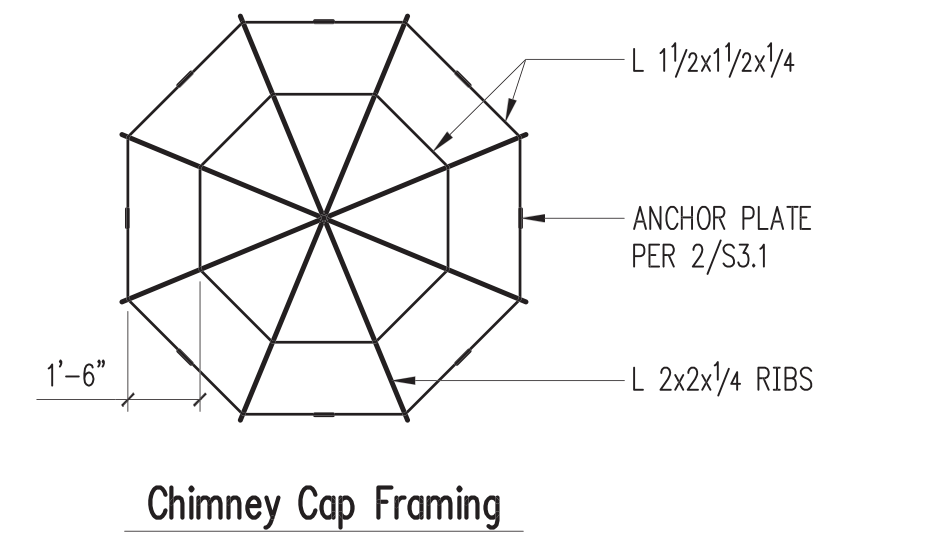
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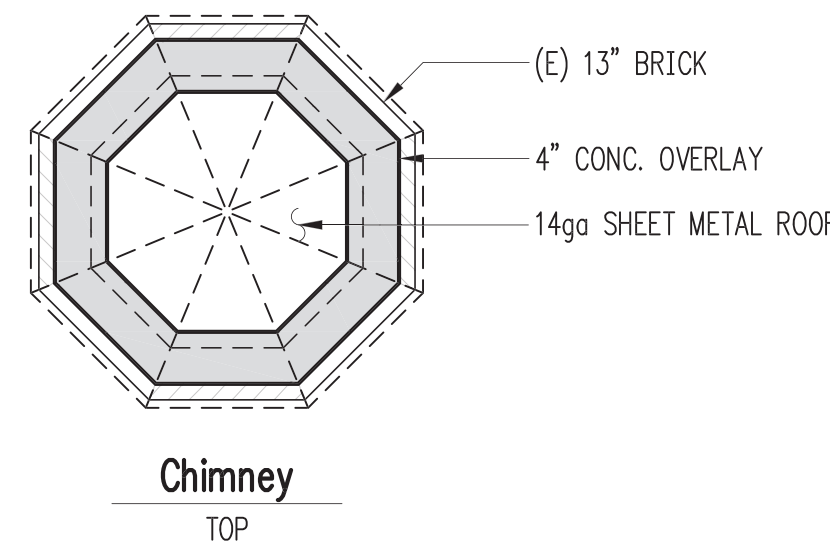
Chimney Grade Beam 1



Top of Chimney 2

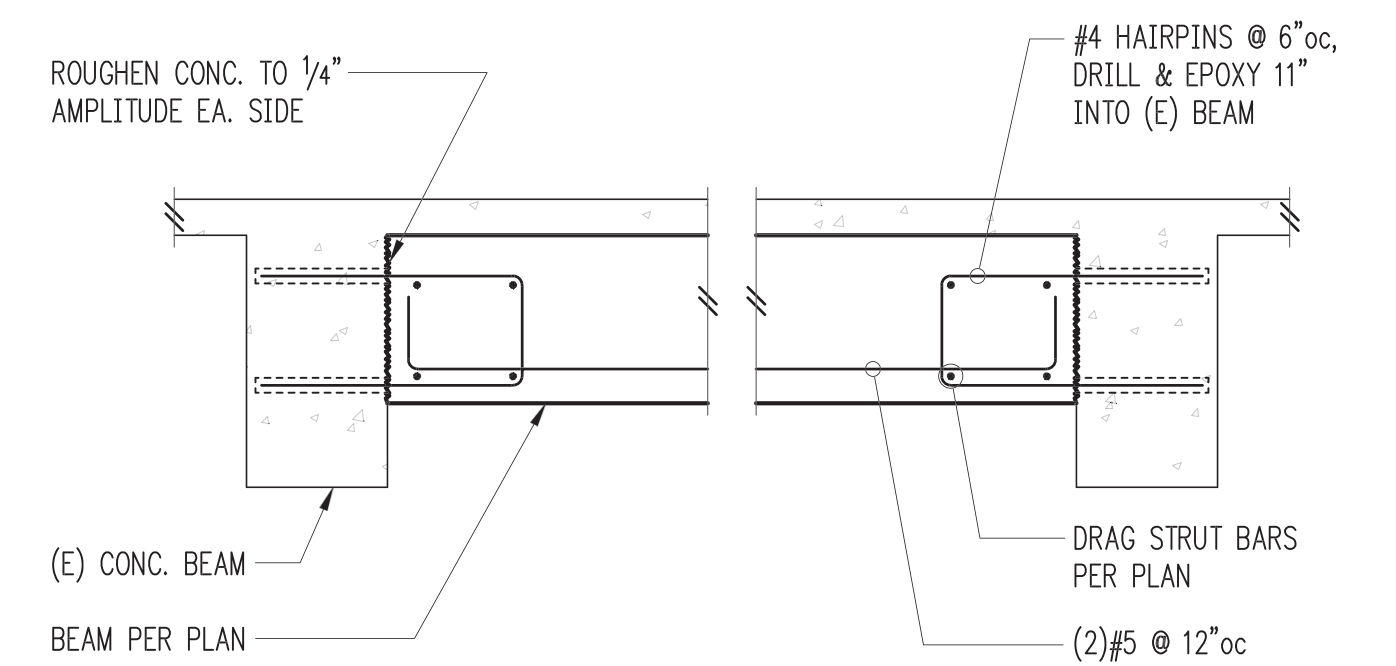


Chimney Cap Framing

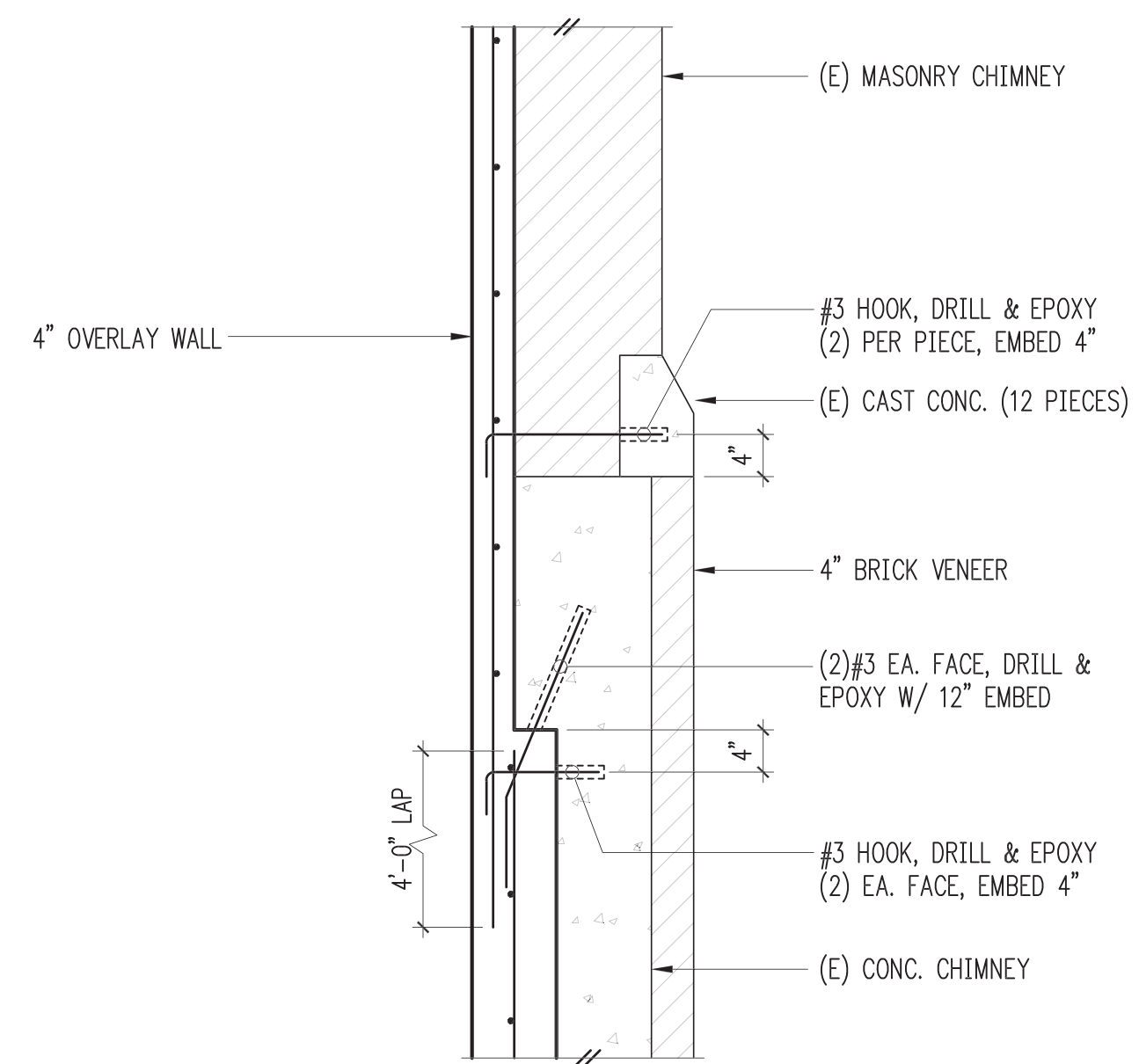


Chimney TOP

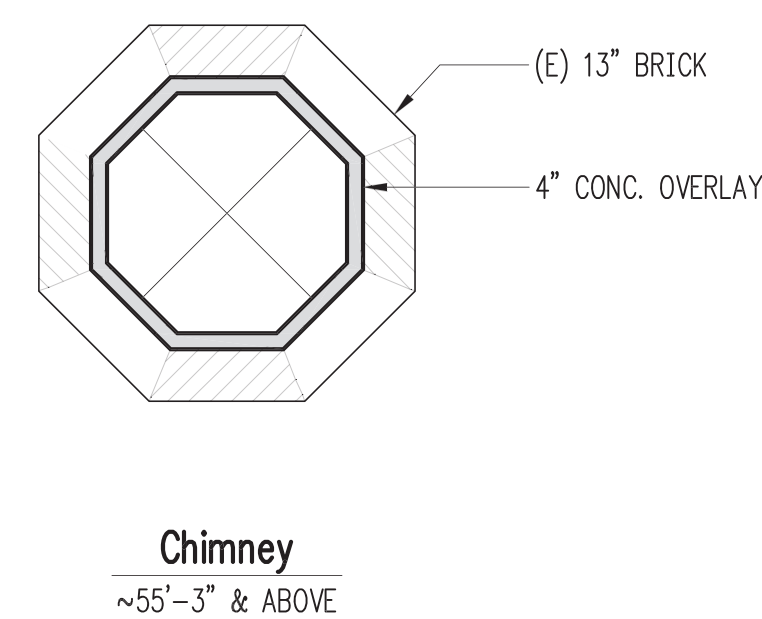
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Transfer Beam 5

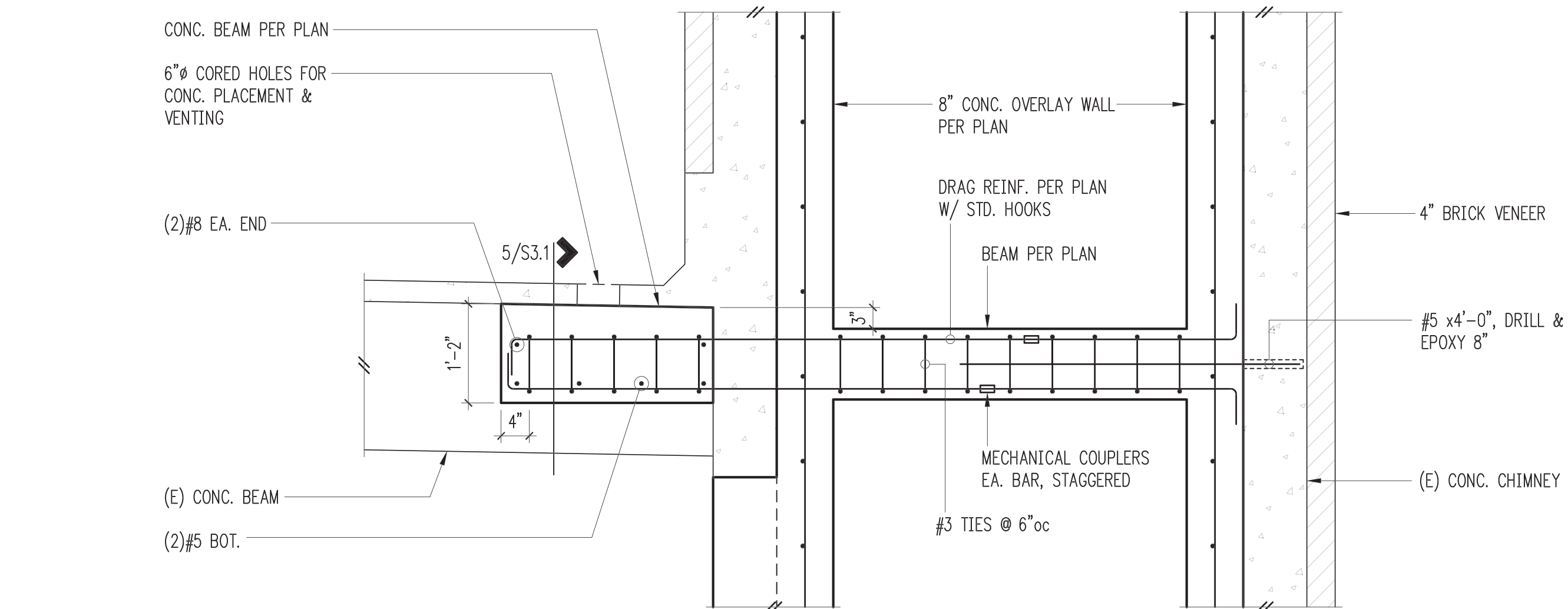


Chimney Transition 6

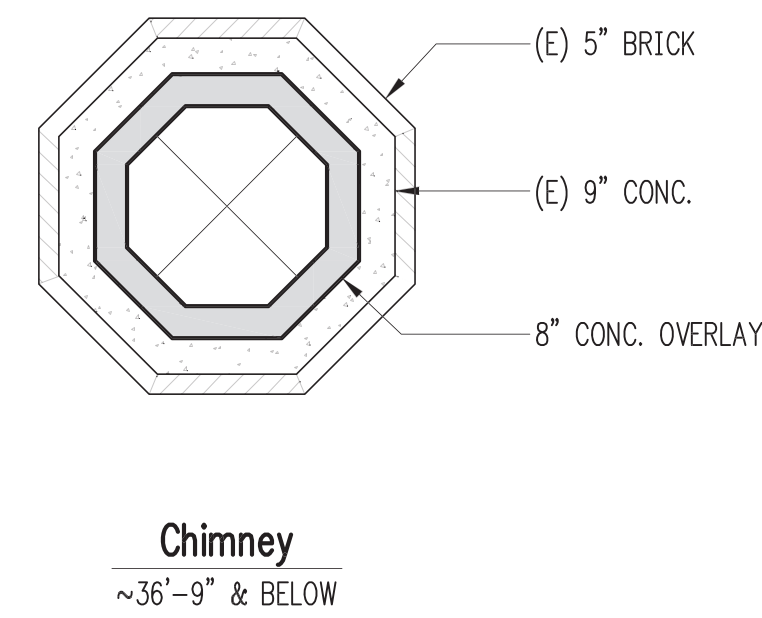


Chimney ~55'-3" & ABOVE

7

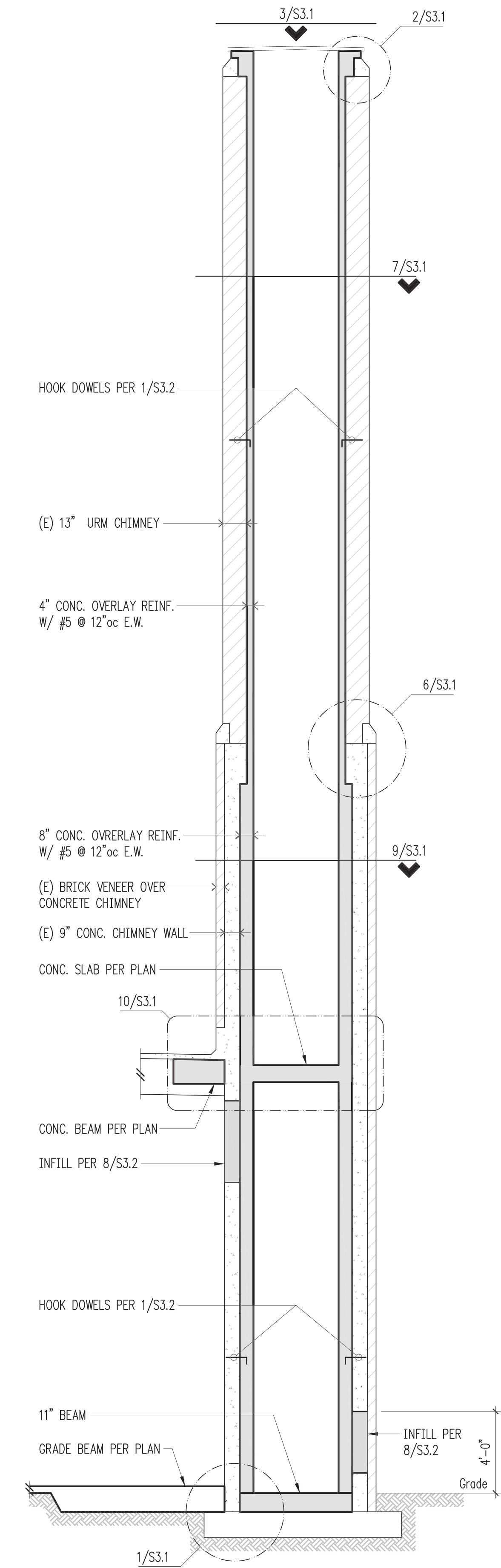


Drag Beam & Chimney Floor 10

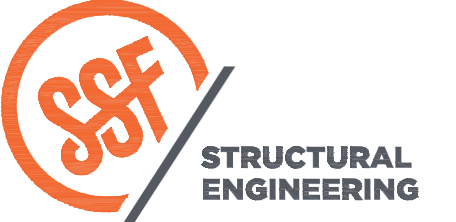
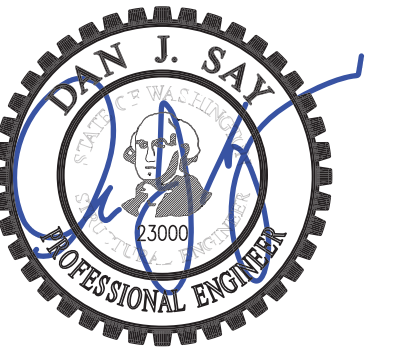


Chimney ~36'-9" & BELOW

11



Stack Section 12



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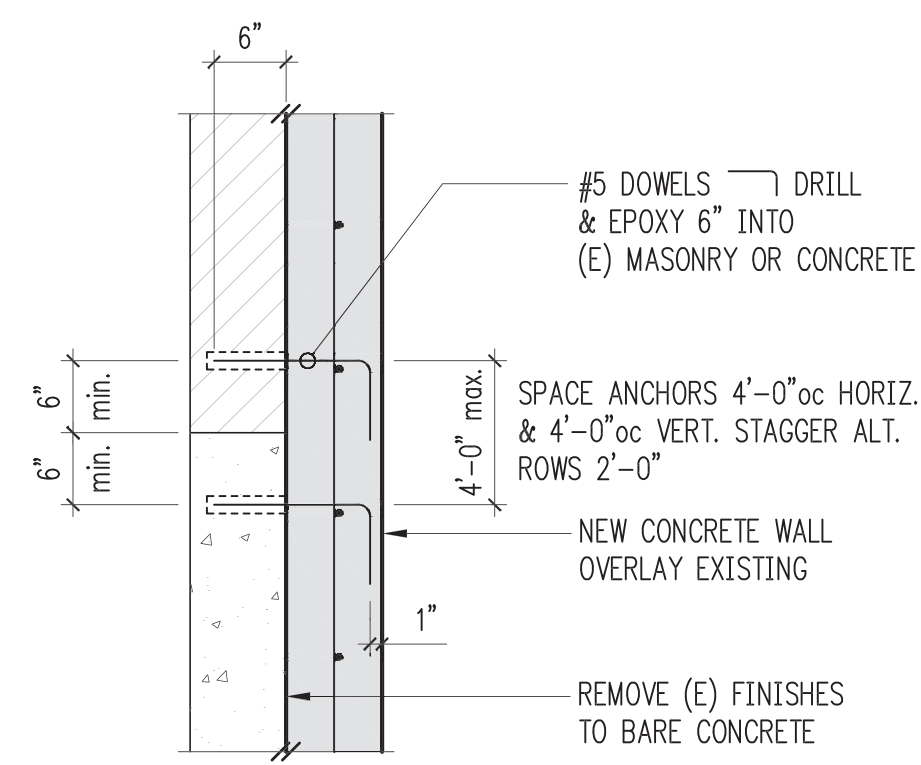


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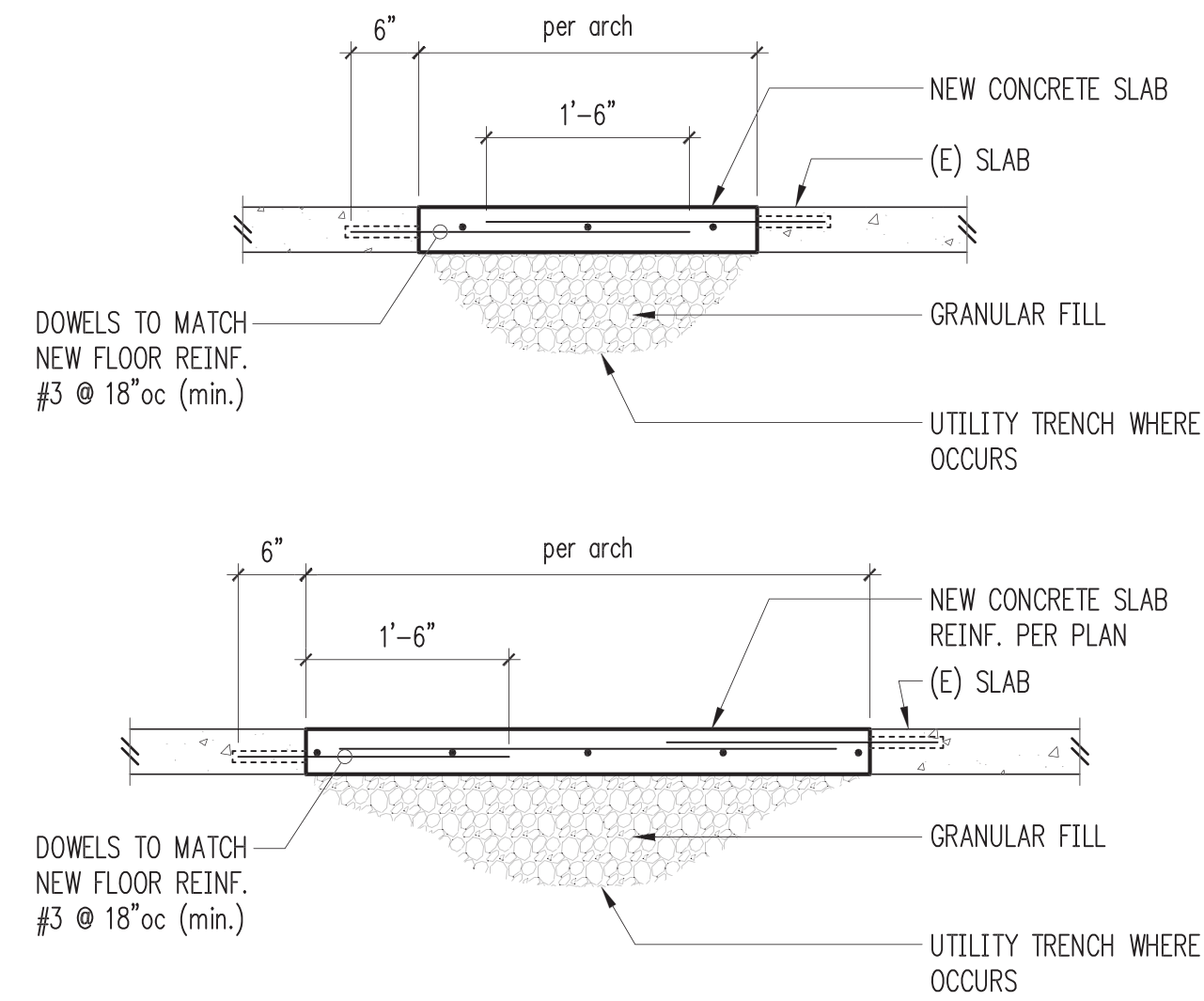
CONCRETE
DETAILS

S3.1



New Concrete Overlay on Existing Masonry of Concrete Wall

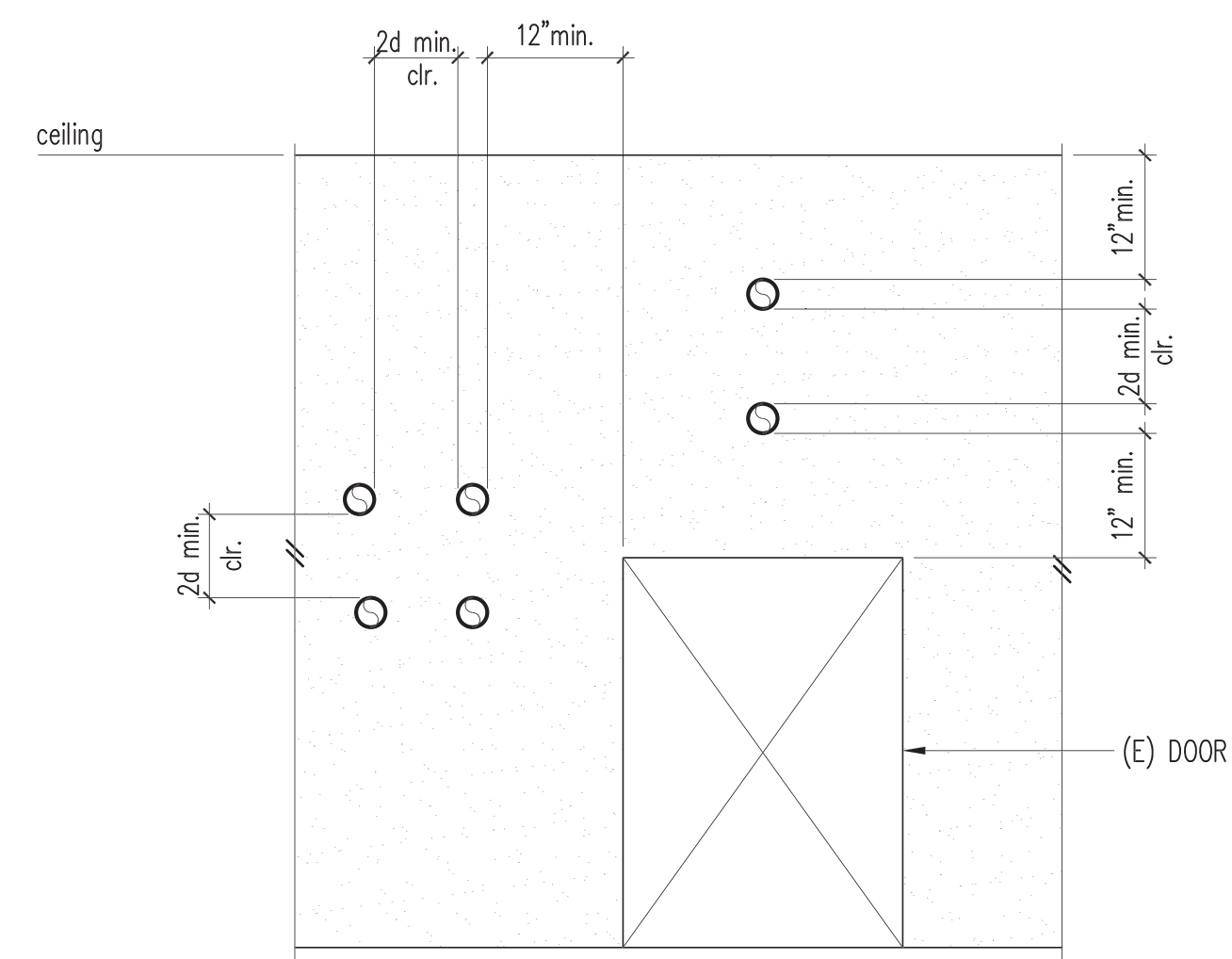
1



NEW SLAB TO EXISTING (one side only) @ 'sim.'

Typical Slab on Grade Repair

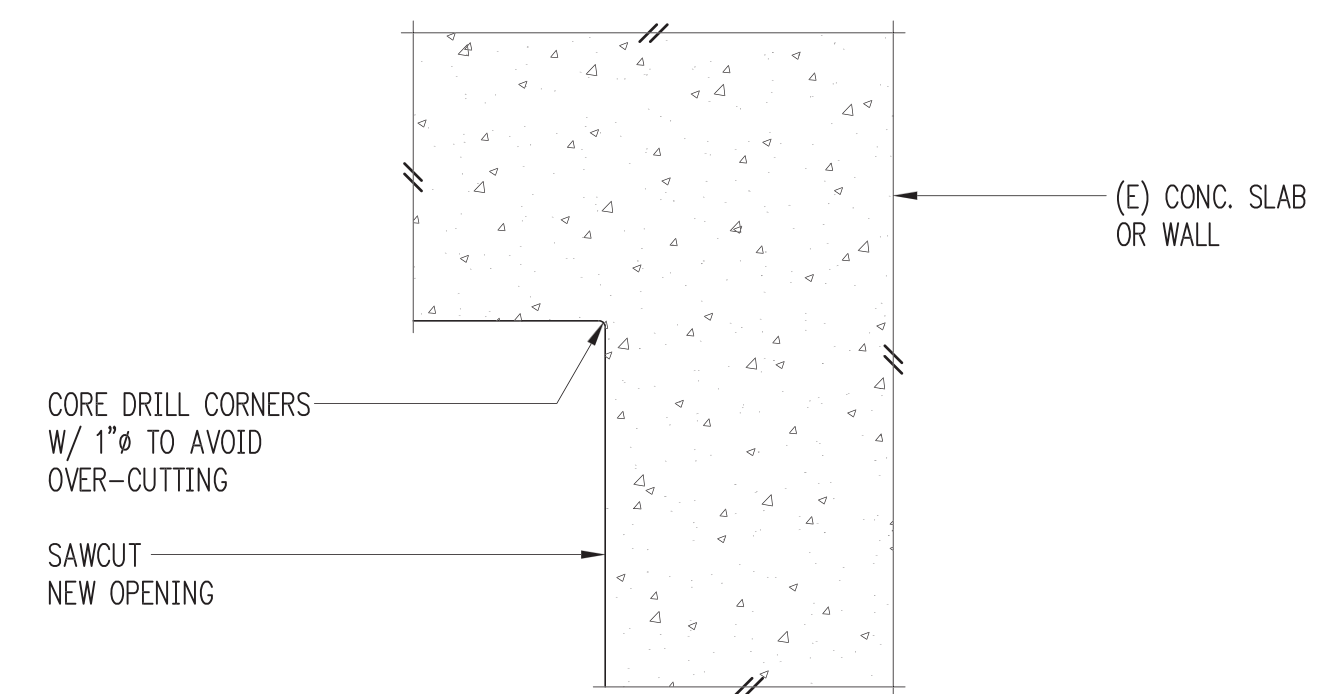
2



1. d = DIAMETER OF LARGER HOLE MAXIMUM (4) HOLES IN ROW
2. 4" Ø HOLE MAXIMUM

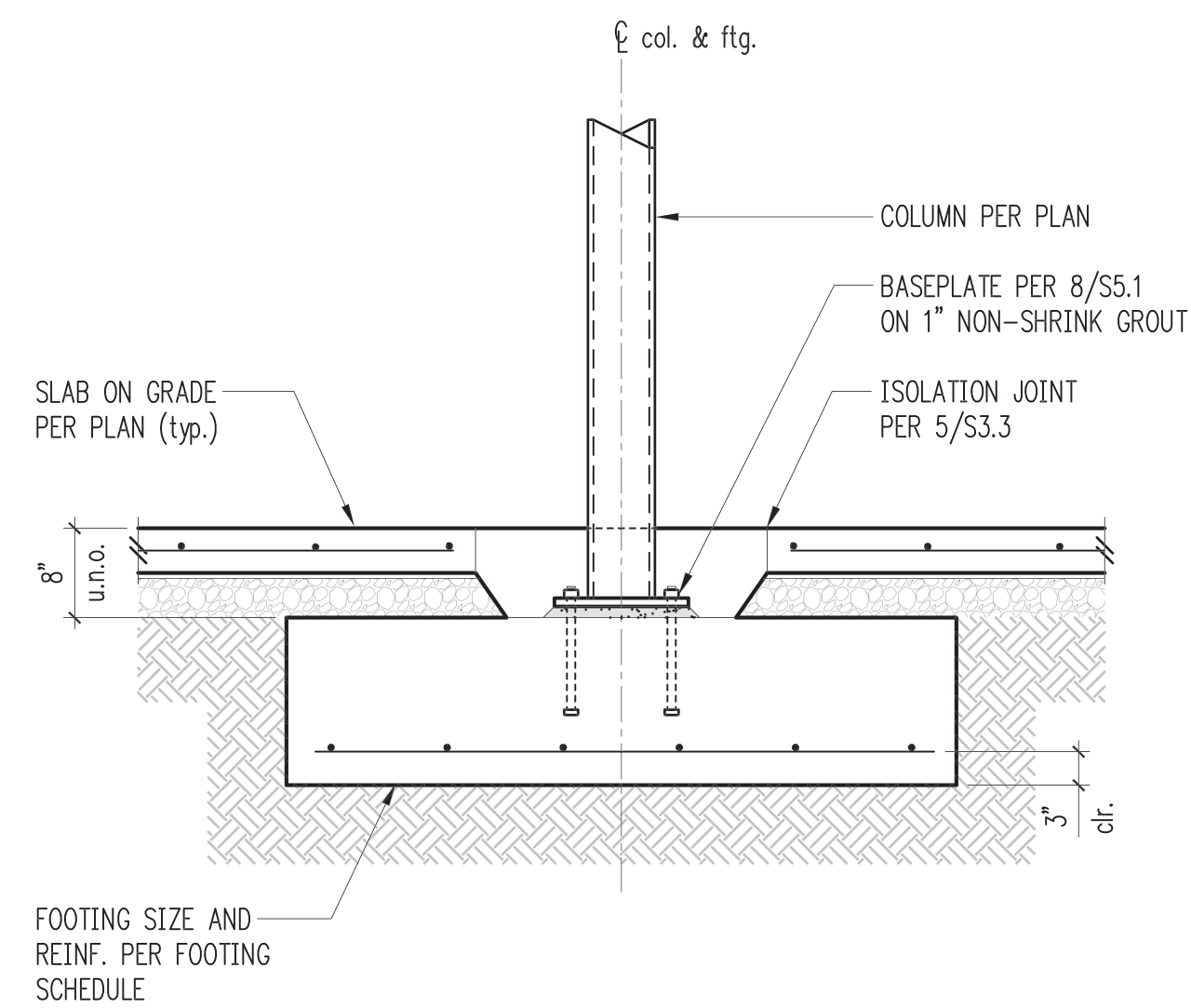
Cored Holes in Existing Concrete Walls

3



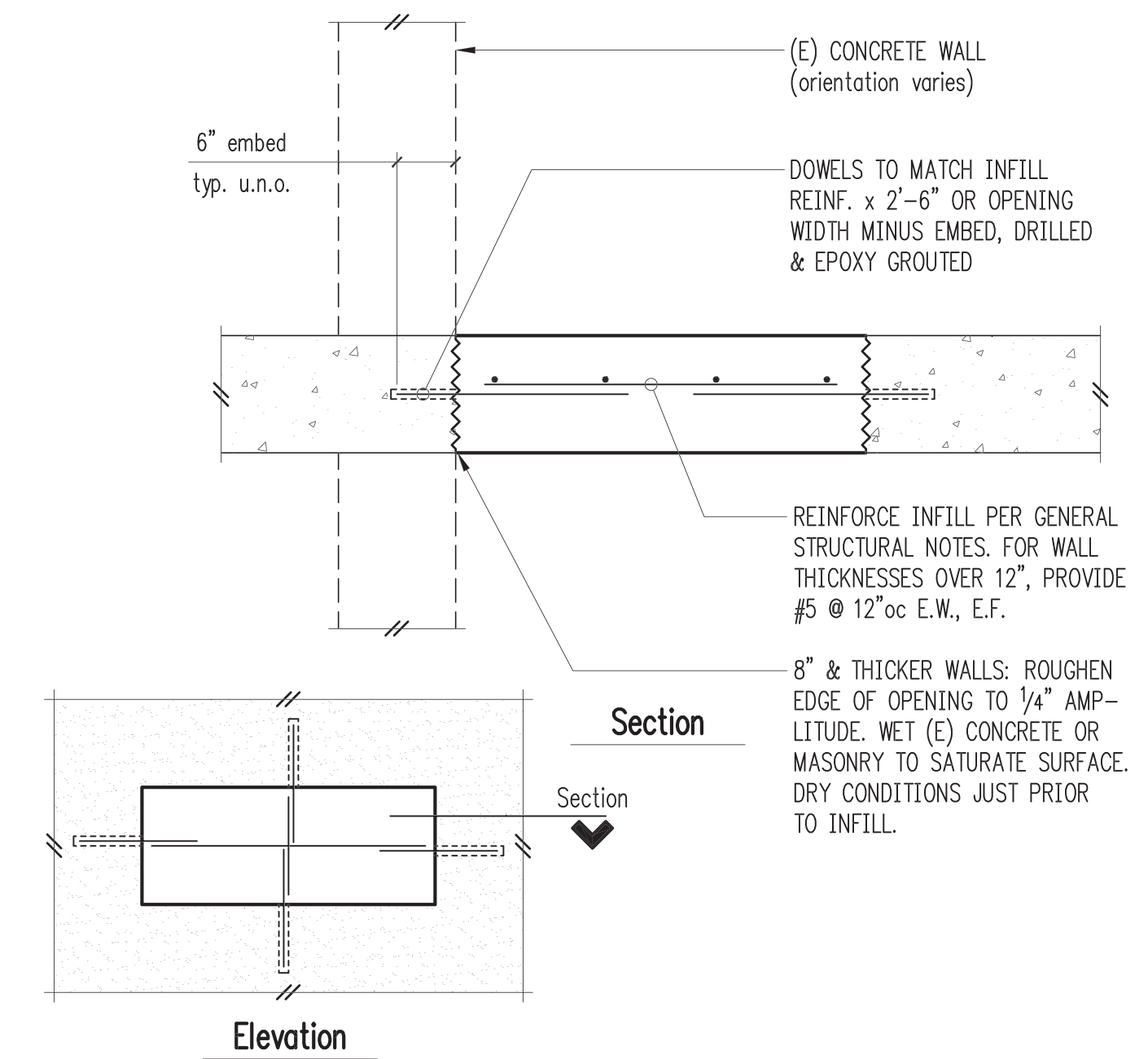
Typical Sawcut Opening in Existing Concrete

4



Typical Interior Column Footing

5



Typical Concrete Infill Wall

6

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CONCRETE
DETAILS

S3.2

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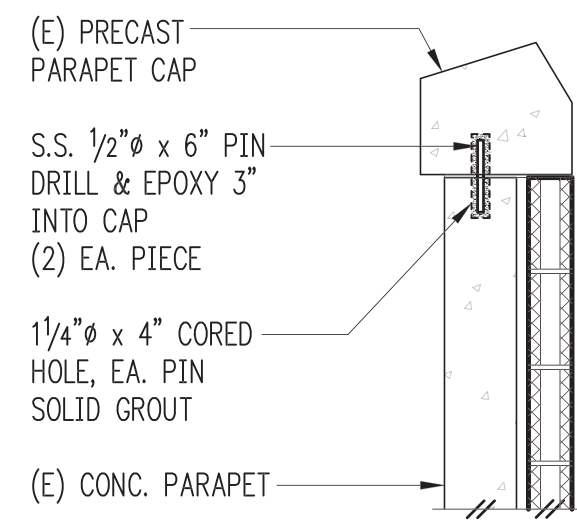
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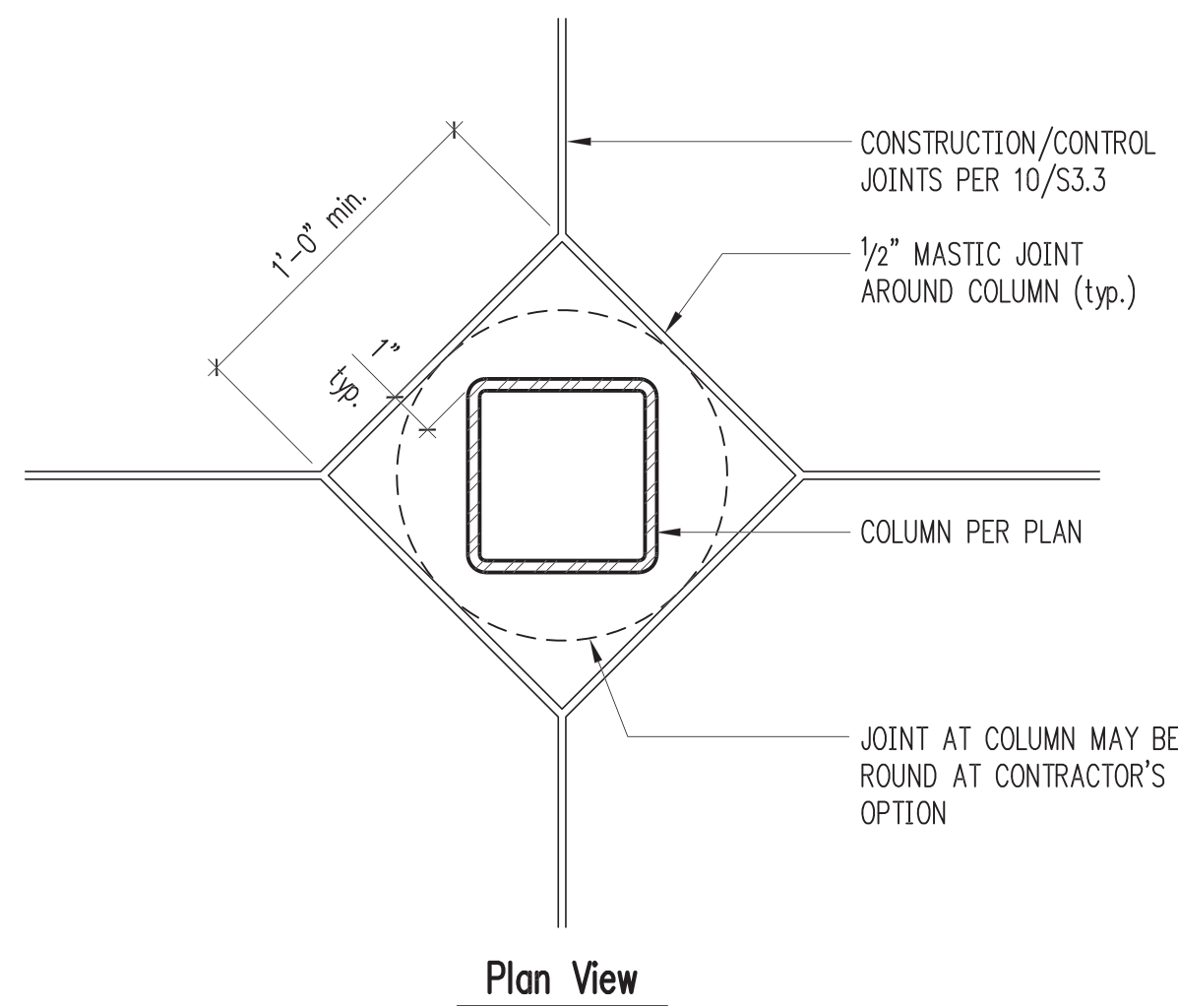


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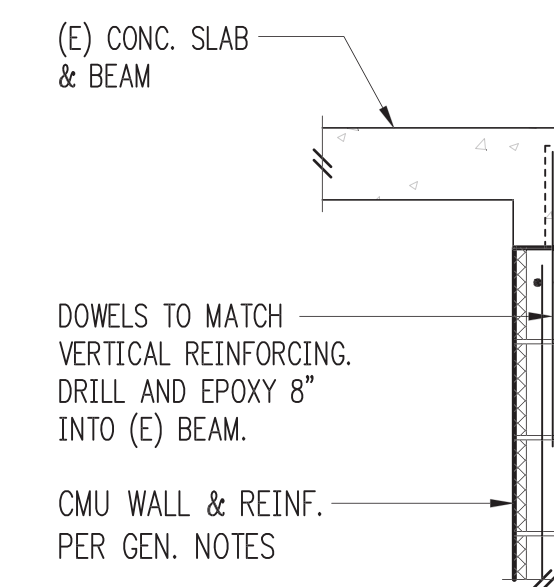


Typical Slab Isolation Joint

5

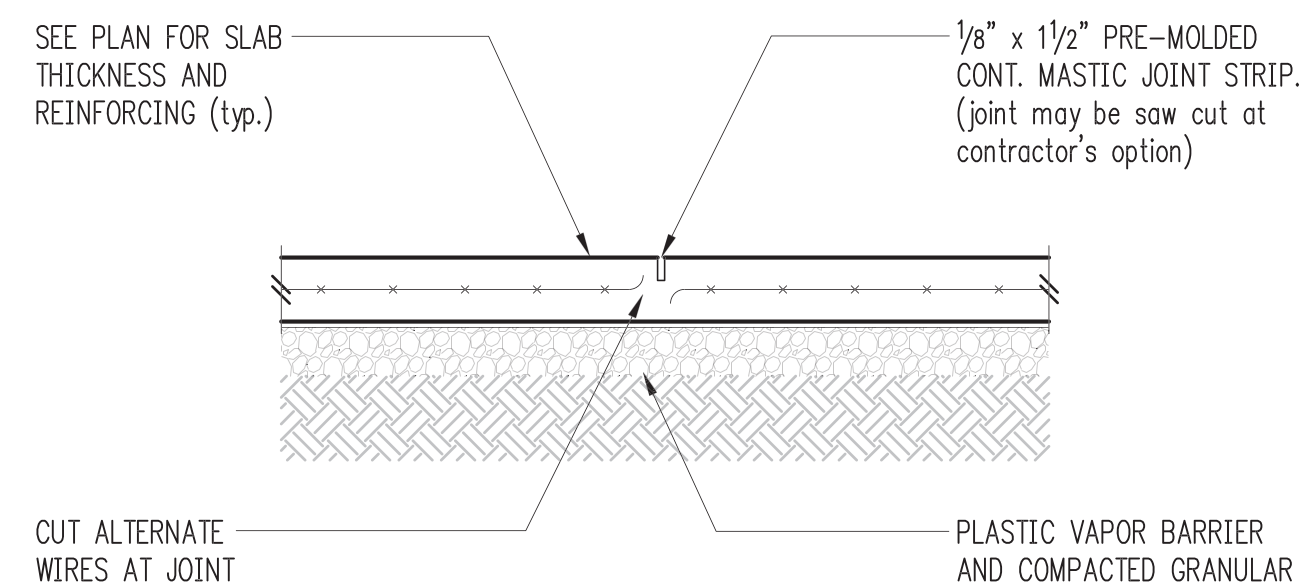
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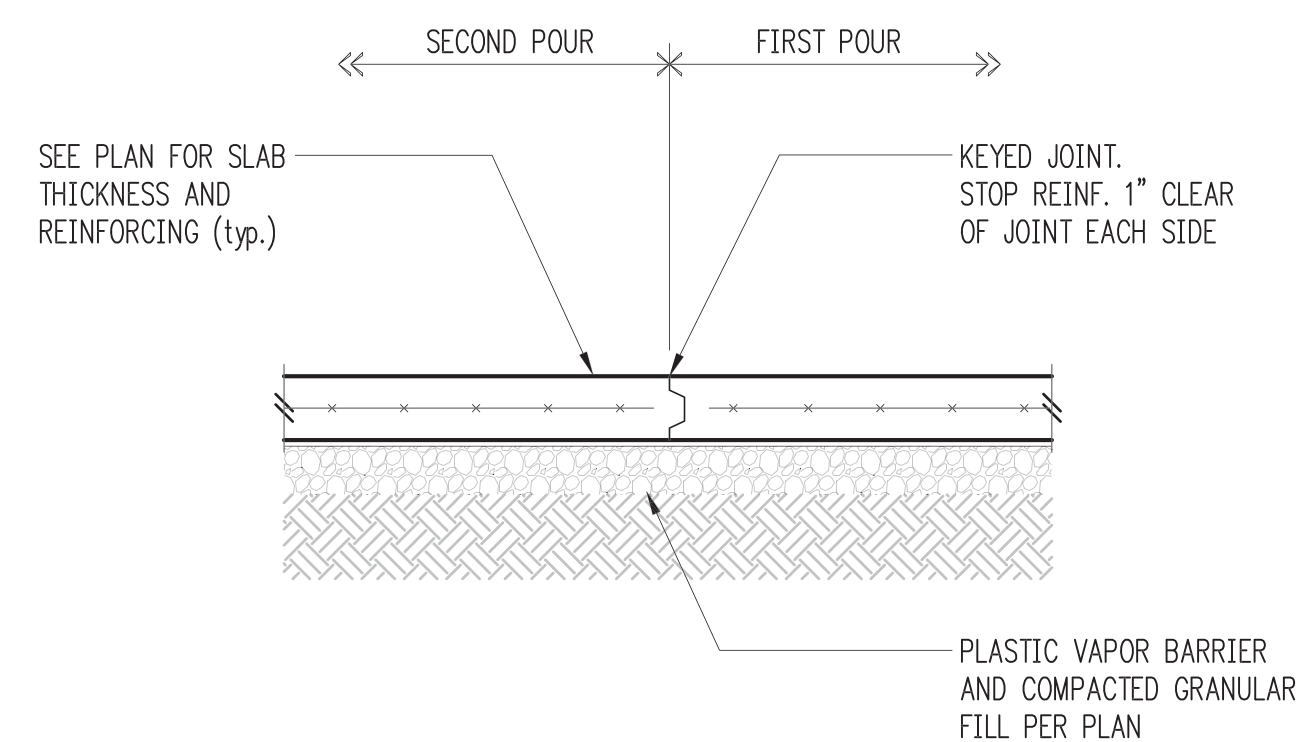


Top of CMU Walls

8



Control Joint



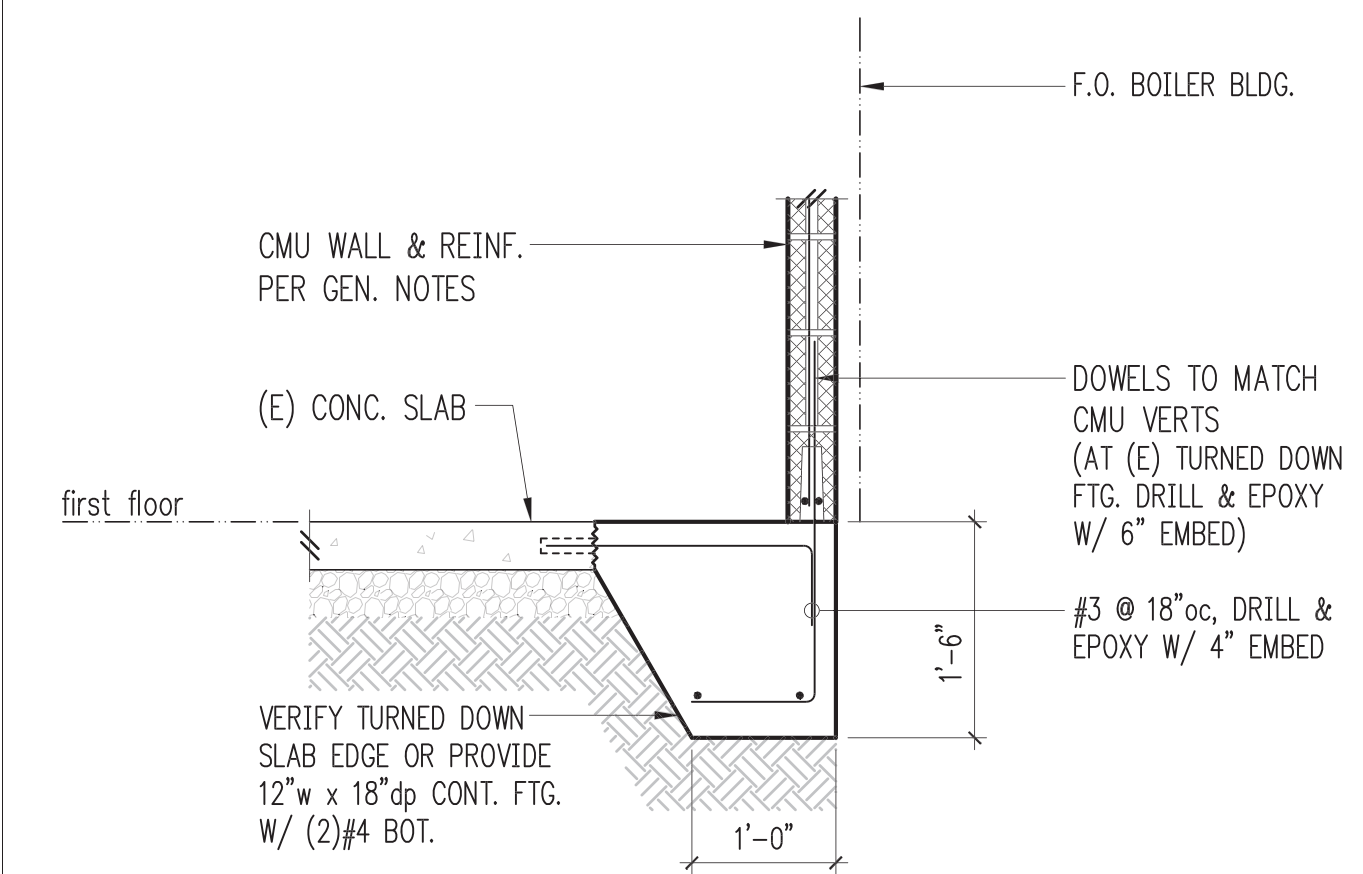
Construction Joint

PROVIDE CONTROL OR CONSTRUCTION JOINTS IN SLABS ON GRADE TO BREAK UP SLAB INTO RECTANGULAR AREAS OF 250 SQUARE FEET OR LESS. AREAS TO BE APPROX. SQUARE AND HAVE NO ACUTE ANGLES. JOINT LOCATIONS TO BE APPROVED BY THE ARCHITECT.

Typical Slab Joints (w.w.m.)

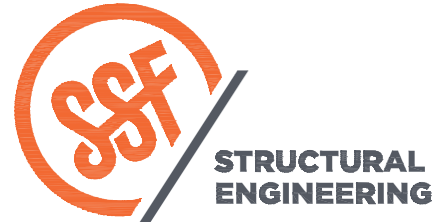
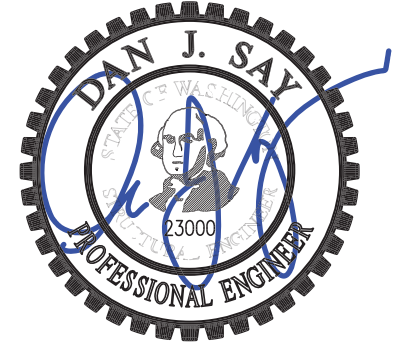
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11



CMU Infill Wall

12



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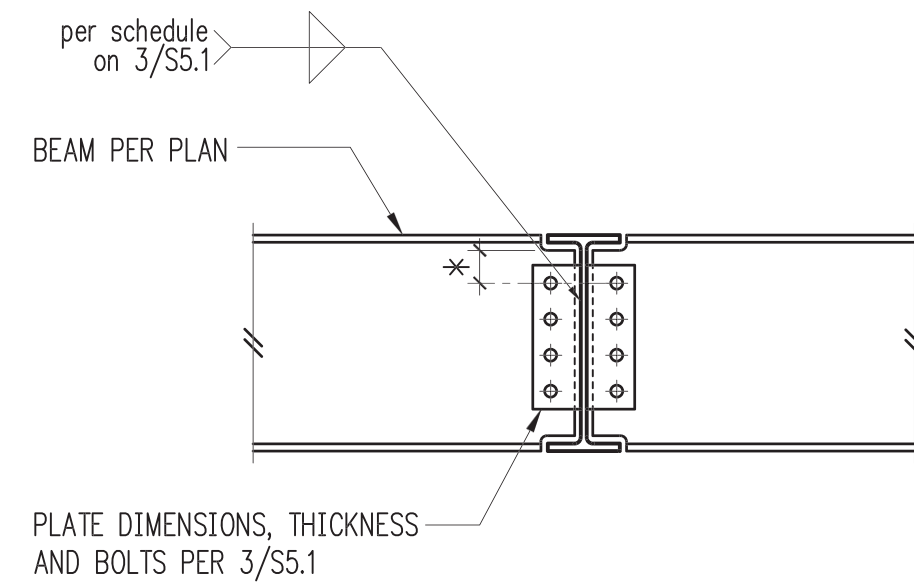


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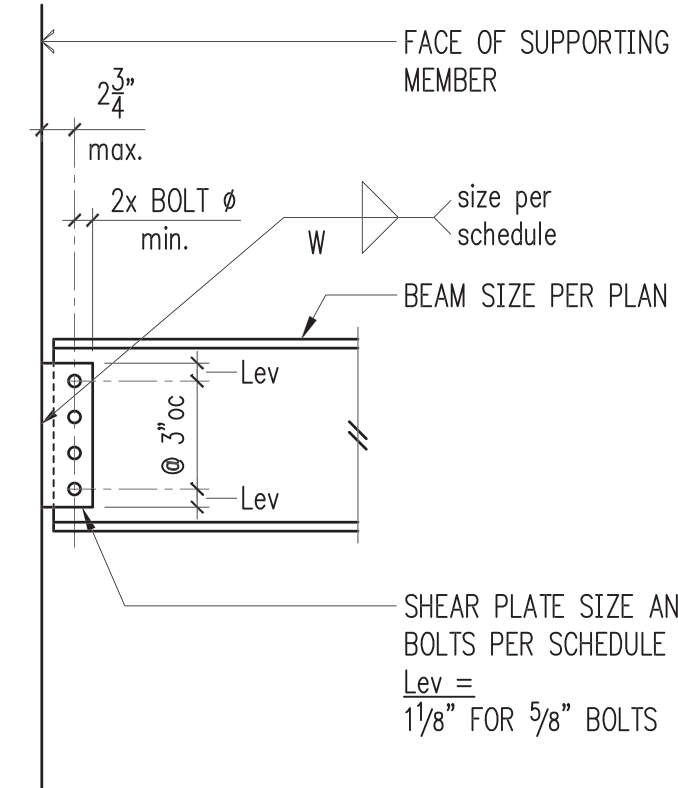
CONCRETE
 DETAILS

S3.3



Beam Size	*
W6, W7, C6, C7	1"
W8, W9, C8, C9	1 1/2"
TYP.	2"

Typical Beam to Beam Connection 1

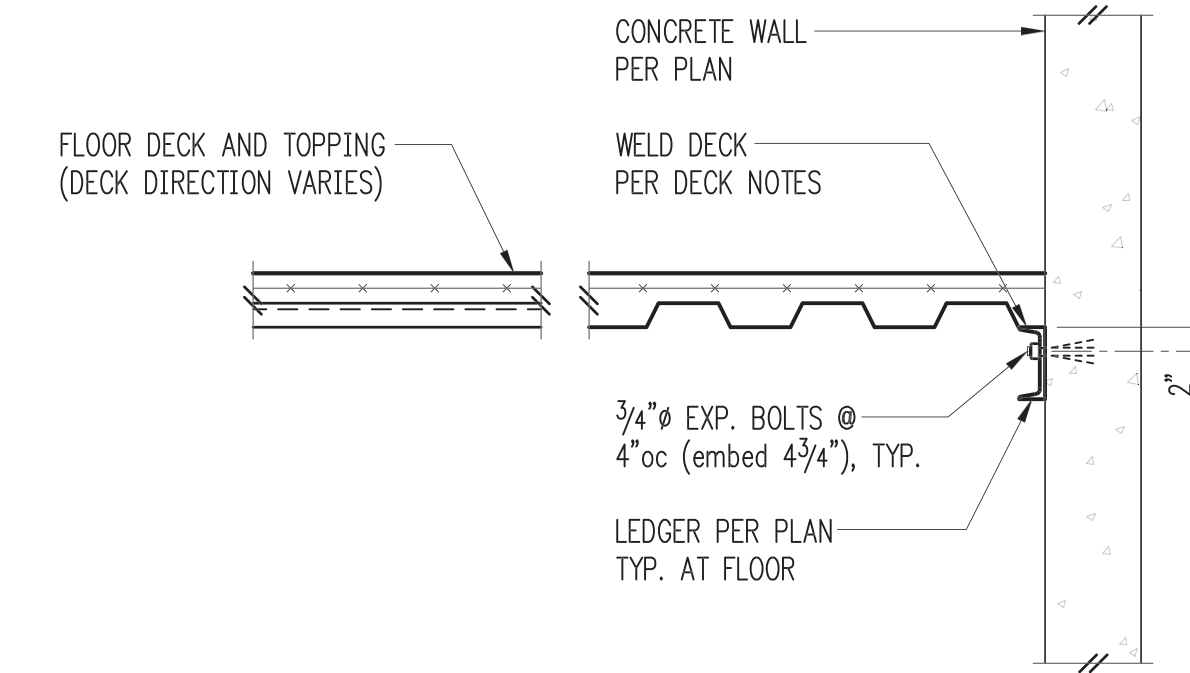


Shear Plate Schedule

Beam Size	No. of Bolts	Bolt Size	Plate Thickness	Weld Size
C12, C15, MC12, W12, W14	3	5/8"ø	1/4"	3/16"

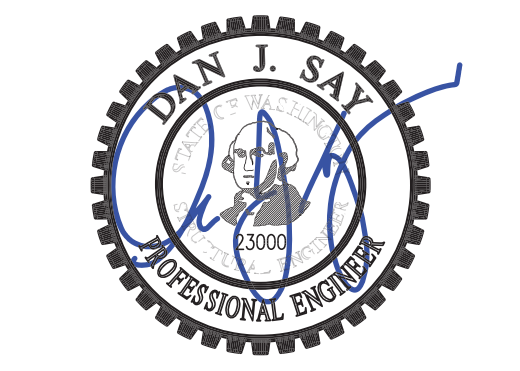
- NOTES:
- STANDARD OR SLOTTED HOLES MAY BE USED.
 - BOLT TYPE A307.
 - Ø MATERIAL - A36
 - SEE EXTENDED Ø DETAIL FOR COLUMN WEB CONNECTIONS.

Typical Single Shear Plate Connection and Schedule 3



- NOTES:
- TYPICAL DECK LEDGER TO OCCUR AT ALL INTERSECTIONS OF FLOOR DECK AND CONCRETE WALLS, U.N.O.
 - SEE PLAN NOTES FOR ADDED BOLTS AT WINDOW JAMBS.

Typical Deck Ledger 4



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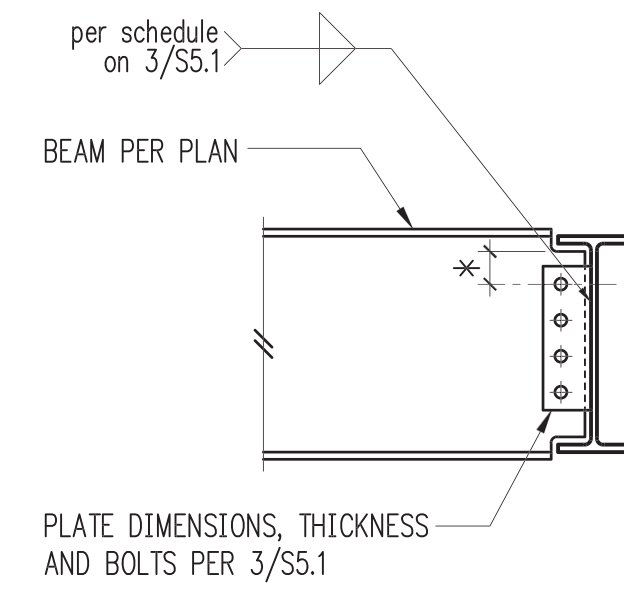
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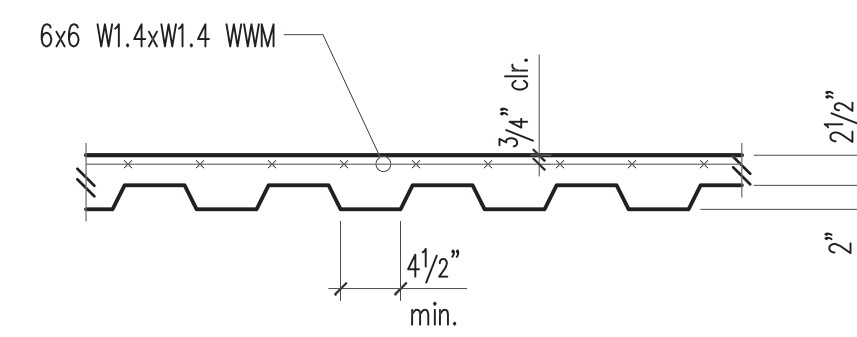
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DETAILS

S5.1



Beam Size	*
W6, W7, C6, C7	1"
W8, W9, C8, C9	1 1/2"
TYP.	2"

Typical Beam to Beam Connection 5



Verco W2 Formlock, G60 Coating w/Following Min. Properties

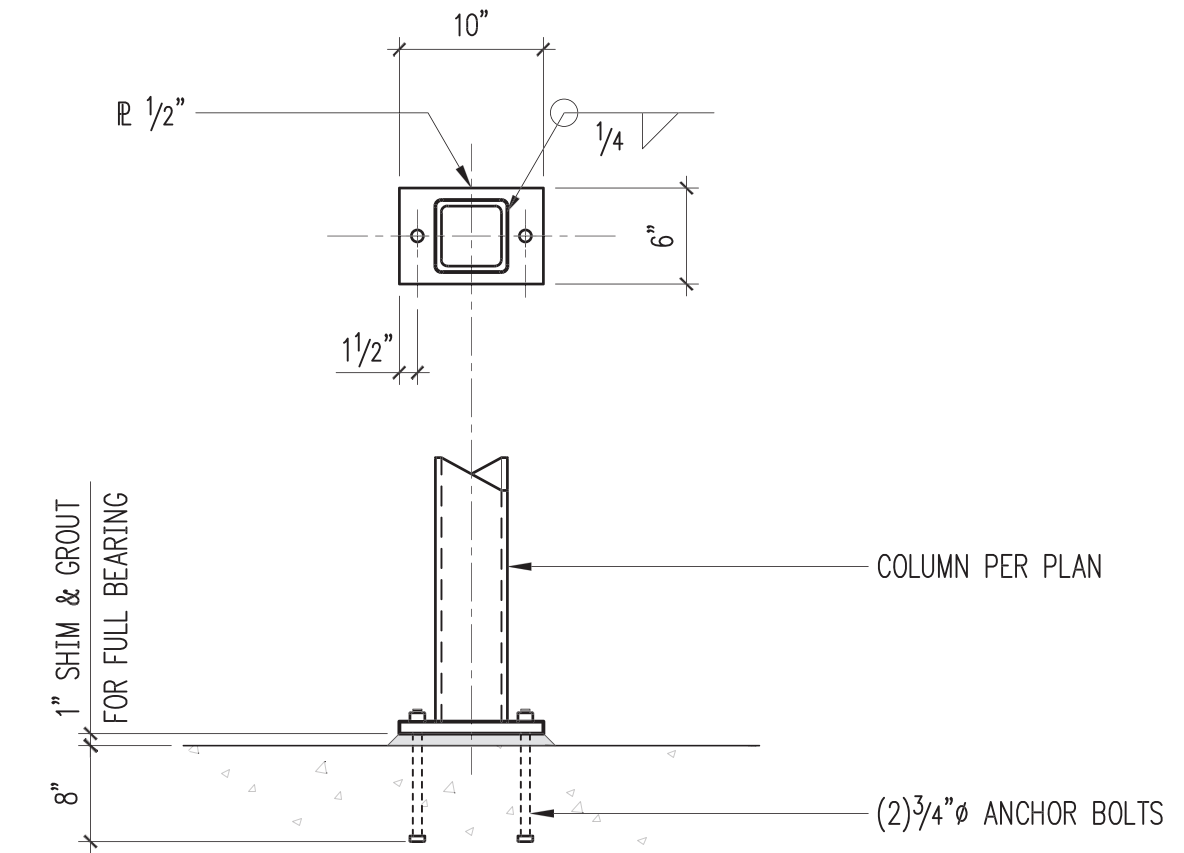
20 GA.
I = .423 in.⁴
S = .361 in.³
F_y = 40 ksi

PANEL WIDTH = 36"

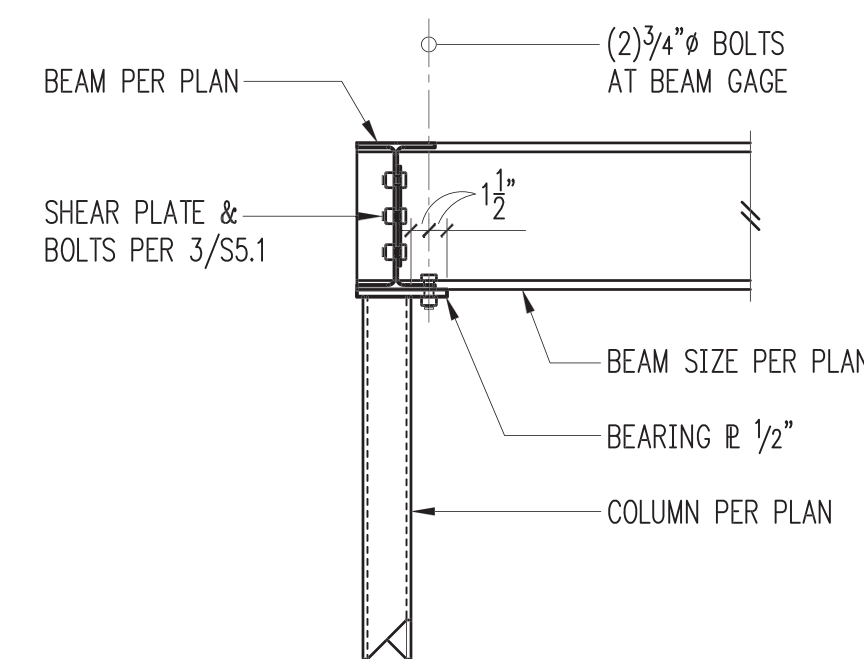
SHEAR CAPACITY REQ'D = 1900 #/ft

- USE 20 GA. DECK AS NOTED TO THE LEFT.
- NOTE 1 ASSUMES SHORING WILL NOT BE USED.
- PROVIDE (4) 1/2" DIAMETER EFFECTIVE PUDDLE WELDS PER SHEET TO ALL SUPPORTS PERPENDICULAR TO DECK FLUTES.
- DECK TYPE MUST STRICTLY MEET CRITERIA LISTED ABOVE INCLUDING RESEARCH REPORT ALLOWABLE SHEAR AND SUPERIMPOSED LOADS. SUBMIT DECK INFORMATION TO ENGINEER PRIOR TO BEGINNING SHOP DRAWINGS.
- AT CONTRACTORS OPTION, .145"ø DRIVE PINS OR SDI RECOGNIZED #10 SELF DRILLING SCREWS MAY BE SUBSTITUTED AT SUPPORTS AND SIDELAP CONNECTIONS.

2" + 2 1/2" Floor Deck 7

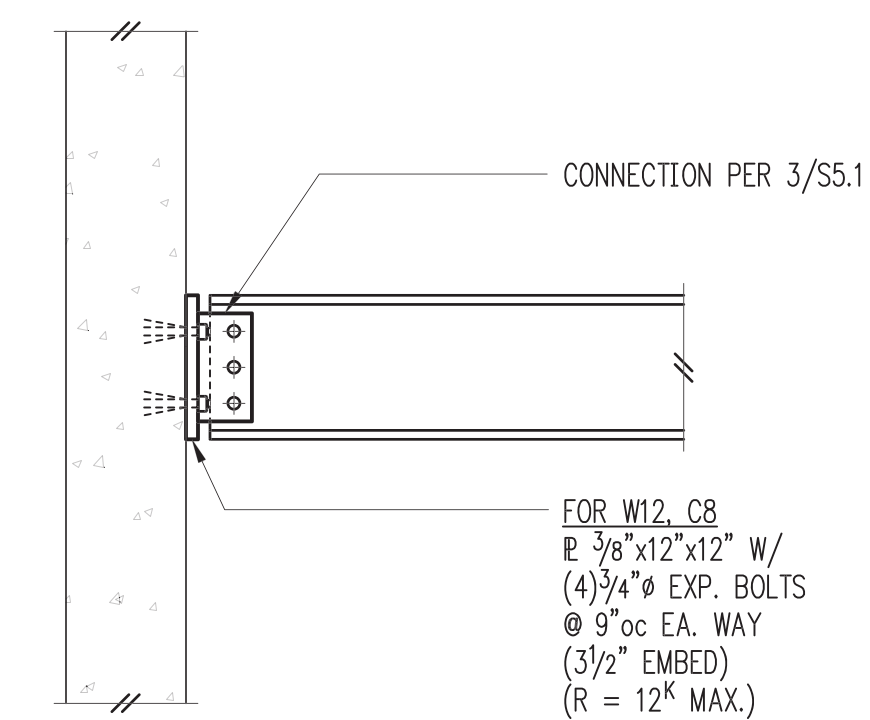


Baseplate - HSS Column 8



NOTE:
BEARING PLATE THICKNESS SHALL BE 3/4" WHERE DEPTH OF SUPPORTED MEMBER EXCEEDS 24"

Typical Beam Bearing on HSS or Pipe Column 11



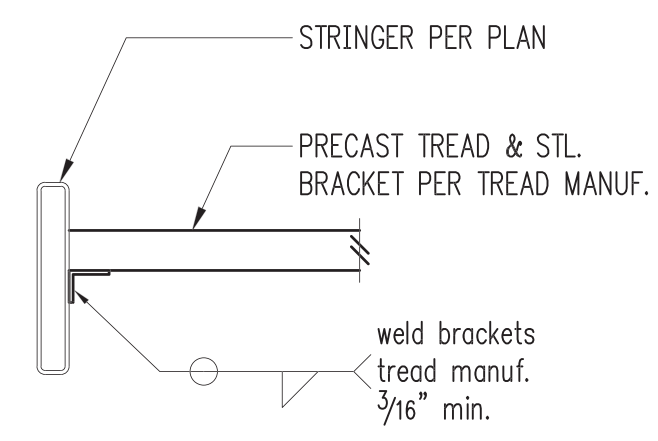
Expansion Bolt Faceplates 12

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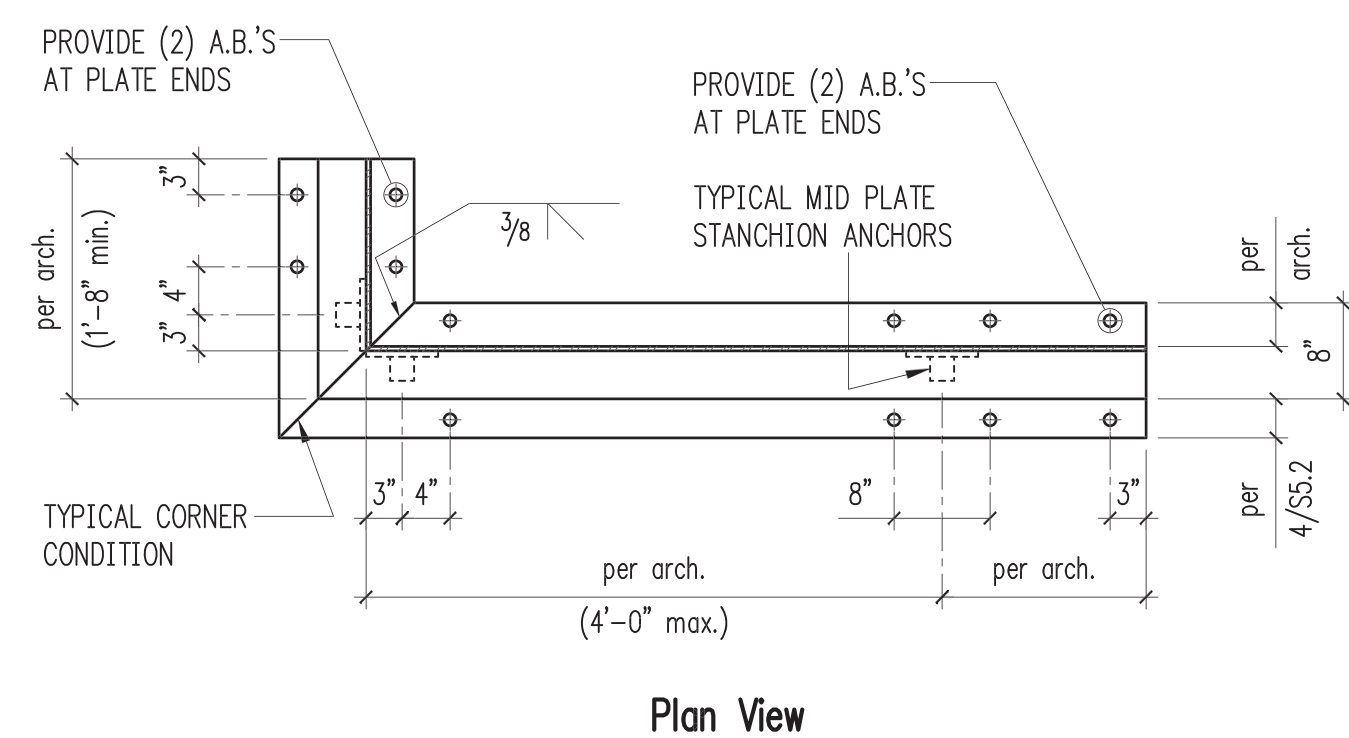
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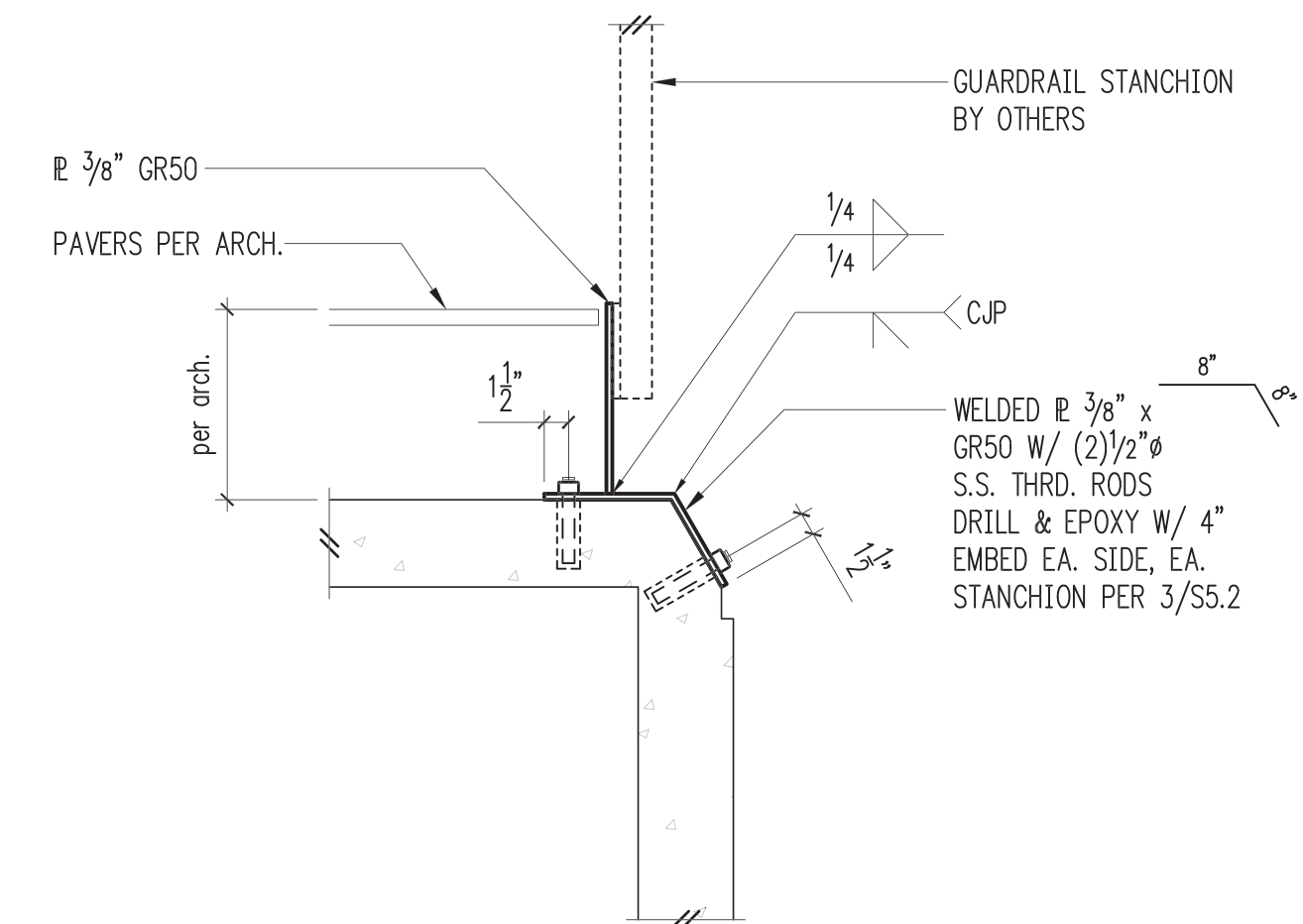


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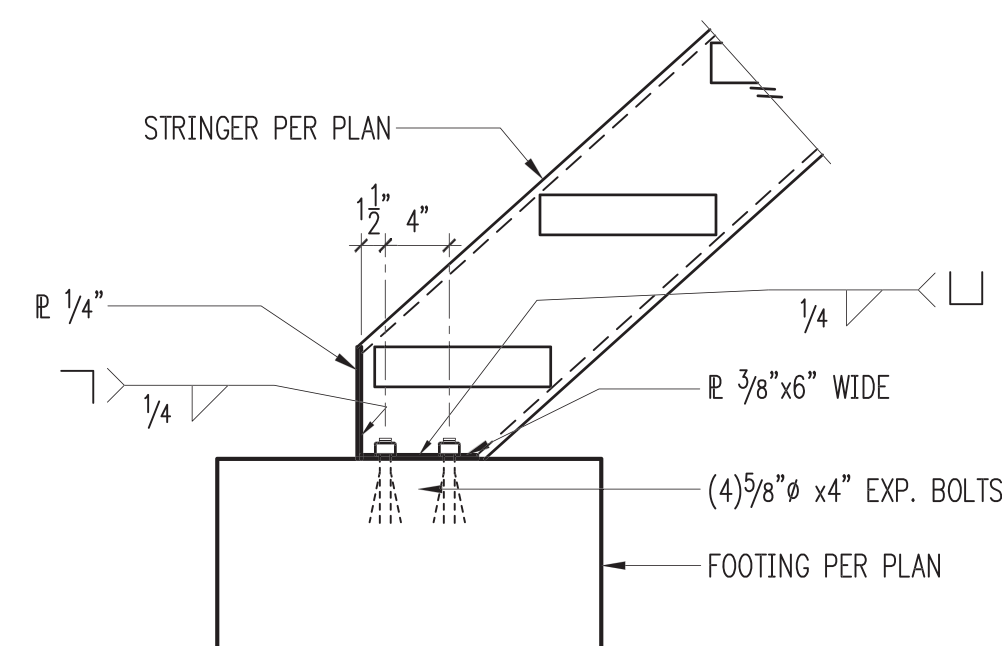
1" = 1'-0"
Typical Stair Tread 2



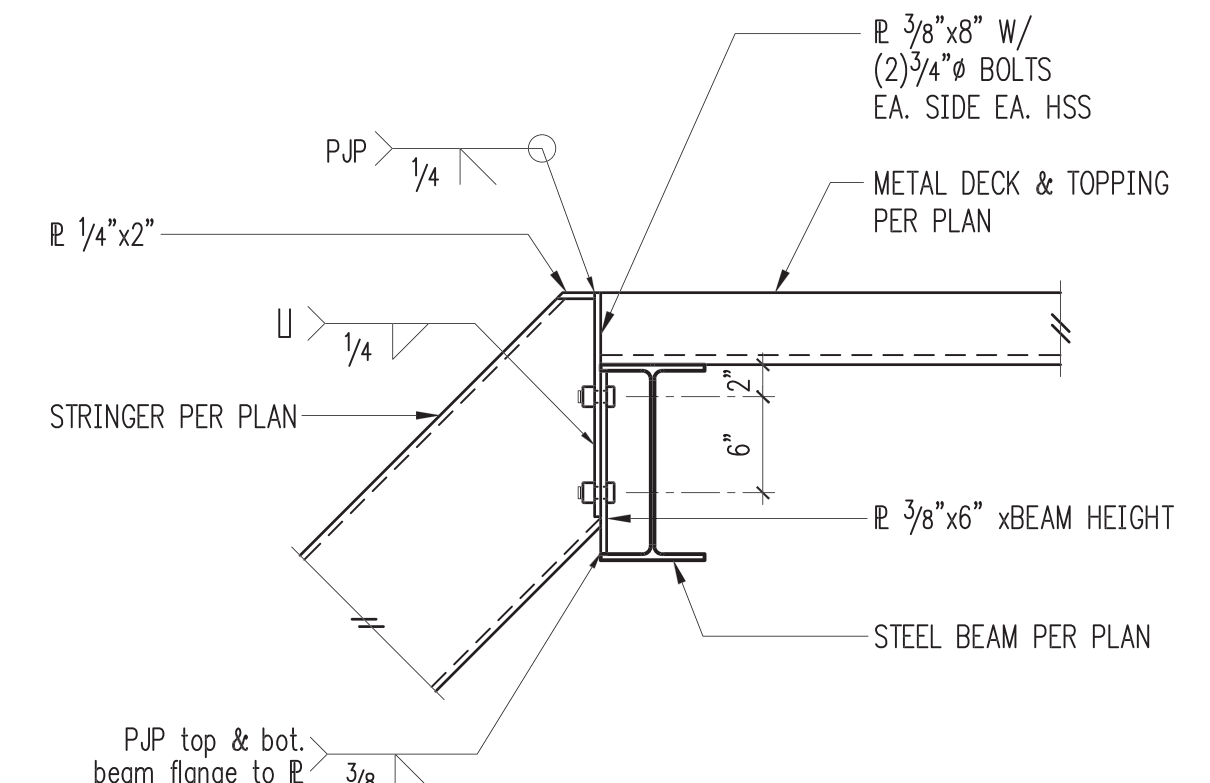
ANCHORS PER 4/S5.2
ADDITIVE ALTERNATE—REFER TO ARCHITECTURAL
Typical Railing Plate 3



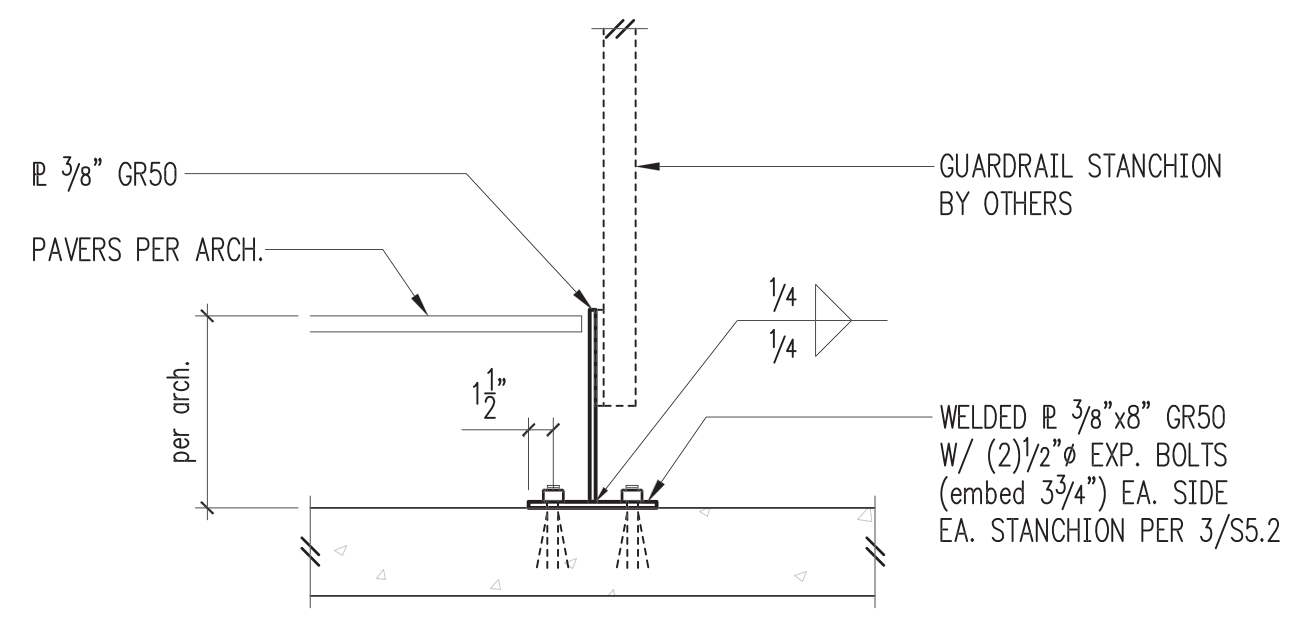
ADDITIVE ALTERNATE—REFER TO ARCHITECTURAL
Exterior Handrail 4



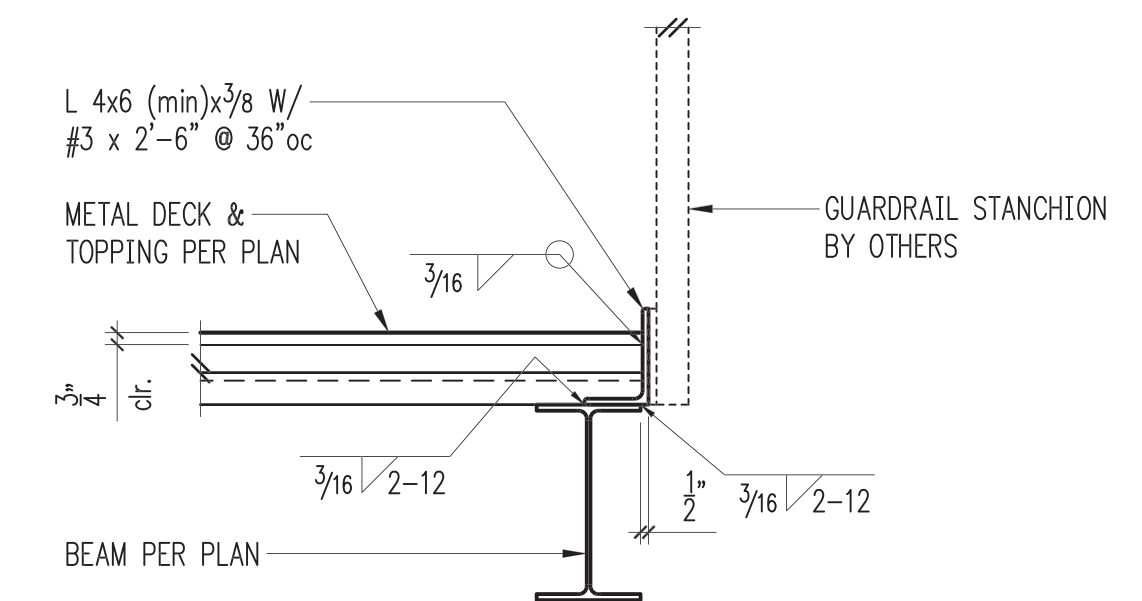
1" = 1'-0"
Bottom of Stair 5



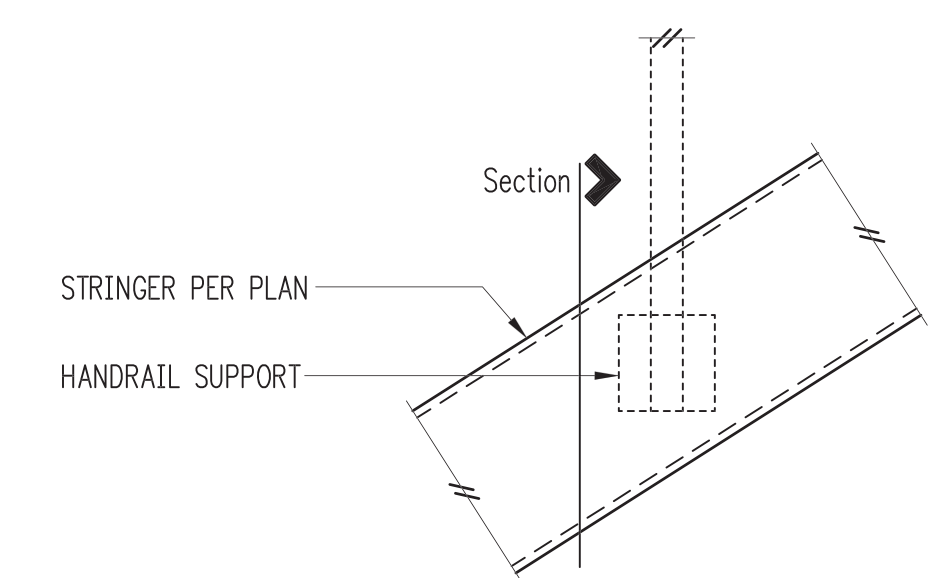
1" = 1'-0"
Top of Stair 6



ADDITIVE ALTERNATE—REFER TO ARCHITECTURAL
Exterior Handrail 7



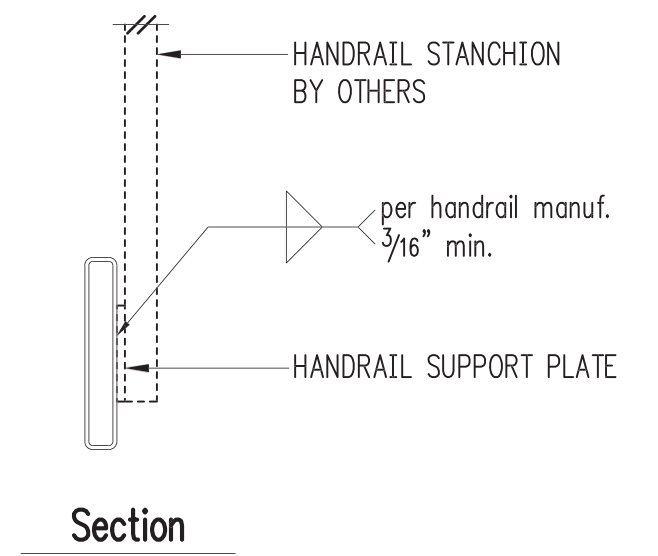
CONTRACTOR TO COORDINATE ANGLE SIZE WITH GUARDRAIL MANUF.
1" = 1'-0"
Interior Handrail 8



9

10

11



1" = 1'-0"
Stair Handrail 12



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STEEL
DETAILS

S5.2

GENERAL LEGEND

	NORTH ARROW
	DETAIL/DRAWING REFERENCE
	SECTION REFERENCE
	CONSTRUCTION NOTE
	REVISION SYMBOL
	POINT OF CONNECTION
	BOLD LINE WEIGHT INDICATES NEW WORK
	LIGHT LINE WEIGHT INDICATES EXISTING WORK
	SLASHED LINE INDICATES EXISTING WORK TO BE DEMOLISHED

PLUMBING LEGEND

	DOMESTIC COLD WATER (CW)
	DOMESTIC HOT WATER (HW)
	DOMESTIC HOT WATER CIRCULATING (HWC)
	SOIL, WASTE (S,W)
	VENT (V)
	PIPING IDENTIFIER, SEE ABBREVIATIONS
	ELBOW DOWN
	ELBOW UP
	TEE
	TEE DN
	TEE UP
	ISOLATION OR SHUT-OFF VALVE (NO), TYPE AS SPECIFIED
	ISOLATION OR SHUT-OFF VALVE (NC), TYPE AS SPECIFIED
	BALL VALVE (NO)
	BALL VALVE (NC)
	BUTTERFLY VALVE (NO)
	BUTTERFLY VALVE (NC)
	GLOBE VALVE (NO)
	GLOBE VALVE (NC)
	THROTTLING VALVE, TYP AS SPECIFIED
	METERING BALANCING VALVE
	CHECK VALVE
	CONTROL VALVE
	PLUG VALVE
	PRESSURE REGULATING VALVE
	PRESSURE REDUCING VALVE
	PRESSURE RELIEF VALVE
	BACKFLOW PREVENTER
	CAP
	BLIND FLANGE
	EXPANSION JOINT
	REDUCER
	PRESSURE GAUGE
	STRAINER
	UNION
	PRESSURE/TEMPERATURE TAP
	TEMPERATURE GAUGE

PLUMBING ABBREVIATIONS

AW	ACID WASTE
A	AIR, COMPRESSED AIR
BOP	BOTTOM OF PIPE
C	CONDENSATE
CA	COMPRESSED AIR
CI	CAST IRON
CF	CHEMICAL FEED
CIRC	CIRCULATING
CW	CITY WATER; DOMESTIC COLD WATER
CO	CLEAN OUT
CA	COMPRESSED AIR
DI	DEIONIZED WATER
DW	DISTILLED WATER
DOM	DOMESTIC
DR	DOOR; DRAIN
DF	DRINKING FOUNTAIN
ES	EMERGENCY SHOWER
FCO	FLOOR CLEAN OUT
FD	FLOOR DRAIN
FPHB	FREEZE PROOF HOSE BIBB
GPH	GALLONS PER HOUR
HB	HOSE BIBB
HW	DOMESTIC HOT WATER
HWC	DOMESTIC HOT WATER CIRCULATING
IPC	INTERNATIONAL PLUMBING CODE
IW	INDIRECT WASTE
JAN	JANITOR
L	LAVATORY
MV	MEDICAL VACUUM
N	NITROGEN
NG	NATURAL GAS
NO	NITROUS OXIDE; NUMBER
NPW	NON-POTABLE WATER
O	OXYGEN
PC	PUMPED CONDENSATE
PLBG	PLUMBING
PNEU	PNEUMATIC
PRV	PRESSURE REDUCING VALVE
RWL	RAIN WATER LEADER
RECIRC	RECIRCULATING
RD	ROOF DRAIN
S	SOIL
SS	SANITARY SEWER; SERVICE SINK; STAINLESS STEEL
SD	STORM DRAIN
UPC	UNIFORM PLUMBING CODE
V	VENT
VA	VALVE
VAC	VACUUM
VB	VACUUM BREAKER
VTR	VENT THRU ROOF
W	WASTE; WATER; WIDE(DIM)
WC	WATER CLOSET
WFS	WATER FLOW SWITCH
Y	WYE

PLUMBING GENERAL NOTES

1. PROVIDE COMPLETE SUPPORTS, SEISMIC AND RESTRAINTS FOR ALL PIPES AND EQUIPMENT PER SPECIFICATIONS, AS REQUIRED, AND AS SHOWN ON THE DRAWINGS.
2. PROVIDE ALL REQUIRED MISCELLANEOUS STRUCTURAL STEEL, SUPPORTS, ATTACHMENTS, AND ANCHORAGES.
3. PROVIDE ANCHOR BOLTS OF SIZE, TYPE, AND LENGTH AS REQUIRED TO SATISFY THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS, THE SPECIFICATIONS, AND AS INDICATED ON DRAWINGS.
4. PROVIDE ADDITIONAL MISCELLANEOUS STRUCTURAL MEMBERS BETWEEN STRUCTURAL ELEMENTS AS REQUIRED TO RESIST FORCES AND MEET DEFLECTION REQUIREMENTS. ALL MISCELLANEOUS STRUCTURAL MEMBERS AND ANCHORAGES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF WASHINGTON. NO WELDING, BOLTING, OR OTHER MEANS OF ATTACHMENT FOR SUPPORT OR RESTRAINT SHALL BE MADE ON PORTIONS OF STRUCTURAL MEMBERS AT OR NEAR CONNECTIONS BETWEEN STRUCTURAL MEMBERS OR ON ELEMENTS DESIGNATED IN THE SEISMIC LOAD RESISTING SYSTEM UNLESS APPROVED BY THE CONTRACTING OFFICER.
5. PROVIDE MISCELLANEOUS STRUCTURAL STEEL SHOP DRAWINGS AND CALCULATIONS FOR REVIEW BY THE CONTRACTING OFFICER. ALL REQUIRED MISCELLANEOUS STRUCTURAL MEMBERS, BOLTS, AND WELDS SHALL BE DESIGNED AND MEET REQUIREMENTS OF THE SPECIFICATIONS.



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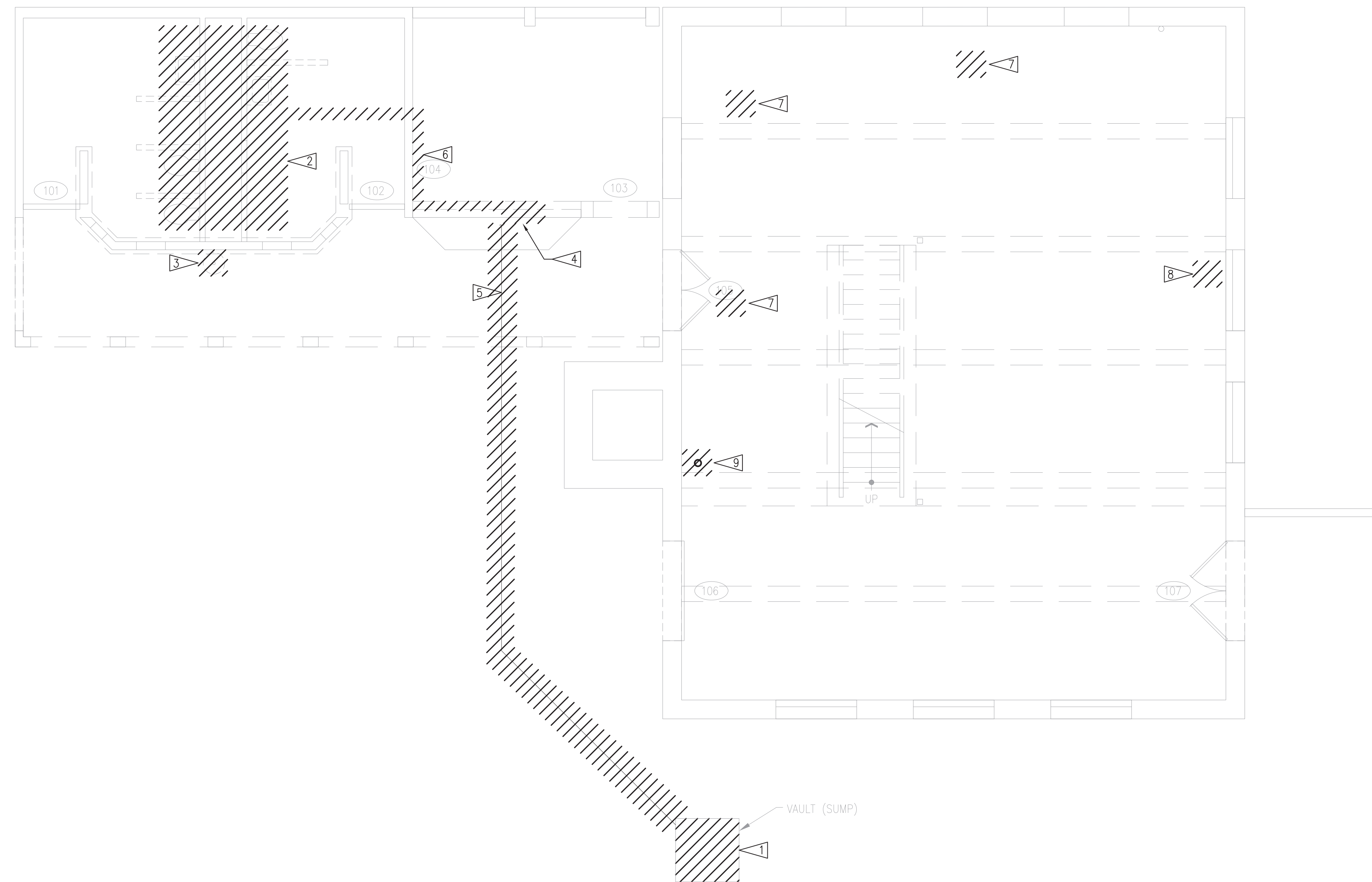
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PLUMBING LEGEND,
ABBREVIATIONS AND
GENERAL NOTES

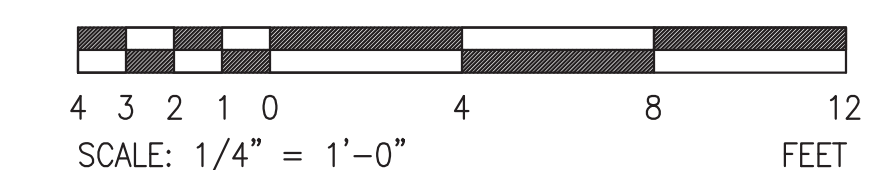
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DEMOLITION NOTES

- 1 REMOVE SUMP PUMP AND ALL ASSOCIATED PIPING, FLOATS, VALVES, AND PIPING APPURTENANCES.
- 2 REMOVE ALL PLUMBING FIXTURES, ABOVE AND BELOW GROUND PIPING, VALVES, AND PIPING APPURTENANCES.
- 3 REMOVE DRINKING FOUNTAIN AND HOSE BIB.
- 4 REMOVE FLOOR SINK AND HOSE BIB. REMOVE CW PIPING FOR HOSE BIB. CAP EXISTING 2" CW PIPING ABOVE FLOOR FOR INSTALL PHASE.
- 5 REMOVE WASTE PIPING.
- 6 REMOVE CW PIPING RUNNING FROM PIPE CHASE.
- 7 REMOVE FLOOR DRAINS, CAP MIN. 8" BELOW TOP OF NEW SLAB.
- 8 REMOVE (2) EXISTING PIPES, CAP MIN. 8" BELOW TOP OF NEW SLAB.
- 9 REMOVE ROOF DRAIN AND PIPE.



1 PLUMBING FIRST FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"



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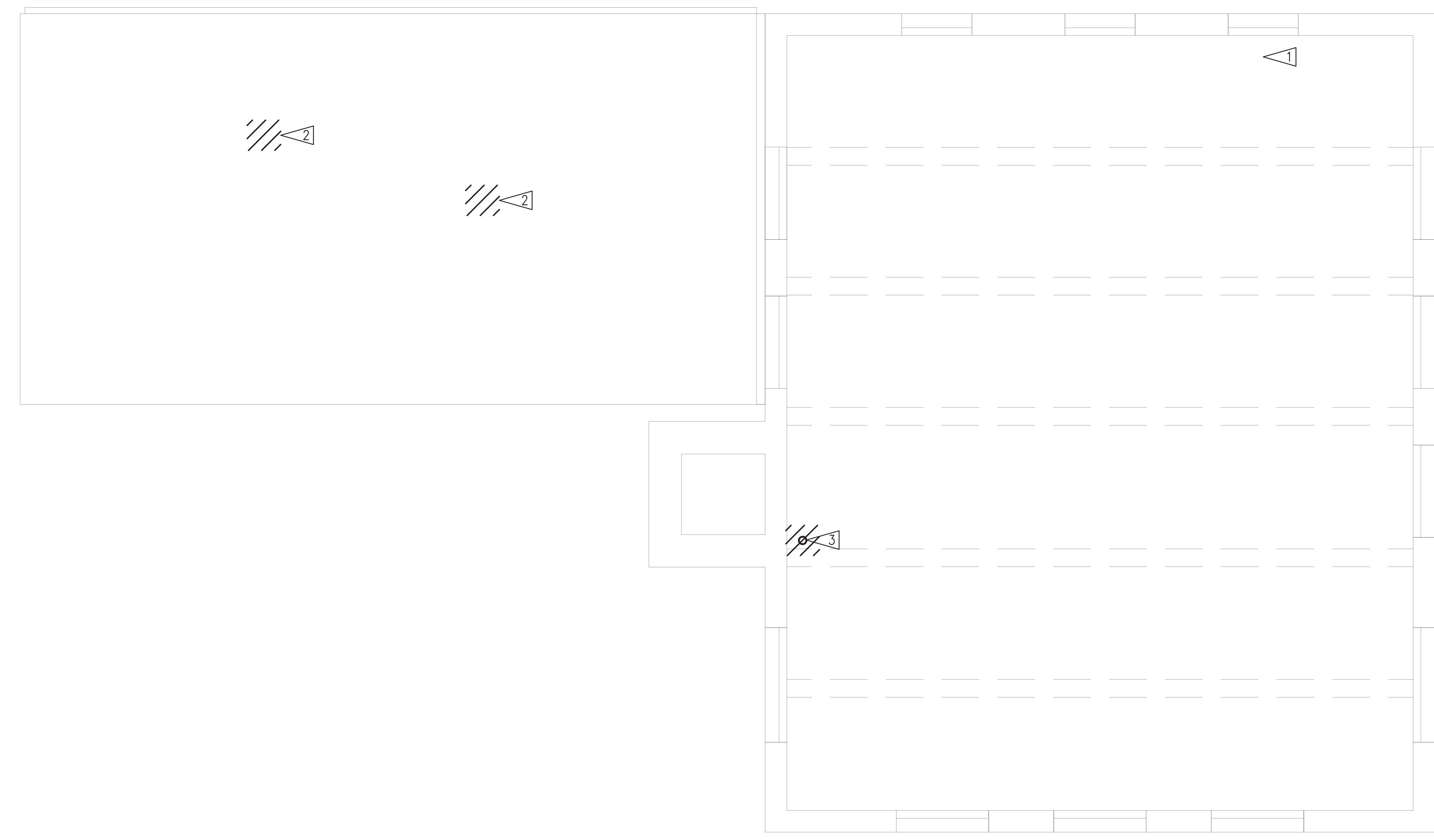
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FIRST FLOOR
DEMO PLAN

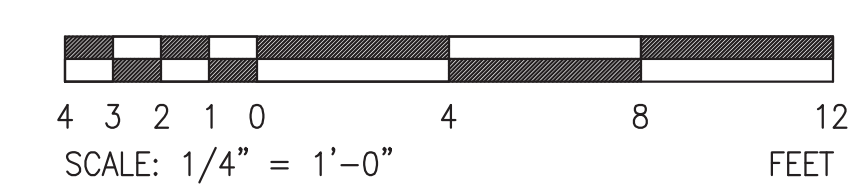
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DEMOLITION NOTES

- 1 REMOVE VENT IF VENT IS LESS THAN 3".
- 2 REMOVE VENT, SEAL PENETRATION.
- 3 REMOVE EXISTING ROOF DRAIN AND PIPE.



1 PLUMBING SECOND FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"



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PLUMBING
SECOND FLOOR
DEMO PLAN

PD2.0



PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE DESCRIPTION	BRANCH PIPE SIZE - INCHES DIA.				ADDITIONAL COMPONENTS	BASIS OF DESIGN		REMARKS
		COLD WATER	HOT WATER	WASTE	VENT		MANUFACTURER	MODEL	
LAV-1	WALL-HUNG SINGLE-BASIN LAVATORY	1/2"	1/2"	1 1/2"	1 1/4"	INTEGRATED FAUCET; MOUNT WITH JAY R. SMITH CONCEALED SUPPORT PROVIDE WITH ACORN HOT & COLD FREEZE RESISTANT RECESSED BOX	ACORN MERIDIAN	3711	ADA COMPLIANT STAINLESS STEEL
WC-1	WALL-HUNG WATER CLOSET (FLUSH VALVE)	1"	-	4"	2"	SLOAN ROYAL FLUSH VALVE; VACUUM BREAKER TRAP PRIMER; BEMIS ELONGATED OPEN-FRONT SEAT, PROVIDE WITH ACORN HOT & COLD FREEZE RESISTANT RECESSED BOX	ACORN MERIDIAN	2141	ADA COMPLIANT STAINLESS STEEL
UR-1	WALL-HUNG URINAL	3/4"	-	2"	1 1/2"	SLOAN ROYAL FLUSH VALVE; VACUUM BREAKER TRAP PRIMER; MOUNT WITH JAY R. SMITH CONCEALED SUPPORT, PROVIDE WITH ACORN HOT & COLD FREEZE RESISTANT RECESSED BOX	ACORN	2158	ADA COMPLIANT STAINLESS STEEL
DF-1	DRINKING FOUNTAIN & BOTTLE FILLER	1/2"	-	1 1/4"	1 1/4"	-FRA2: FREEZE RESISTANT VALVE	MURDOCK	GYE14-R-FRA2-316	ADA COMPLIANT STAINLESS STEEL DRINKING FOUNTAIN WITH BOTTLE FILLER
FD-1	FLOOR DRAIN	-	-	2"	1 1/2"	ROUND NICKEL-BRONZE STRAINER, NO-HUB OUTLET AND TRAP PRIMER CONNECTION	JAY R. SMITH	2005Y	
KS-1	SINGLE COMPARTMENT KITCHEN SINK	1/2"	1/2"	2"	1 1/2"	FAUCET: ELKAY #LK940AT08L2S DRAIN: ELKAY #LK-99 (WITH REMOVABLE STRAINER BASKET)	ELKAY	#14-1C16X20-OX	
HB-1	FREEZE-PROOF HOSE BIB	3/4"	-	-	-		JAY R. SMITH	#5609QT	1/4 TURN NON FREEZE WALL HYDRANT WITH INTEGRAL VACUUM BREAKER
RD-1	ROOF & OVERFLOW DRAIN	-	-	VARIES	-	NO-HUB OUTLET	ZURN	#Z165	

PUMP SCHEDULE

CALLOUT		LOCATION	SERVICE	PUMP					FLUID		MOTOR			ELECTRICAL			BASIS OF DESIGN		NOTES
TYPE	MARK			TYPE	SOLIDS SIZE (IN)	RPM	FLOW (GPM)	TOTAL HEAD (FT)	TYPE [1]	TEMP (DEG F)	SPEED	HP	BHP	V	HZ	Ø	MANUFACTURER	MODEL	
P	1	VAULT	VAULT SUMP	DUPLEX SUMP	2	3450	30	70	WATER	60	1750	5	3.35	230	60	1	KEEN	K3RH	[1] [2]

SCHEDULE NOTES:
 [1] STAINLESS STEEL CONSTRUCTION
 [2] PROVIDE WITH REMOVAL SYSTEM, FLOATS, ALARM, AND CONTROL PANEL.

WATER HEATER SCHEDULE

CALLOUT		SERVICE	LOCATION	TYPE	CAPACITY (GPM)	TEMP RISE (F)	ELECTRICAL					BASIS OF DESIGN		REMARKS
TYPE	MARK						INPUT KW	AMPS	V	HZ	Ø	MANUFACTURER	MODEL	
IWH	1	CONCESSIONS HW	CONCESSIONS	POINT OF USE	1	51	7.5	32	240	60	1	EEMAX	SPEX75T S	
IWH	2	MENS RESTROOM HW	PIPE CHASE	POINT OF USE	1	51	7.5	32	240	60	1	EEMAX	SPEX75T ML	
IWH	3	WOMENS RESTROOM HW	PIPE CHASE	POINT OF USE	1	51	7.5	32	240	60	1	EEMAX	SPEX75T ML	

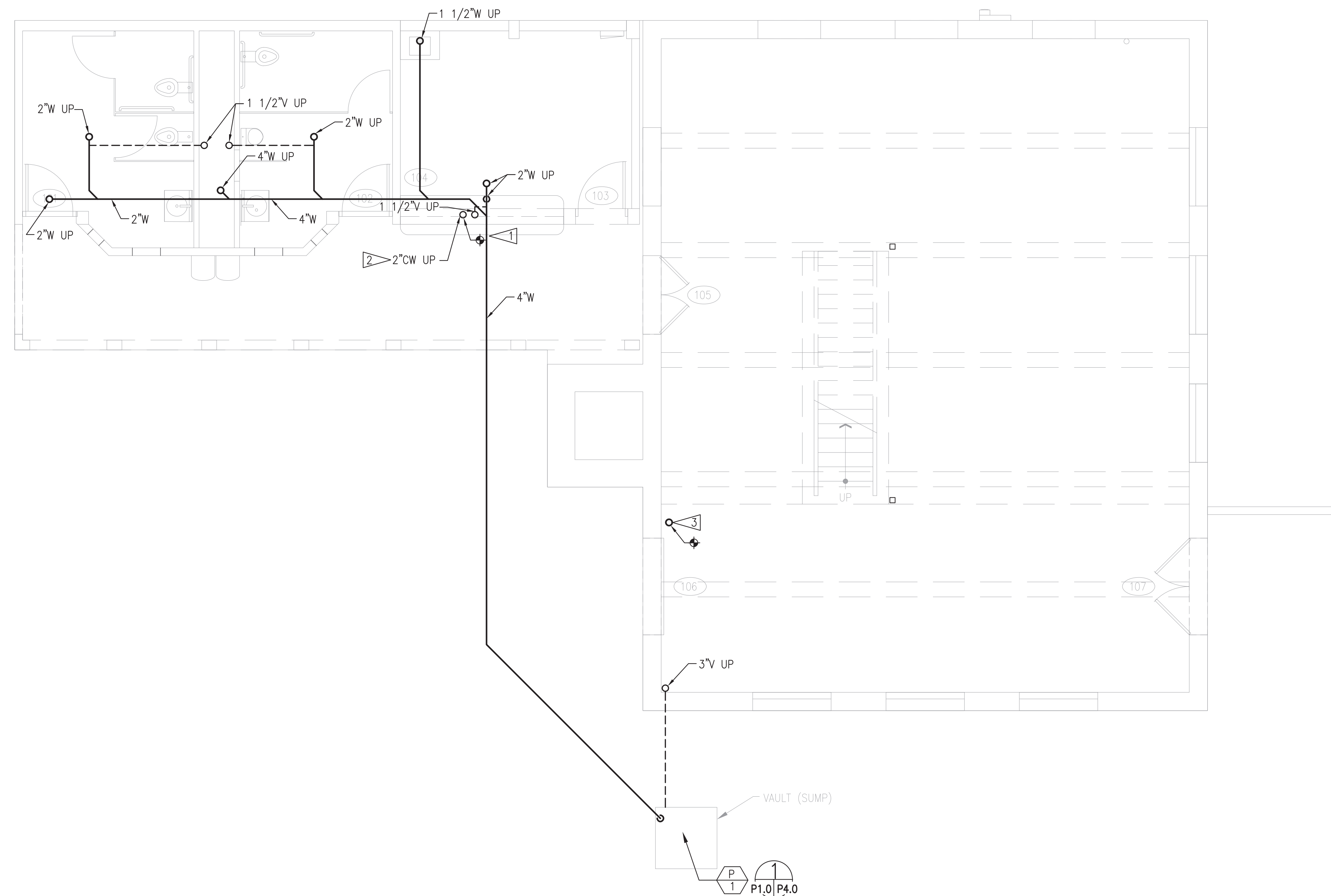
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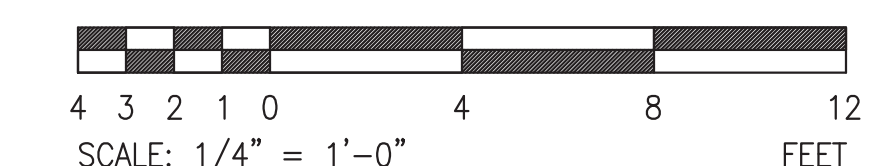
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 PLUMBING SCHEDULES

CONSTRUCTION NOTES

- 1 PROVIDE 4" WASTE PIPING TO SUMP.
- 2 PROVIDE CW PIPING BY ATTACHING TO EXISTING CW PIPE AT FLOOR LEVEL.
- 3 PROVIDE ROOF DRAIN PIPE. CONNECT TO EXISTING SUB-SLAB DRAIN LINE.



PLUMBING UNDERGROUND PLAN
 SCALE: 1/4" = 1'-0"



REVISIONS

NO.	DESCRIPTION

**LUTHER BURBANK PARK
 BOILER BUILDING
 PHASE LBB1**
 2040 84TH AVENUE SE
 MERCER ISLAND, WA 98040

CARDINAL
 ARCHITECTURE PC
 1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

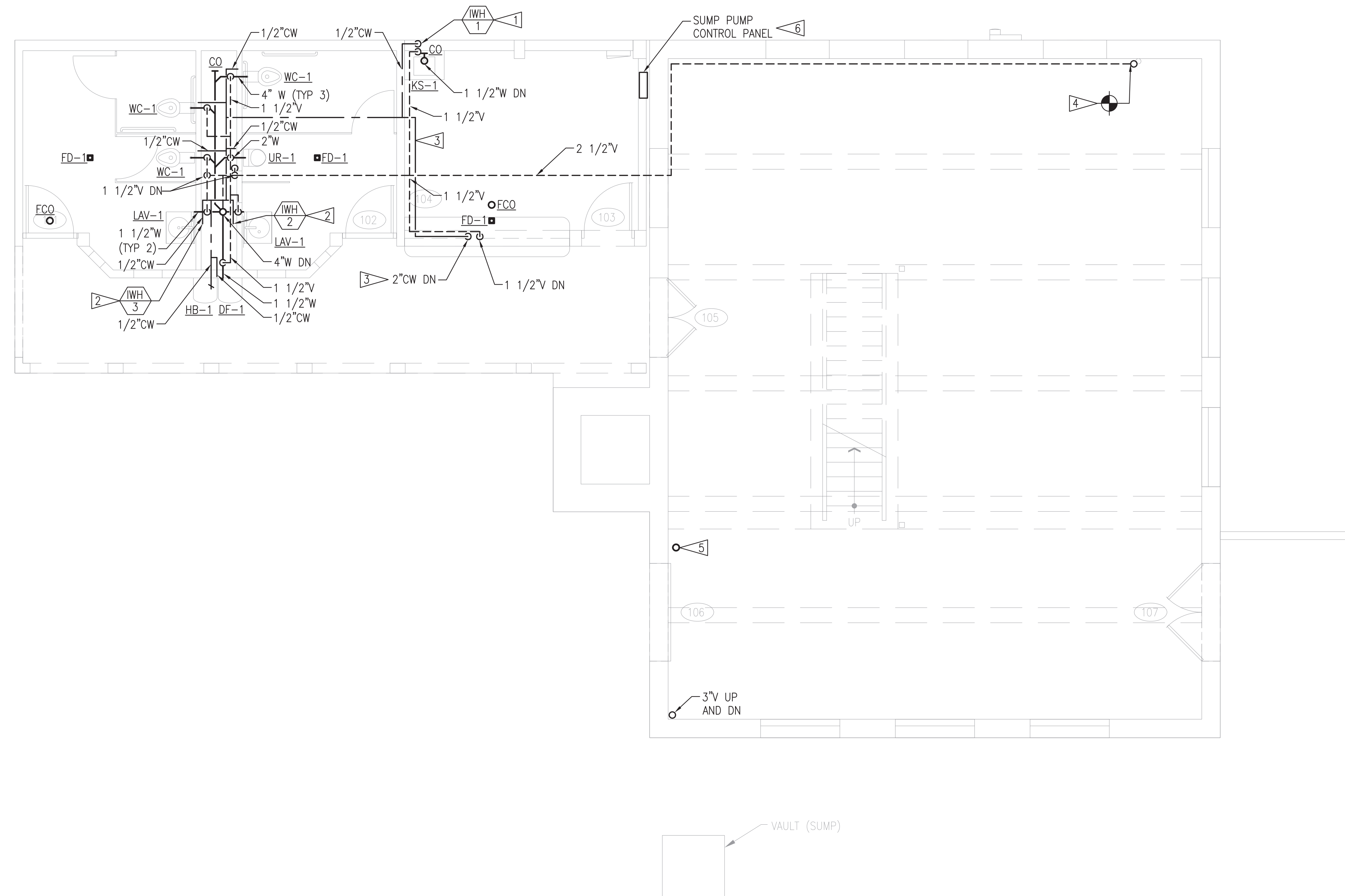
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PLUMBING
 UNDERGROUND
 PLAN

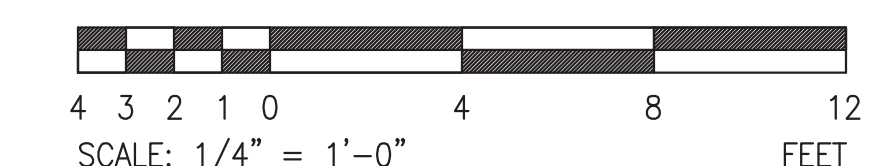
P1.0

CONSTRUCTION NOTES

- 1 PROVIDE IWH-1 UNDERNEATH KS-1.
- 2 PROVIDE IWH-2 AND IWH-3 IN PIPE CHASE BEHIND LAV-1.
- 3 PROVIDE INSULATION AND HEAT TRACING FOR ALL CW AND HW PIPING IN ALL ROOMS.
- 4 TIE 2 1/2" VENT INTO EXISTING VTR. IF VTR IS LESS THAN 3", PROVIDE 3" VTR.
- 5 PROVIDE DRAIN PIPE.
- 6 PROVIDE SUMP PUMP CONTROL PANEL TO TIE INTO PARK DDC. COORDINATE WITH LUTHER BURBANK FACILITIES.



1 PLUMBING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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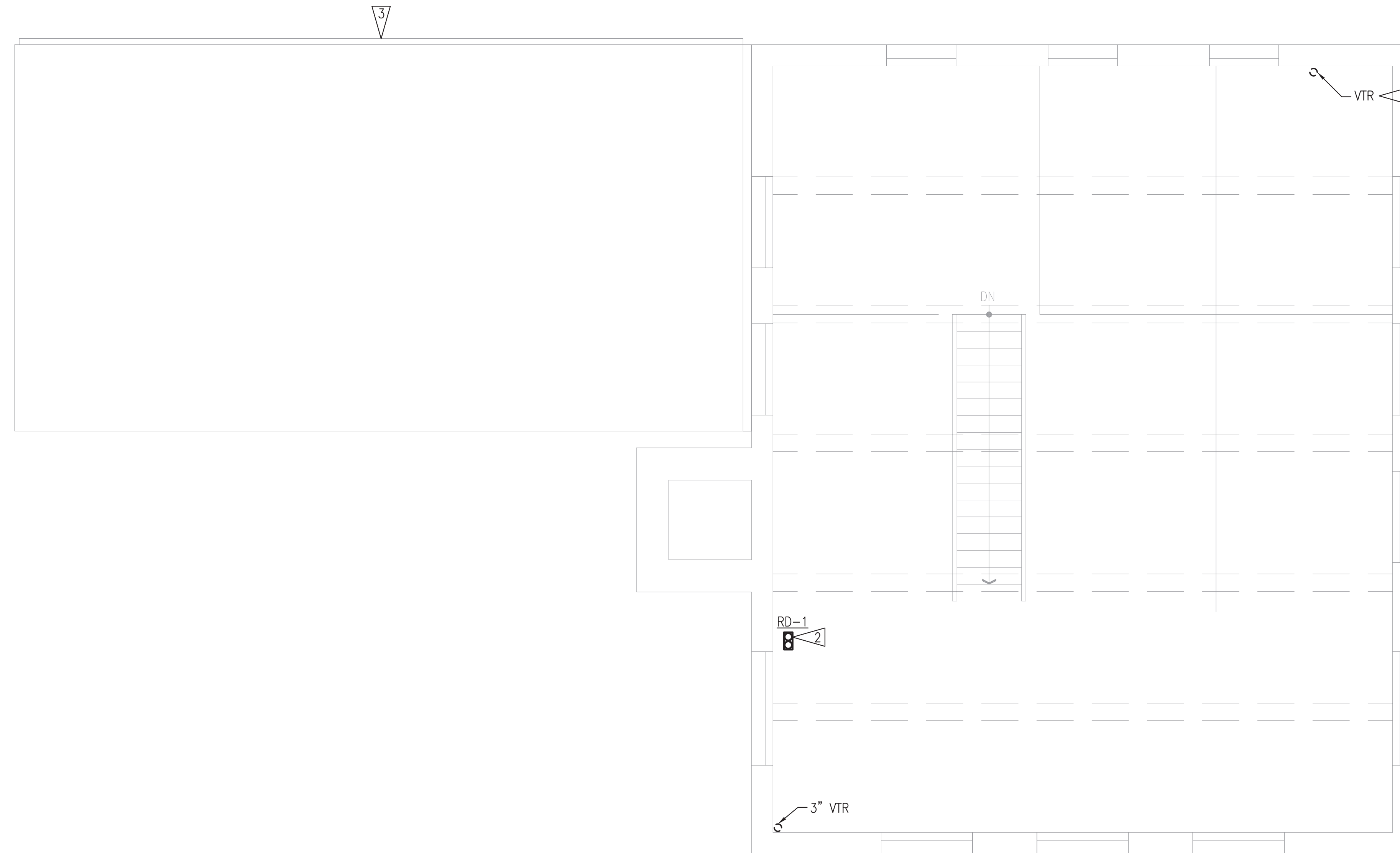
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PLUMBING
FIRST FLOOR
PLAN

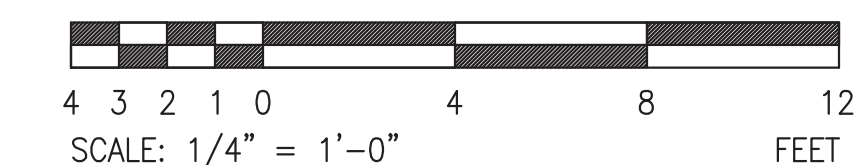
P2.0

CONSTRUCTION NOTES

- 1 ENSURE EXISTING VENT IS AT LEAST 3". IF LESS THAN 3", PROVIDE 3" VENT.
- 2 PROVIDE RD-1.
- 3 ROOF DECK AND RAILING SCOPE IS AN ADDITIVE ALTERNATIVE.



1 PLUMBING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



REVISIONS

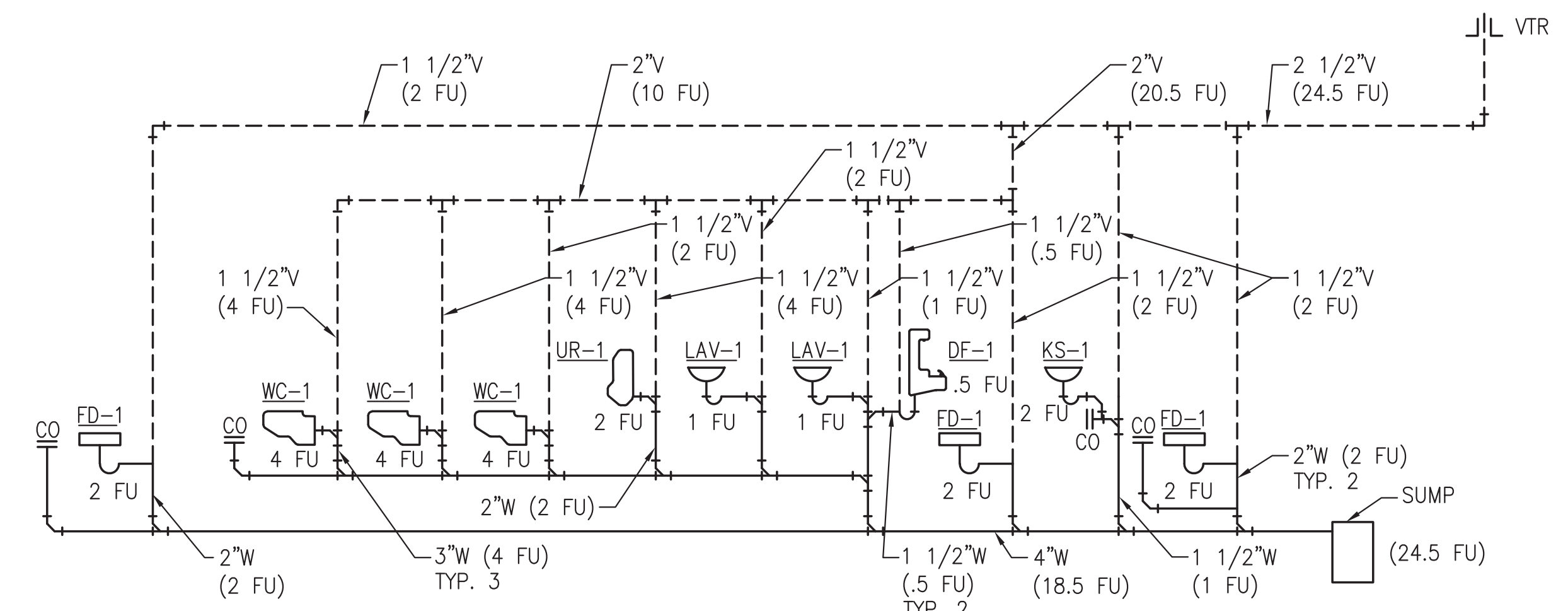
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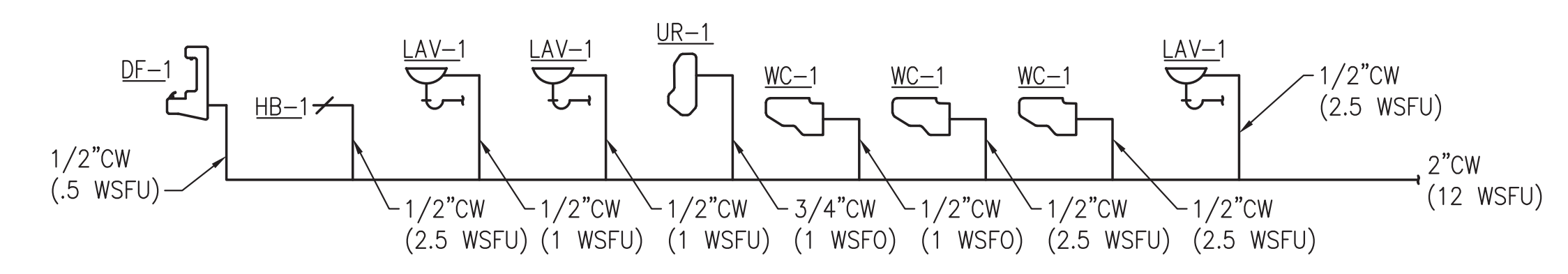
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PLUMBING
SECOND FLOOR
PLAN

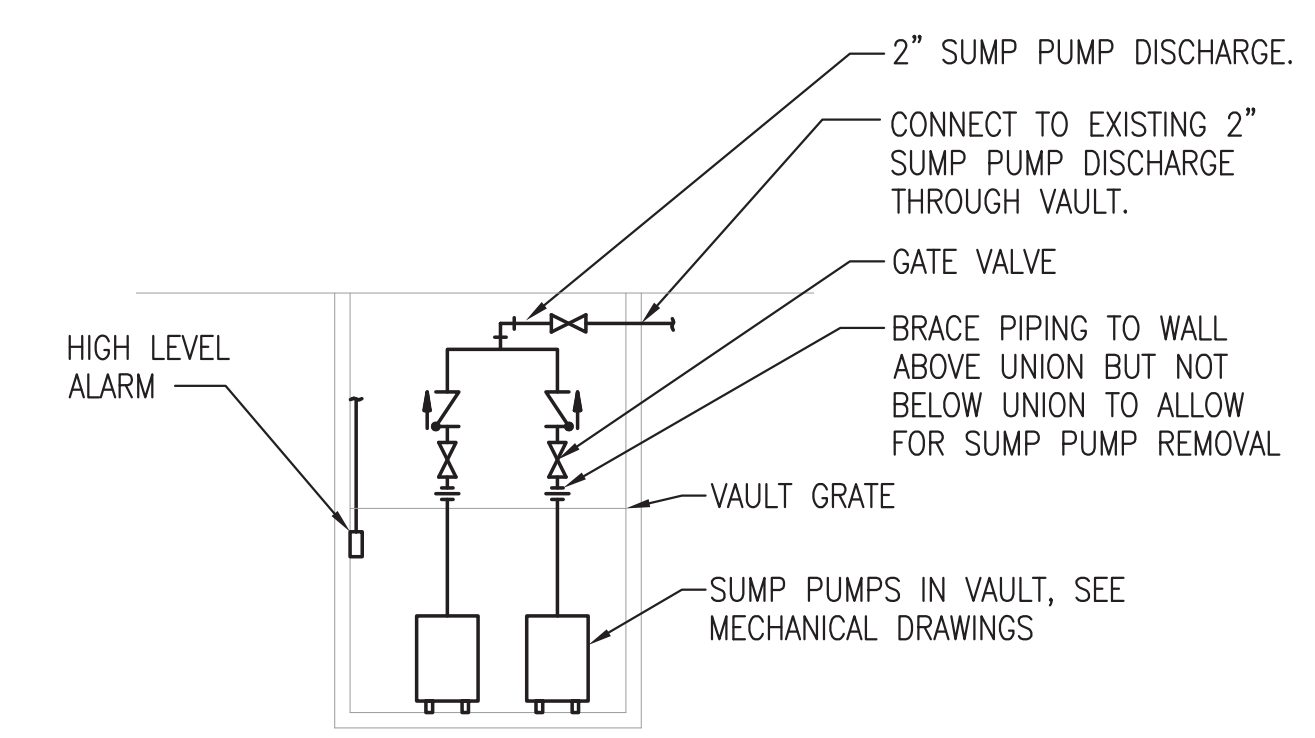
P3.0



WASTE AND VENT RISER DIAGRAM
SCALE: NOT TO SCALE



COLD WATER DIAGRAM
SCALE: NOT TO SCALE



- NOTE:
1. PROVIDE WITH INTEGRAL FLOAT OPERATED MECHANICAL SWITCH ON 35", OFF 24" (ADJUSTABLE).
 2. PROVIDE DDC HIGH LEVEL ALARM 4" BELOW TOP OF SUMP GRATE. ALARM AS WATER LEVEL IS REACHED. PROVIDE AUDIO/VISUAL ALARM AT DDC CONTROL CENTER. VERIFY LOCATION WITH OWNER.

SUMP PUMP CONNECTION DETAIL
SCALE: NONE

NO.	REVISIONS

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PLUMBING DETAILS
& DIAGRAMS



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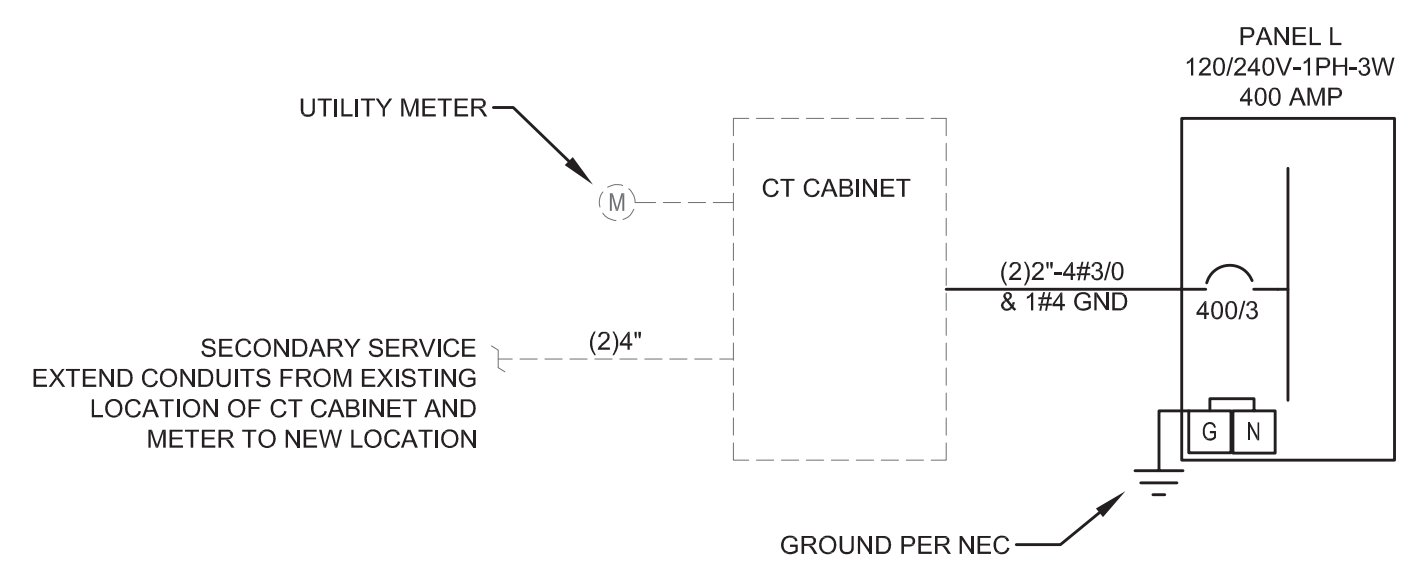


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LEGEND - ELECTRICAL

E1.0



- ONE LINE NOTES:**
- EXISTING CT CABINET AND METER SHALL BE RELOCATED FROM EXISTING LOCATION AS SHOWN ON PLANS.
 - COORDINATE RELOCATION WITH PSE AND PERFORM ALL WORK IN COMPLIANCE WITH PSE STANDARDS AND REQUIREMENTS.
 - SAWCUT, CUT, EXCAVATE, BACKFILL AND PATCH EXISTING CONCRETE, ASPHALT, GRASS AND EARTH AS REQUIRED TO ROUTE SECONDARY CONDUITS UNDERGROUND.

ONE LINE DIAGRAM 1
NTS

ELECTRICAL NARRATIVE:

ESTABLISH NEW POWER TO BUILDING. ALL WORK FOR SERVICE IN COMPLIANCE WITH APPLICABLE PUGET SOUND ENERGY (PSE) STANDARDS AND REQUIREMENTS. PROVIDE NEW MAIN DISTRIBUTION PANEL, PANEL AND SERVICE ARE SIZED TO ACCOMMODATE LOADS ASSOCIATED WITH THIS PROJECT, IRRIGATION PUMP, EXISTING BUILDING LOADS, AND ANTICIPATED FUTURE LOADS INCLUDING AN ADDED CLASSROOM AND ELEVATOR.

PROVIDE LIGHTING AND LIGHTING CONTROLS FOR TOILET ROOMS AND CONCESSION ROOMS. PROVIDE EXTERIOR LIGHTING FOR OUTDOOR CLASSROOMS, RAMP AND OTHER PATHWAYS. LIGHTING CONTROLS IN COMPLIANCE WITH WASHINGTON STATE ENERGY CODE REQUIREMENTS.

PROVIDE BRANCH CIRCUITRY AS REQUIRED FOR RECEPTACLES, APPLIANCES, EQUIPMENT AND HVAC UNITS.

PROVIDE DATA OUTLET IN CONCESSIONS ROOM TO SUPPORT POINT OF SALE NETWORK CONNECTION.

- LEGEND**
- CONDUIT CONCEALED IN CEILING OR WALLS
 - CONDUIT CONCEALED UNDERGROUND OR UNDER FLOOR
 - HOME RUN TO DESTINATION INDICATED. 3/4" MINIMUM UNLESS NOTED OTHERWISE.
 - SURFACE OR PENDANT MOUNTED LIGHT FIXTURE
 - WALL MOUNTED FIXTURE
 - COMBINATION EXIT SIGN AND EMERGENCY LIGHT TYPE X2
 - WALL SWITCH
 - WALL SWITCH WITH INTEGRAL OCCUPANCY SENSOR
 - OCCUPANCY SENSOR
 - DUPLEX RECEPTACLE
 - DUPLEX RECEPTACLE ABOVE COUNTER
 - DOUBLE DUPLEX RECEPTACLE
 - DUPLEX RECEPTACLE GFI TYPE
 - WEATHERPROOF DUPLEX RECEPTACLE (GFI TYPE)
 - DRYER OUTLET
 - EQUIPMENT CONNECTION
 - MOTOR CONNECTION
 - DISCONNECT SWITCH
 - FUSED DISCONNECT SWITCH
 - JUNCTION BOX
 - HORN/STROBE
 - SMOKE DETECTOR
 - FIRE ALARM PULL STATION
 - EXIST DEVICE/FIXTURE AS INDICATED
 - EXIST DEVICE/FIXTURE AS INDICATED TO BE REMOVED
 - CIRCUIT BREAKER
 - SWITCH
 - FUSED SWITCH
 - FUSE
 - TRANSFORMER
 - GROUNDING PER CODES
 - 2-PORT DATA OUTLET
 - 240V PANEL
 - FOIC FURNISHED BY OWNER INSTALLED BY CONTRACTOR
 - FOIO FURNISHED BY OWNER INSTALLED BY OWNER
 - GFI GROUND FAULT CIRCUIT INTERRUPTER
 - WP WEATHERPROOF
 - DETAIL INDICATOR WITH SHEET WHERE DRAWN INDICATED
 - AVAILABLE FAULT CURRENT AS INDICATED
 - FLAG NOTE



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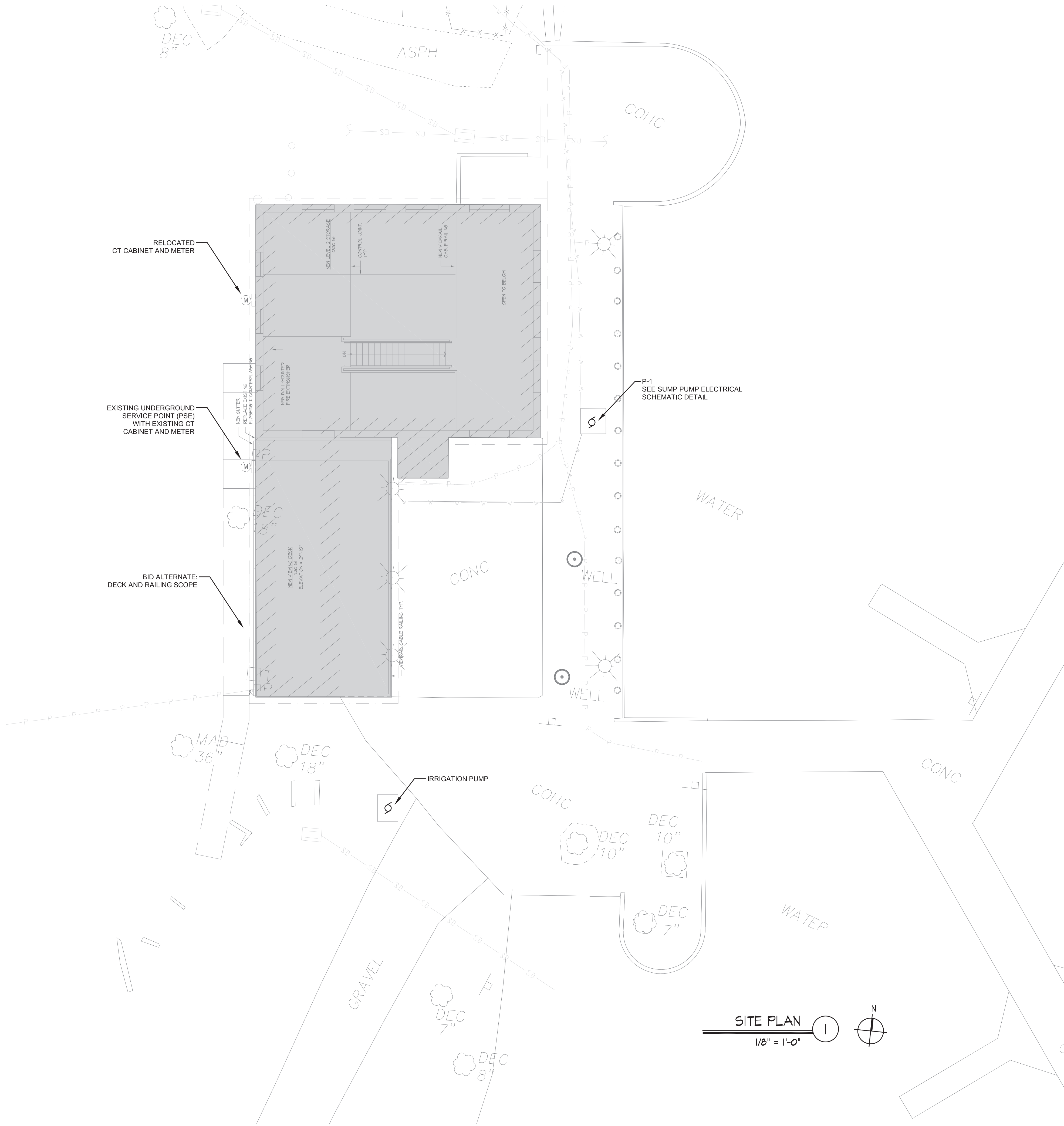
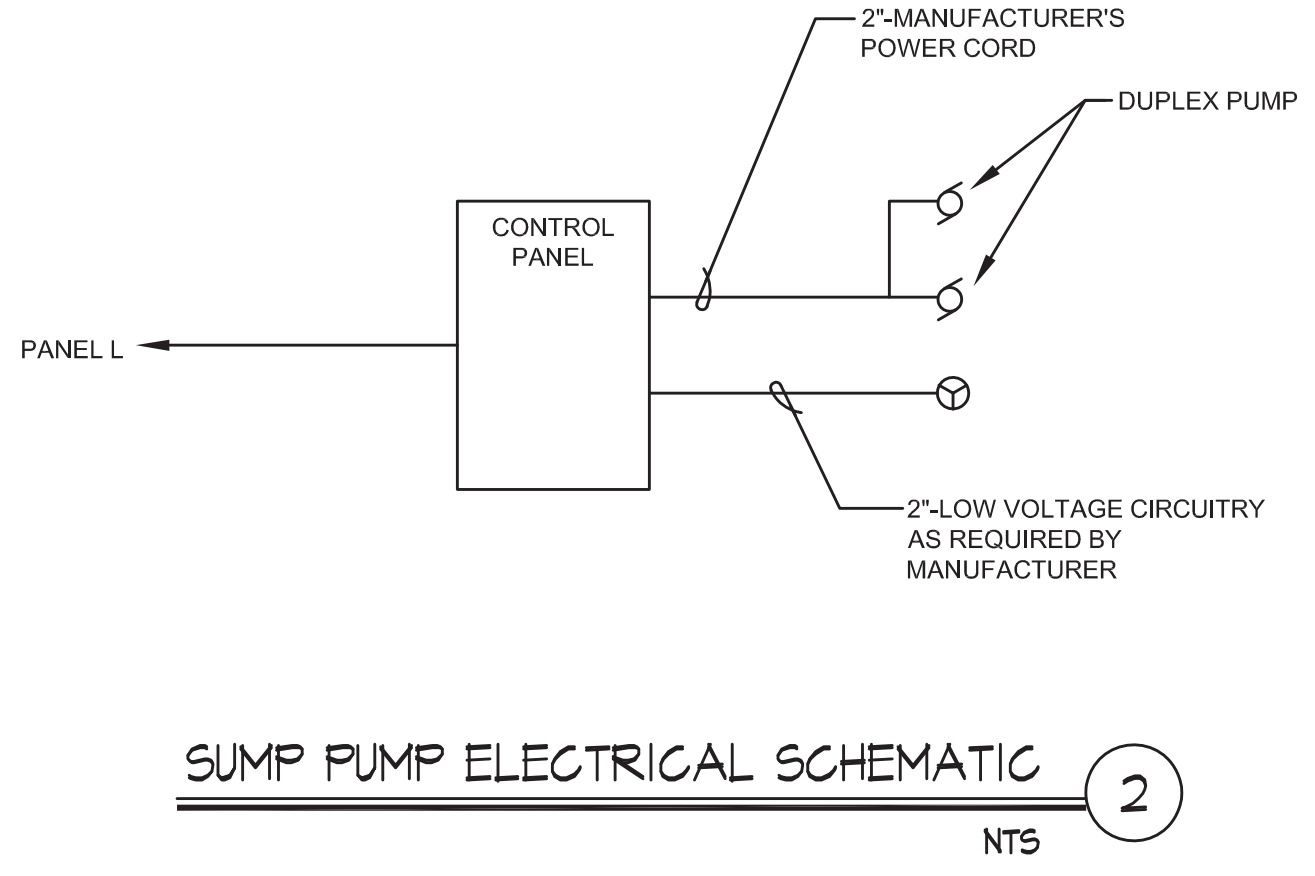


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SITE PLAN
- ELECTRICAL

E1.1





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FIRST FLOOR PLAN
- LIGHTING

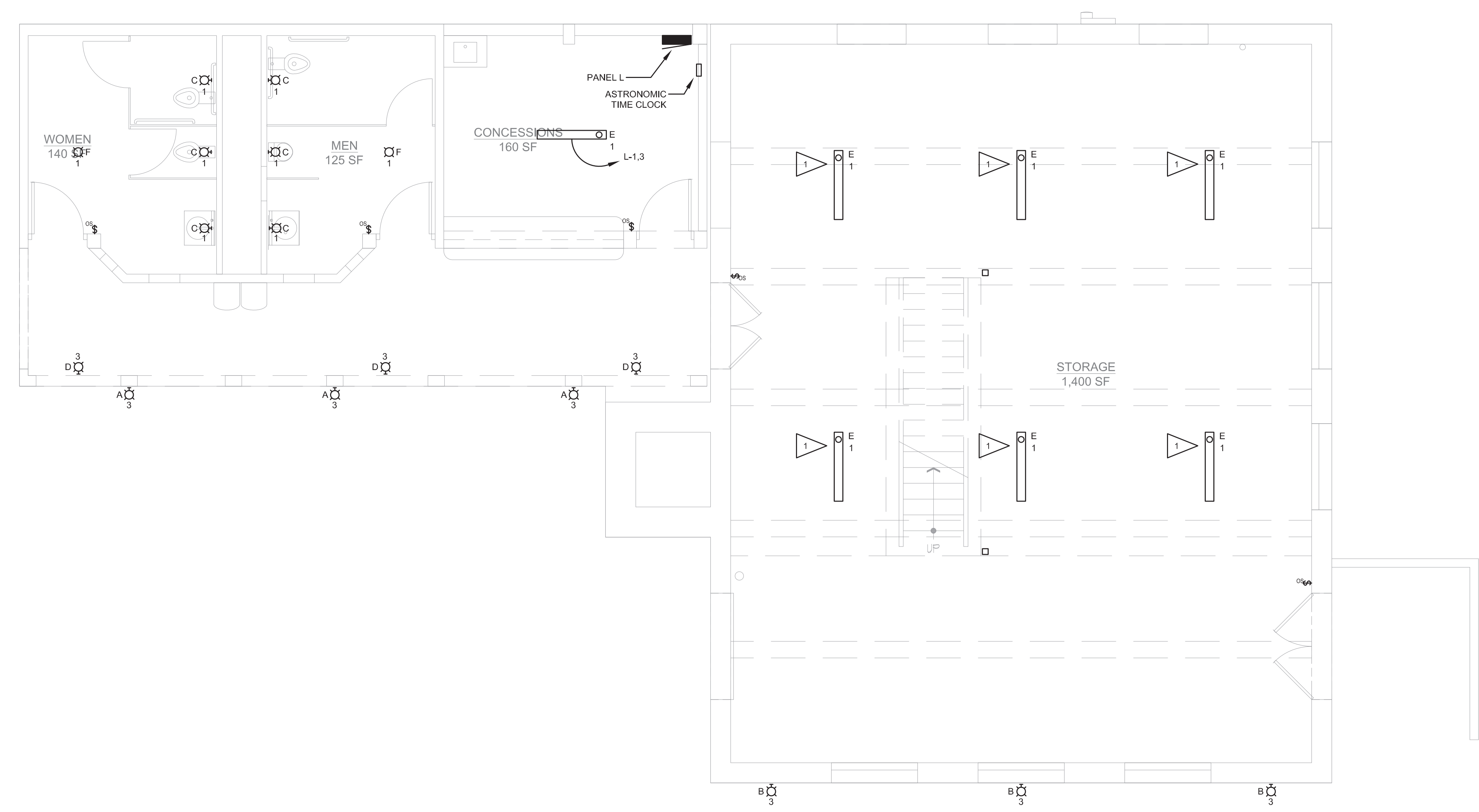
E2.1

GENERAL NOTES:

1. ALL NEW EXTERIOR LIGHTING SHALL BE CONTROLLED VIA ASTRONOMIC TIME CLOCK LOCATED IN CONCESSIONS 105.

FLAG NOTES:

- 1 PROVIDE SURFACE MOUNTED RACEWAY FROM PANEL L.



FIRST FLOOR PLAN - LIGHTING 1
1/4" = 1'-0"



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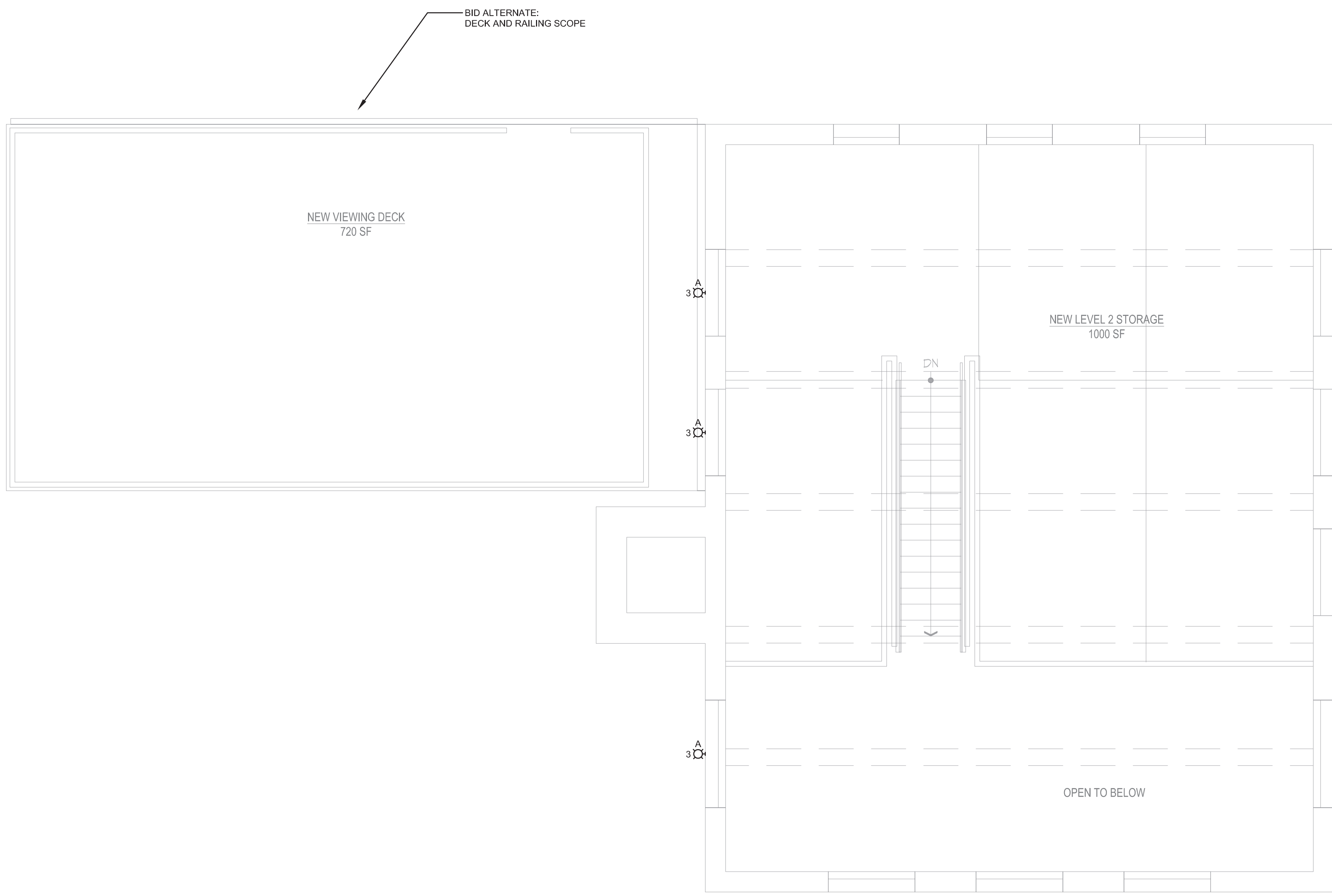


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2ND FLOOR PLAN
- LIGHTING

E2.2



SECOND FLOOR PLAN - LIGHTING ①
1/4" = 1'-0"



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FIRST FLOOR PLAN
- ELECTRICAL

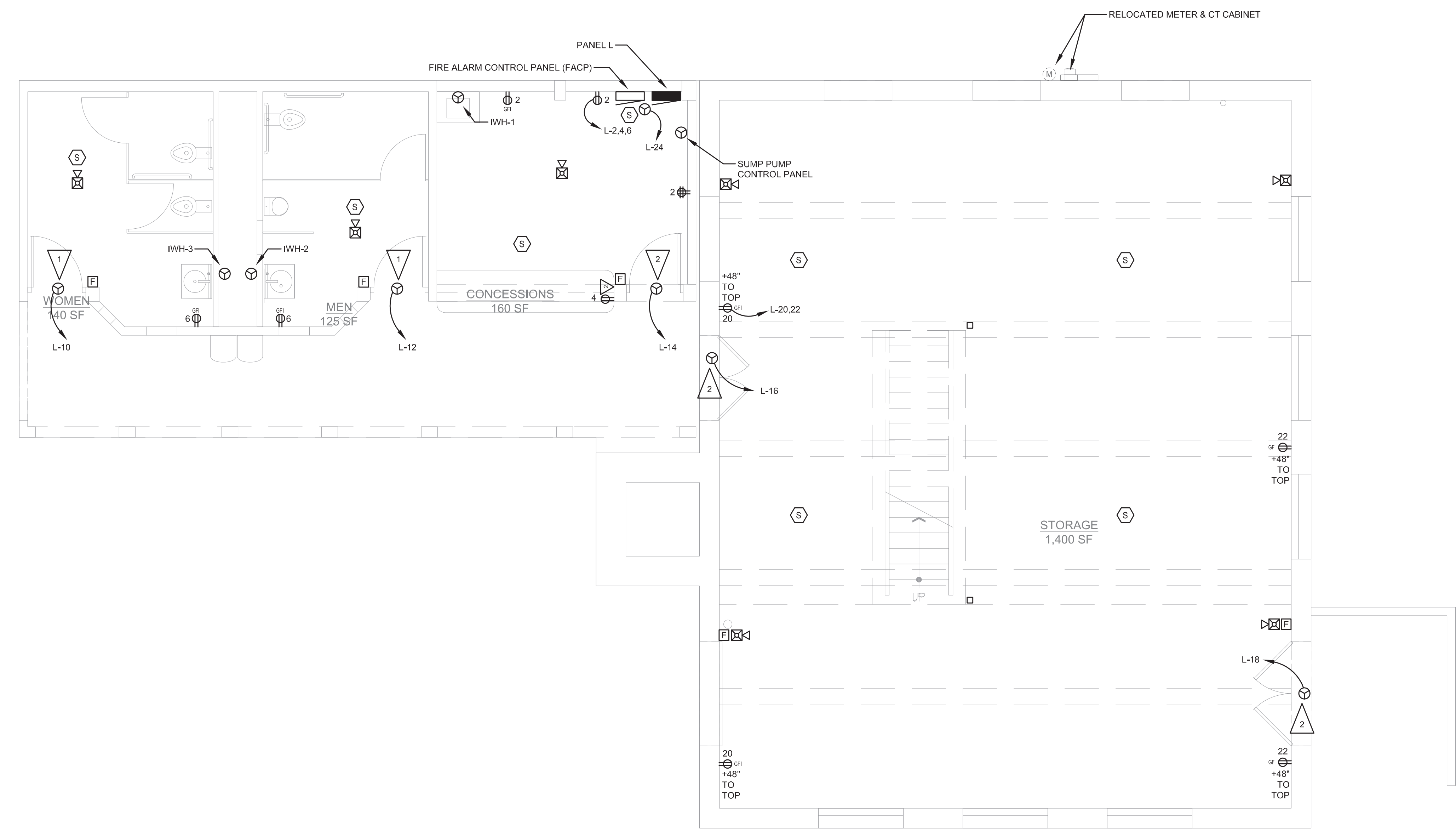
E3.1

SHEET NOTES:

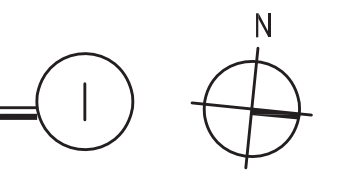
- ROUTE CIRCUITRY IN SURFACE MOUNTED EMT WITHIN STORAGE ROOM.
- PROVIDE FIRE ALARM SYSTEM CIRCUITRY AS REQUIRED BY MANUFACTURER FROM FACP TO ALL FIRE ALARM SYSTEM DEVICES. ROUTE IN CONDUIT (3/4" EMT MINIMUM) WHERE IN WALLS, ABOVE NON-ACCESSIBLE CEILINGS OR EXPOSED. OPEN CABLING METHODS ALLOWED ABOVE ACCESSIBLE CEILINGS.

FLAG NOTES:

- 120V CIRCUIT FOR MAGNETIC LOCK AND CARD READER. FIELD VERIFY ROUGH IN REQUIREMENTS WITH DOOR HARDWARE SUBMITTALS.
- 120V CIRCUIT FOR ELECTRONIC LOCKSET AND CARD READER. FIELD VERIFY ROUGH IN REQUIREMENTS WITH DOOR HARDWARE SUBMITTALS.



FIRST FLOOR PLAN - POWER
1/4" = 1'-0"





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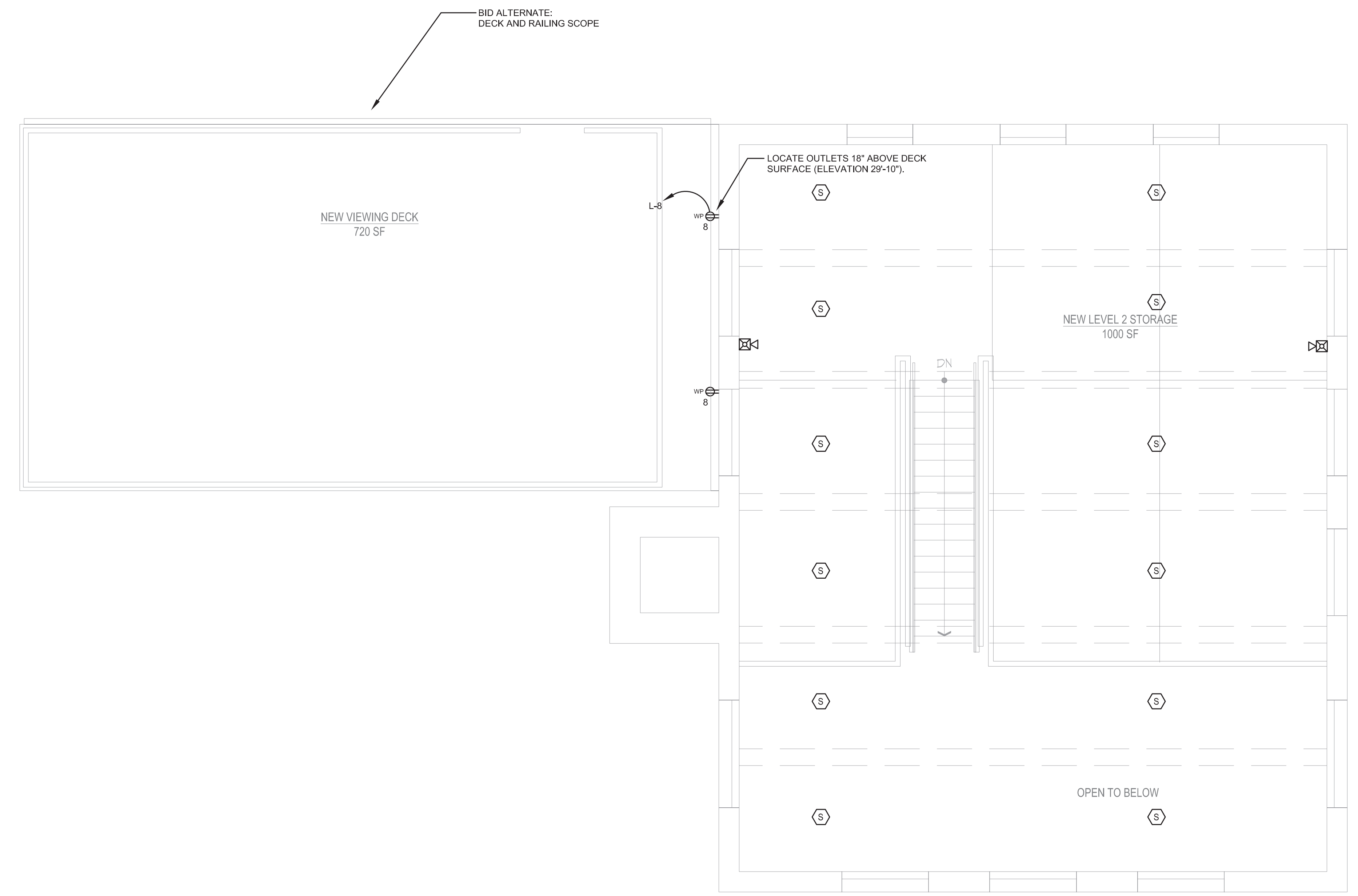


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2ND FLOOR PLAN
- ELECTRICAL

E3.2



SECOND FLOOR PLAN - POWER 1
1/4" = 1'-0" 



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SCHEDULES

E4.0

LIGHTING FIXTURE SCHEDULE: LUTHER BURBANK PARK BOILER

TYPE	LAMP	LUMEN OUTPUT	CCT	VOLTAGE	MINIMUM CRI	CONTROL	MANUFACTURER	DESCRIPTION	LOCATION
A	LED 18W	1265 LUMENS	2700K	120 V	90 CRI	0-10V DIM	TROY RLM LIGHTING FIXTURE: RH16-LED1827-BK-CG ARM MOUNT: 2-SL23-BK 120V CANOPY	ROUND WALL MOUNTED LED SHADE FIXTURE, 16" IN DIAMETER. PROVIDE ACCESSORY ARM MOUNT AND CLEAR GLASS ENCLOSURE. UL LISTED FOR WET	EXTERIOR
B	LED 13W	1170 LUMENS	2700K	120 V	80 CRI	0-10V DIM	WE-EF RLS410LED-RA19004-M-9004	RECTANGULAR SURFACE MOUNTED LED FIXTURE WITH MEDIUM SYMMETRIC BEAM DISTRIBUTION.	EXTERIOR
C	LED 27W	1615 LUMENS	3000K	120 V	80 CRI	0-10V DIM	ALCON LIGHTING ALVA 11122-2-BK	WALL MOUNTED 2' LED VANITY SCONCE WITH WHITE ACRYLIC DIFFUSER LENS.	RESTROOMS
D	LED 11W	1550 LUMENS	3000K	120 V	80 CRI	0-10V DIM	LITHONIA LIGHTING WPX1-LED-P1-30K-MVOLT-DBLXD	RECTANGULAR LED WALL PACK WITH DIE- CAST ALUMINUM CONSTRUCTION.	EXTERIOR
E	LED 49W	6000 LUMENS	3000K	120 V	82 CRI	0-10V DIM	LITHONIA LIGHTING BLWP4-60L-ADP-120-LP830	4' LED WRAPAROUND WITH DIE-CAST ALUMINUM CONSTRUCTION.	CONCESSIONS, STORAGE
F	LED 22W	2100 LUMENS	CTS: 3000K 3500K 4000K	120 V	90 CRI	0-10V DIM	ALCON LIGHTING 11170-12-CTS-BK-010	DISK ARCHITECTURAL LED SURFACE MOUNT DOWN LIGHT WITH DIE-CAST ALUMINUM FRAME AND POLYCARBONATE LENS, 12" IN DIAMETER.	RESTROOMS

ALL COLORS, FINISHES, ETC ARE BY ARCHITECT.
MOUNTING HEIGHTS PER ARCHITECTURAL ELEVATIONS.

PLUMBING EQUIPMENT CONNECTION SCHEDULE

UNIT	LOCATION	VOLTAGE/PHASE	HP	KVA/KW	MCA	DISCONNECT/STARTER COMPONENT	CONDUIT AND WIRE SIZE	PANEL	CIRCUIT #
PUMP SCHEDULE									
P-1	VAULT	240 / 1	5			WP DISCONNECT	1"-3#8 & 1#8 GND	L	5,7
IRRIGATION PUMP	EXTERIOR	240 / 1	5			WP DISCONNECT	1"-3#8 & 1#8 GND	L	21,23
WATER HEATER SCHEDULE									
IWH-1	CONCESSIONS	240 / 1		7.5		DISCONNECT	1"-2#8 & 1#8 GND	L	9,11
IWH-2	PIPE CHASE	240 / 1		7.5		DISCONNECT	1"-2#8 & 1#8 GND	L	13,15
IWH-3	PIPE CHASE	240 / 1		7.5		DISCONNECT	1"-2#8 & 1#8 GND	L	17,19

PANEL LOCATION: CONCESSIONS
MOUNTING SURFACE: 22,000
AIC: GROUND BUS
FED FROM: UTILITY
VOLTS: 240 / 120
AMPS: 400
MAIN BREAKER
GROUND BUS
UL LISTED AS SERVICE ENTRANCE
PROVIDE SURGE PROTECTOR

CCT NO.	CCT BRKR	DESCRIPTION	LOAD KVA	CCT NO.	CCT BRKR	DESCRIPTION	LOAD KVA
1	20/1	LIGHTS	0.50	2	20/1	RECEPTS	0.72
3	20/1	LIGHTS	0.50	4	20/1	RECEPTS	0.18
5	60/2	P-1	6.02	6	20/1	RECEPTS	0.36
7				8	20/1	RECEPTS	0.36
9	40/2	IWH-1	7.50	10	20/1	DOOR HARDWARE	0.20
11				12	20/1	DOOR HARDWARE	0.20
13	40/2	IWH-2	7.50	14	20/1	DOOR HARDWARE	0.20
15				16	20/1	DOOR HARDWARE	0.20
17	40/2	IWH-3	7.50	18	20/1	DOOR HARDWARE	0.20
19				20	20/1	RECEPTS	0.36
21	30/2	IRRIGATION PUMP	6.02	22	20/1	RECEPTS	0.36
23				24	20/1	FACP	0.50
25	20/1	SPARE	0.00	26	20/1	SPARE	0.00
27	20/1	SPARE	0.00	28	20/1	SPARE	0.00
29	20/1	SPARE	0.00	30		SPACE ONLY	
31	20/1	SPARE	0.00	32		SPACE ONLY	
33	20/1	SPARE	0.00	34		SPACE ONLY	
35		SPACE ONLY		36		SPACE ONLY	
37		SPACE ONLY		38		SPACE ONLY	
39		SPACE ONLY		40		SPACE ONLY	
41		SPACE ONLY		42		SPACE ONLY	
43		SPACE ONLY		44		SPACE ONLY	
45		SPACE ONLY		46		SPACE ONLY	
47		SPACE ONLY		48		SPACE ONLY	
49		SPACE ONLY		50		SPACE ONLY	
51		SPACE ONLY		52		SPACE ONLY	
53		SPACE ONLY		54		SPACE ONLY	
55		SPACE ONLY		56		SPACE ONLY	
57		SPACE ONLY		58	30/2	SURGE PROTECTOR	
59		SPACE ONLY		60			

CONNECTED LOAD	KVA	DEMAND FACTOR	DEMAND LOAD	AMPS
LIGHTS	1.00	125%	1.25	5.21
RECEPTACLES	2.34	100%	2.34	9.75
HEATING	22.50	100%	22.50	93.75
LARGEST MOTOR	6.02	125%	7.53	31.35
OTHER MOTORS	6.02	100%	6.02	25.08
MISCELLANEOUS	1.50	100%	1.50	6.25
KITCH. APPLIANCES	0.00	100%	0.00	0.00
	39.38		41.14	171.40



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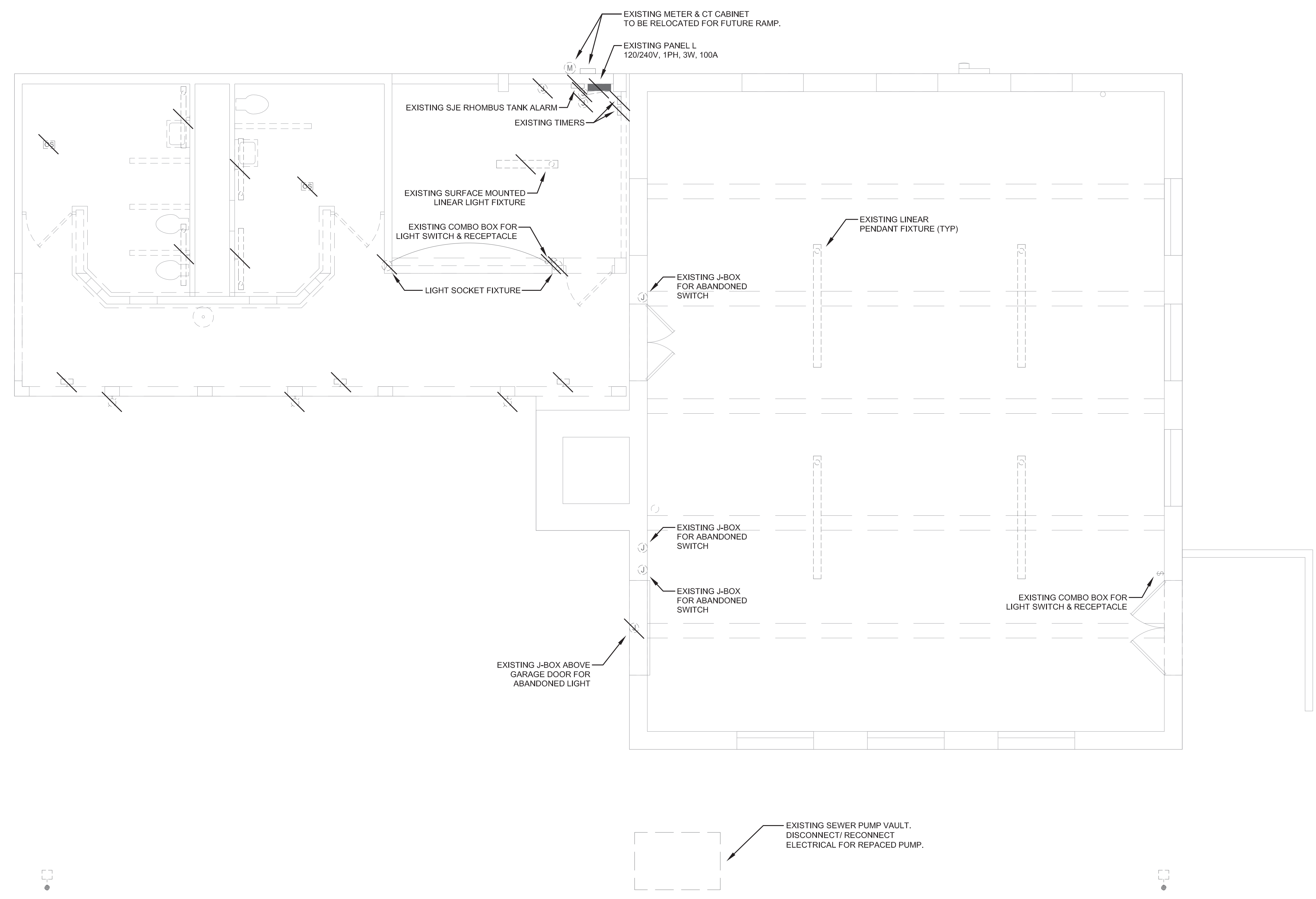
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SELECTIVE DEMO
FIRST FLOOR PLAN
- LIGHTING
ED2.1

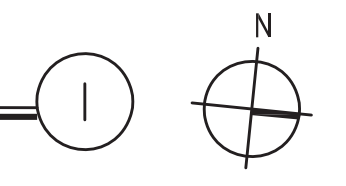
DEMO NOTES:

1. REMOVE INDICATED PANELS, OUTLETS, FIXTURES, DEVICES AND SO FORTH.
2. REMOVE ASSOCIATED CIRCUITRY FOR DEMOLISHED ITEMS.



SELECTIVE DEMO FIRST FLOOR PLAN - LIGHTING

1/4" = 1'-0"





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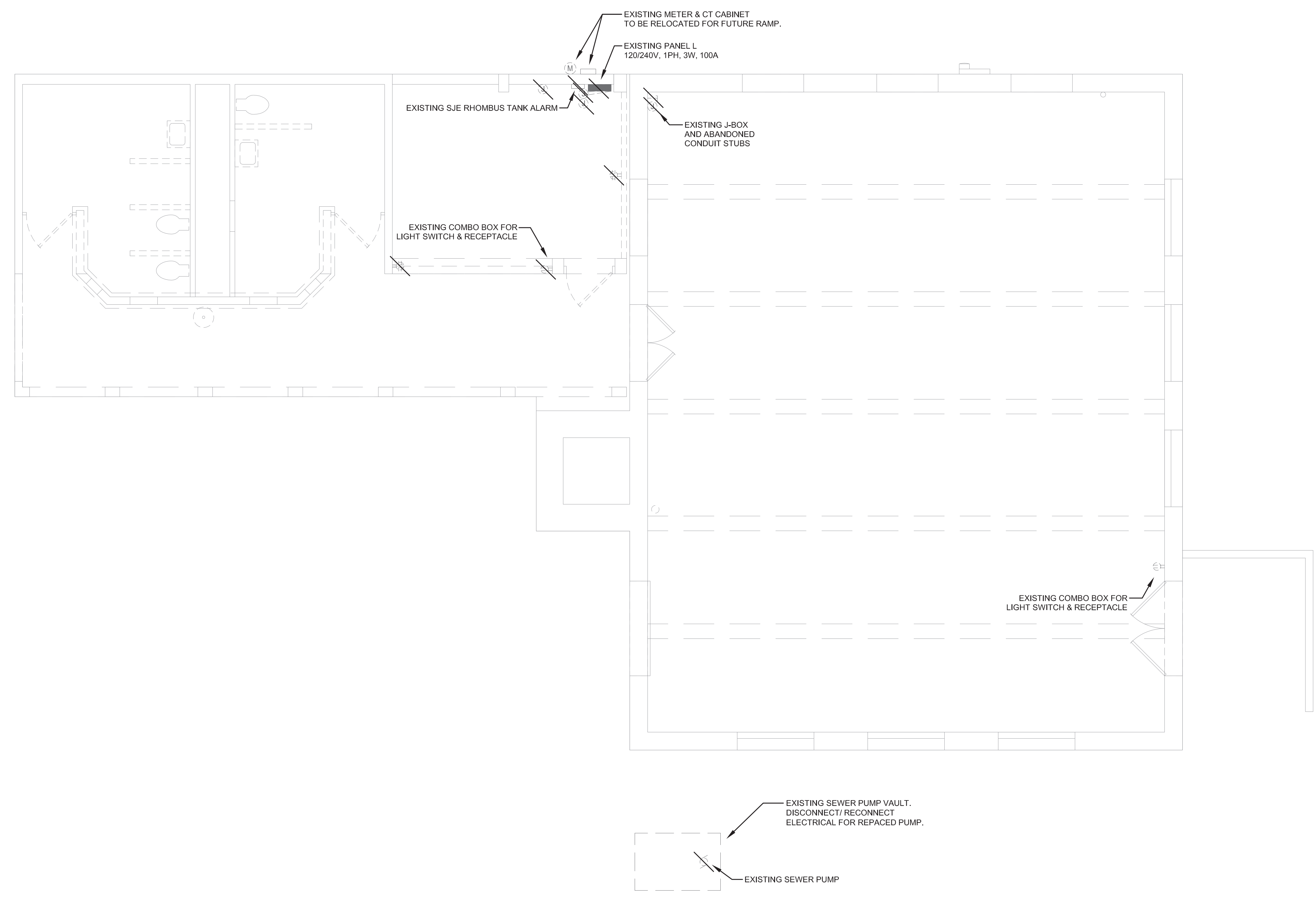
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SELECTIVE DEMO
 FIRST FLOOR PLAN
 - POWER

ED3.1

DEMO NOTES:

1. REMOVE INDICATED PANELS, OUTLETS, FIXTURES, DEVICES AND SO FORTH.
2. REMOVE ASSOCIATED CIRCUITRY FOR DEMOLISHED ITEMS.



SELECTIVE DEMO FIRST FLOOR PLAN - POWER ①
 1/4" = 1'-0"