RELATED LAND USE PERMITS

SHL22-023 LUTHER BURBANK WATERFRONT IMPROVEMENTS

ENERGY CODE INFORMATION

APPLICABLE CODES: 2018 WASHINGTON STATE ENERGY CODE

C402.I.I.I - LOW ENERGY BUILDINGS THE EXISTING BUILDING DOES NOT CONTAIN CONDITIONED SPACE AND NO CHANGES TO THE EXISTING MECHANICAL SYSTEM ARE PROPOSED BUILDINGS WITHOUT CONDITIONED SPACE ARE INCLUDED IN THE DEFINITION OF LOW-ENERGY BUILDINGS, WHICH ARE EXEMPT FROM THE THERMAL ENVELOPE REQUIREMENTS OF THE CODE

PROPERTY & LAND USE INFORMATION LUTHER BURBANK PARK 2040 8TH AVENUE PROPERTY OWNER: CITY OF MERCER ISLAND LEGAL GL 6 LESS THE S 30 FT DEEDED TO KC DESCRIPTION: FOR RD UNDER AUD FILE NO 1092750 APN: 0624059014 ZONING: R-15 995,782 SF (22.86 ACRES) PARCEL SIZE:

LAND USE INFORMATION

19.13

USES PERMITTED IN SINGLE-FAMILY ZONE R-15 A.6 - PUBLIC PARKS PERMITTED A. ACCESS TO LOCAL AND/OR ARTERIAL THOROUGHFARES

> SHALL BE REASONABLY PROVIDED. B. OUTDOOR LIGHTING SHALL BE LOCATED TO MINIMIZE GLARE UPON ABUTTING PROPERTY AND STREETS

C. MAJOR STRUCTURES, BALLFIELDS AND SPORT COURTS SHALL BE LOCATED AT LEAST 20 FEET FROM ANY ABUTTING PROPERTY. D. IF A PERMIT IS REQUIRED FOR A PROPOSED IMPROVEMENT A PLOT, LANDSCAPE AND BUILDING PLAN SHOWING COMPLIANCE WITH THESE CONDITIONS SHALL BE FILED WITH THE CITY DEVELOPMENT SERVICES GROUP (DSG) FOR ITS APPROVAL

CURRENT USE IS "STORAGE ACCESSORY TO PARK"

SHORELINE MASTER PROGRAM B.I - LEGAL NONCONFORMING USES & STRUCTURES MAY CONTINUE C.I - SITE IS IN URBAN PARK ENVIRONMENT

GOVERNMENT SERVICES, PUBLIC FACILITIES, PARKS & OPEN SPACE PERMITTED (TABLE A) E.I - SHORELAND DEVELOPMENT STANDARDS LANDWARD OF OHWM:

SETBACK FOR ALL STRUCTURES & PARKING: 25' FROM OHMM MAXIMUM IMPERVIOUS SURFACE COVERAGE: 10% BETWEEN 0' \$ 25' FROM OHWM 30% BETWEEN 25' \$ 50' FROM OHWM EXISTING IMPERVIOUS SURFACE COVERAGE: 0.71% BETWEEN 0' \$ 25' FROM OHWM

SEE CALCULATIONS ON SHEET AI ORDINARY HIGH WATER MARK IS 18'-6"

BUILDING CODE INFORMATION

APPLICABLE CODE: 2018 INTERNATIONAL BUILDING CODE W/ WA AMMENDMENTS

2018 INTERNATIONAL EXISTING BUILDING CODE W/ WA AMMENDMENTS

CONSTRUCTION TYPE: CURRENT STRUCTURE IS TYPE IIB, NON-SPRINKLED NONCOMBUSTIBLE CONSTRUCTION CHAPTER 6

NO FIRE RATINGS REQUIRED

OCCUPANCY TYPE: CURRENT OCCUPANCY: S-2 STORAGE CHAPTER 3 PROPOSED OCCUPANCY: S-2 STORAGE - NO CHANGE

CONCESSIONS AREA: CURRENT OCCUPANCY: B (BOAT RENTAL) - PER 1974 PERMIT #74-066

PROPOSED OCCUPANCY: B (CONCESSIONS) - NO CHANGE BATHROOMS:

CURRENT OCCUPANCY: U (PUBLIC TOILET ROOMS) - PER 1974 PERMIT #74-066 PROPOSED OCCUPANCY: U (PUBLIC TOILET ROOMS) - NO CHANGE

NEW ROOF DECK: PROPOSED OCCUPANCY: B (ASSEMBLY SPACES W/ OCCUPANT LOAD < 50)

HEIGHTS & AREAS: CHAPTER 5

PROPOSED BUILDING HEIGHTS & AREAS: (2) STORIES, 24' HIGH, 2,424 SF MAX PER STORY ALLOWABLE HEIGHTS & AREAS

TYPE IIB CONSTRUCTION, NON-SPRINKLED S-2 OCCUPANCY: (3) STORIES, 55' HIGH, 26,000 SF PER STORY B OCCUPANCY: (3) STORIES, 55' HIGH, 23,000 SF PER STORY U OCCUPANCY: (2) STORIES, 55' HIGH, 8,500 SF PER STORY

OCCUPANCY S-2, B & U OCCUPANCIES PERMITTED AS NON-SEPARATED OCCUPANCIES SEPARATIONS: PER 508.3. NO SEPARATION REQUIRED BETWEEN OCCUPANCIES.

THE MOST RESTRICTIVE REQUIREMENTS OF CHAPTER 9 APPLY TO THE TOTAL NONSEPARATED OCCUPANCY AREA. 901 - PER MICC AMENDMENTS, ADDITIONS THAT CREATE A NONCONFORMING

CONDITION SHALL BE BROUGHT UP TO CURRENT CODE FOR FIRE PROTECTION SYSTEMS

903 - FIRE SPRINKLERS NOT REQUIRED FOR S-2, B OR U OCCUPANCIES AS PROPOSED

906 - PORTABLE FIRE EXTINGUISHERS REQUIRED. SEE PLAN FOR LOCATIONS. 907 - PER MICC AMENDMENTS TO IBC, FIRE ALARMS ARE TO BE INSTALLED IN ALL BUILDINGS WITH A GROSS AREA GREATER THAN 3,000 SF NEW FIRE ALARM SYSTEM TO BE INSTALLED BY SEPARATE PERMIT

OCCUPANT LOADS: TOTAL OCCUPANT LOAD FROM (2) STORIES: TABLE 1004.1.2

LEVEL | STORAGE - 1,400 SF/300 SF/0CCUPANT - (5) OCCUPANTS LEVEL | CONCESSIONS - 175 SF/150 SF/OCCUPANT - (2) OCCUPANTS LEVEL 2 STORAGE - 1,000 SF/300 SF/0CCUPANT - (4) OCCUPANTS LEVEL 2 VIEWING DECK - 720 SF/I5 SF/OCCUPANT - (48) OCCUPANTS TOTAL BUILDING OCCUPANT LOAD - (59) OCCUPANTS

NEW ROOF DECK ACCESS TO TO BE CONSTRUCTED PER SEPARATE PERMIT & COMPLETED PRIOR TO OCCUPANCY.

NUMBER OF EXITS \$ IN S OCCUPANCIES, (I) EXIT PERMITTED FROM 2ND STORY W/ OCCUPANT LOAD < 29 \$ TRAVEL DISTANCE < 75' MAX EXIT ACCESS TRAVEL DISTANCE FROM LEVEL 2 IS 73'-10" TRAVEL DISTANCE:

(I) EXIT PERMITTED FROM ALL SPACES EXIT ACCESS STAIRS: EXIT ACCESS STAIRS THAT SERVE ONLY TWO STORIES ARE

NOT REQUIRED TO BE ENCLOSED.

ACCESSIBILITY: BATHROOMS & CONCESSION TO BE REMODELED FOR ACCESSIBILITY

WSEBC 305.5 - ADDITIONS PROVISIONS FOR NEW CONSTRUCTION SHALL APPLY TO ADDITIONS WSBC 1104.4, EXCEPTION 1 - AN ACCESSIBLE ROUTE IS NOT REQUIRED TO STORIES THAT HAVE AN AGGREGATE AREA ON NOT MORE THAN 3,000 SF

AND ARE LOCATED ABOVE OR BELOW ACCESSIBLE LEVELS.

NOTE: REVIEW SIGN LANGUAGE & GRAPHICS W/ OWNER & ARCHITECT W/ SUBMITTAL REVIEW PROCESS SEE SHEET AI FOR CONSTRUCTION SIGN LOCATION

(2) 8' LONG PT 4X4 POSTS, —

L CONSTRUCTION SIGN PRINTED

1/2" CDX PLYWOOD

ON PLASTIC & MOUNTED TO

4'-0"

LUTHER BURBANK PARK BOILER BUILDING RENOVATION

* REDUCTION OF CHIMNEY HEIGHT

PROJECT TEAM

PARKS & RECREATION

MERCER ISLAND WA 98040

* \$EISMIC RETROFIT & MASONRY REPAIR
* TOILET ROOM & CONCESSIONS REPAIR

OWNER ARCHITECT

CITY OF MERCER ISLAND CARDINAL ARCHITECTURE PC

2040 84TH AVENUE SE SEATTLE WA 98101

BURIED 24"



0.63% BETWEEN 25' & 50' FROM OHMM

DRAWING INDEX

PROJECT INFORMATION

2ND FLOOR PLAN

BUILDING SECTIONS

ROOF PLAN

SELECTIVE DEMOLITION FIRST FLOOR PLAN SELECTIVE DEMOLITION FIRST FLOOR RCP

SELECTIVE DEMOLITION BUILDING SECTIONS

SELECTIVE DEMOLITION BUILDING ELEVATIONS

SELECTIVE DEMOLITION BUILDING ELEVATIONS

SELECTIVE DEMOLITION STACK ELEVATIONS

SELECTIVE DEMOLITION INTERIOR ELEVATIONS

SELECTIVE DEMOLITION INTERIOR ELEVATIONS

FIRST FLOOR REFLECTED CEILING PLAN & LIGHTING SCHEDULE

FIRST FLOOR PLAN & DOOR SCHEDULE

2ND FLOOR REFLECTED CEILING PLAN

SELECTIVE DEMOLITION ROOF PLAN

SITE PLAN

STACK SECTION & DETAILS WALL SECTION, STAIR SECTION & DETAILS A3.4 DETAILS BUILDING ELEVATIONS BUILDING ELEVATIONS STACK ELEVATIONS DOOR SCHEDULES, ELEVATIONS & DETAILS INTERIOR ELEVATIONS INTERIOR ELEVATIONS & FINISH SCHEDULE GENERAL STRUCTURAL NOTES GENERAL STRUCTURAL NOTES CONTINUED LEVEL I PLAN LEVEL 2/LOW ROOF PLAN HIGH ROOF PLAN CONCRETE DETAILS CONCRETE DETAILS CONCRETE DETAILS DETAILS PLUMBING LEGEND, ABBREVIATIONS AND GENERAL NOTES PLUMBING SCHEDULES PLUMBING FIRST FLOOR DEMO PLAN PLUMBING SECOND FLOOR DEMO PLAN PLUMBING UNDERGROUND PLAN P2.0 PLUMBING FIRST FLOOR PLAN P3.0 PLUMBING SECOND FLOOR PLAN PLUMBING DIAGRAMS SITE PLAN - ELECTRICAL SELECTIVE DEMO FIRST FLOOR PLAN - LIGHTING SELECTIVE DEMO FIRST FLOOR PLAN - POWER FIRST FLOOR PLAN - LIGHTING

EXISTING BUILDING CODE INFORMATION

SCHEDULES

ADDITIVE ALTERNATE I:

\$ STEEL CABLE RAILING.

INSTALL WOOD TILE ROOF DECK

2ND FLOOR PLAN - LIGHTING

FIRST FLOOR PLAN - ELECTRICAL 2ND FLOOR PLAN - ELECTRICAL

CHAPTER 6 - CLASSIFICATION OF WORK

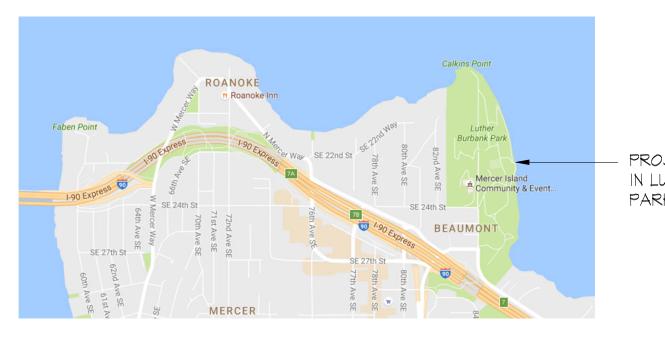
WORK AREA METHOD: THE WORK AREA INCLUDES THE NEW LEVEL 2 FLOOR AND THE NEW 720 SF VIEWING PLATFORM ON THE ROOF OF THE

BATHROOM BUILDING. THE TOTAL WORK AREA IS 1720 SF, WHICH IS MORE THAN 50% OF THE BUILDING AREA. PER SECTION 604, THE PROJECT IS A LEVEL 3 ALTERATION PROVISIONS OF CHAPTERS 7-9 APPLY.

CHANGE OF OCCUPANCY: THE SCOPE OF WORK DOES NOT INVOLVE A CHANGE OF OCCUPANCY. EXISTING BUILDING OCCUPANCIES INCLUDE S-2, U AND B. THE PROVISIONS OF CHAPTER IO DO NOT APPLY.

ADDITIONS: THE NEW FLOOR AREA ON LEVEL 2 MEETS THE DEFINITION OF

AN ADDITION IN CHAPTER 2. THE PROVISIONS OF CHAPTER II APPLY.



PROJECT LOCATION IN LUTHER BURBANK PARK

STATE OF WASHINGTON

REVISIONS

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NO SCALE

PROJECT DESCRIPTION

*SEISMIC RETROFIT & EXTERIOR RESTORATION * RESTORE EXISTING MASONRY, ANCHOR TIES & REPOINTING AT ENTRANCES * REMOVE & REINSTALL EXISTING STONE PARAPET WITH SEISMIC ANCHORS

*REMOVE TOP PORTION OF CHIMNEY & INSTALL NEW WEATHER CAP

* REINFORCE REMAINING CHIMNEY * INSTALL NEW ROOFING

* NEW INTERIOR MEZZANINE CONSTRUCTION

* INSTALL NEW CONCRETE SLAB & INTERIOR FOOTINGS * INSTALL NEW MEZZANINE FLOOR FRAMING & COMPOSITE CONCRETE FLOOR

* INSTALL NEW STAIR & GUARDRAIL FOR MEZZANINE *INSTALL NEW INTERIOR & EXTERIOR LIGHT FIXTURES

* RENOVATE TOILET ROOMS & CONCESSIONS

* INSTALL NEW SEWAGE PUMP IN PLAZA * INSTALL NEW ELECTRICAL PANEL & DISTRIBUTION

* INSTALL NEW FIRE ALARM

* ADDITIVE ALTERNATE I: * INSTALL NEW DECK & GUARDRAIL ON ROOF OF EXISTING BATHROOM & CONCESSIONS

PROJECT DIRECTORY

CITY OF MERCER ISLAND PUBLIC WORKS DEPARTMENT 9611 SE 36TH STREET MERCER ISLAND WA 98040 CONTACT: PAUL WEST 206.275.7833 (T)

CARDINAL ARCHITECTURE PC 1326 5TH AVENUE, SUITE 440 SEATTLE WA 98101 CONTACT: JIM CARY 206.624.2365 (T)

STRUCTURAL ENGINEER SSF ENGINEERS 2124 THIRD AVENUE, SUITE 100 SEATTLE WA 98121 CONTACT: GREG COONS 206.443.62I2 (T)

MECHANICAL ENGINEER FSI ENGINEERS 1001 ALASKAN WAY, SUITE 200 SEATTLE WA 98104 CONTACT: BLAKE WALKER 206.622.332I (T)

ELECTRICAL ENGINEER TFWB ENGINEERS 1200 WESTLAKE AVENUE N. SUITE 509 SEATTLE WA 98109 CONTACT: KEVIN WARTELLE 206.285.7228 (T)

COST ESTIMATOR DCW COST MANAGEMENT SEATTLE WA CONTACT: TRISH DREW 206.259.2990 (T)

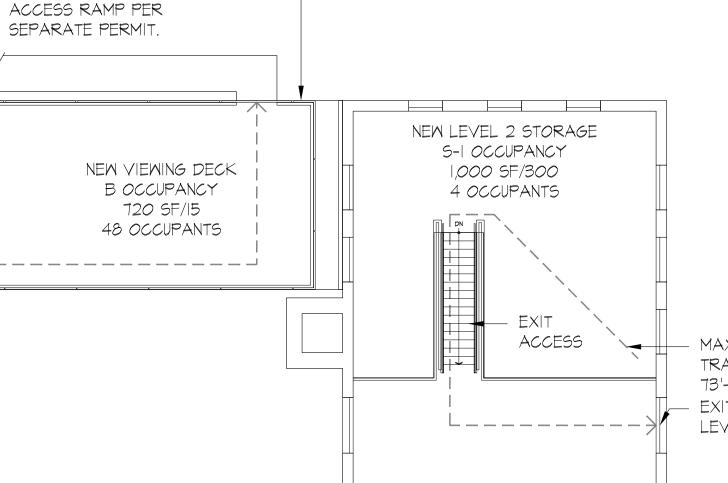
PROJECT MANUAL CITE SPECIFIC SEATTLE WA CONTACT: DEBIN SCHLIESMAN 206.328.6557

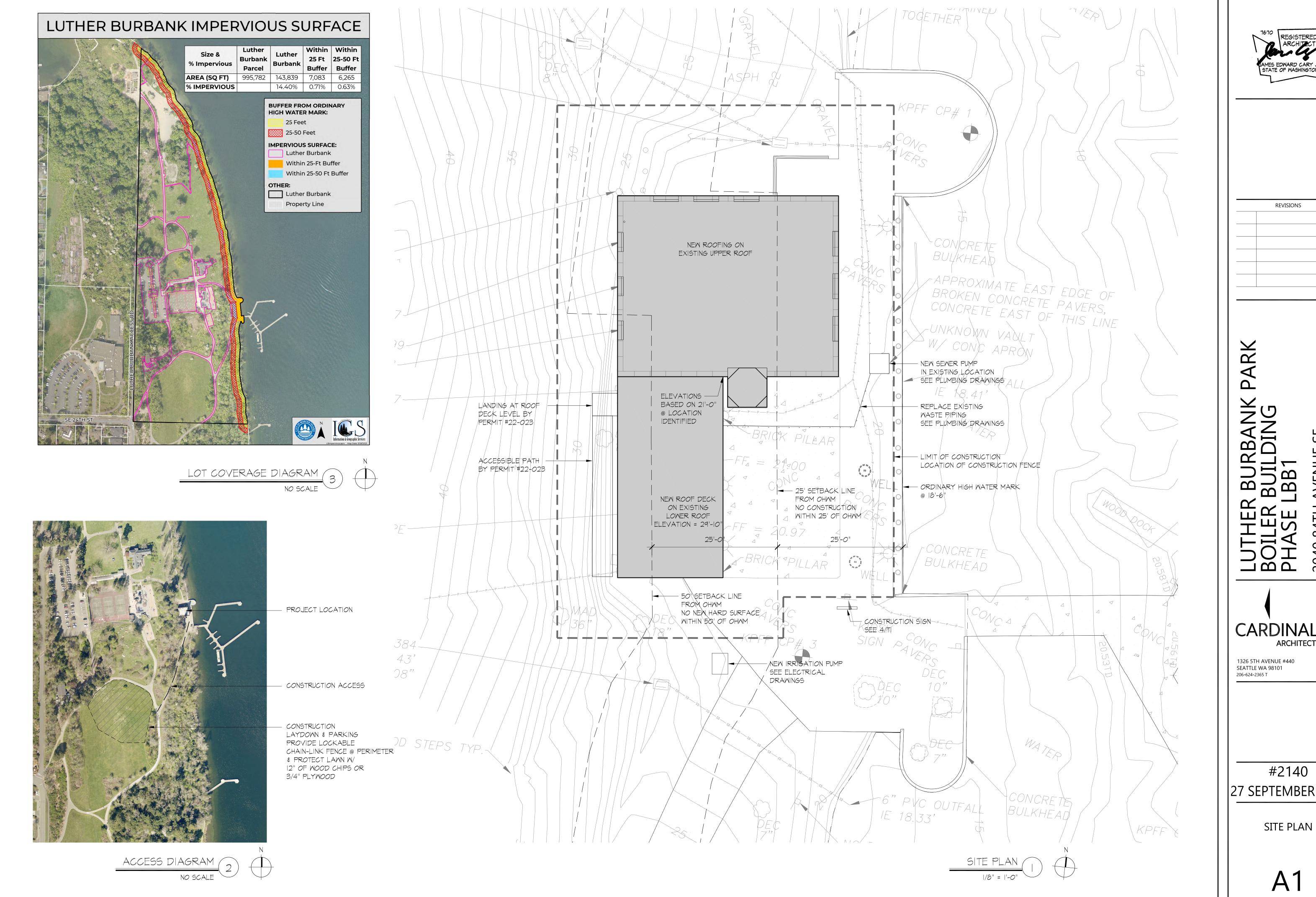


#2140 |27 SEPTEMBER 2023

> PROJECT **INFORMATION**

— (E) CONCESSIONS B OCCUPANCY 175 SF/150 - 2 OCCUPANTS (E) LEVEL | STORAGE S-2 OCCUPANCY 1,400 SF/300 5 OCCUPANTS - (4) OCCUPANTS FROM LEVEL 2 AB0VE – MAX. EXIT ACCESS TRAVEL DISTANCE: 73'-10" - EXIT DOOR ON EXIT LEVEL I BELOW 9 000





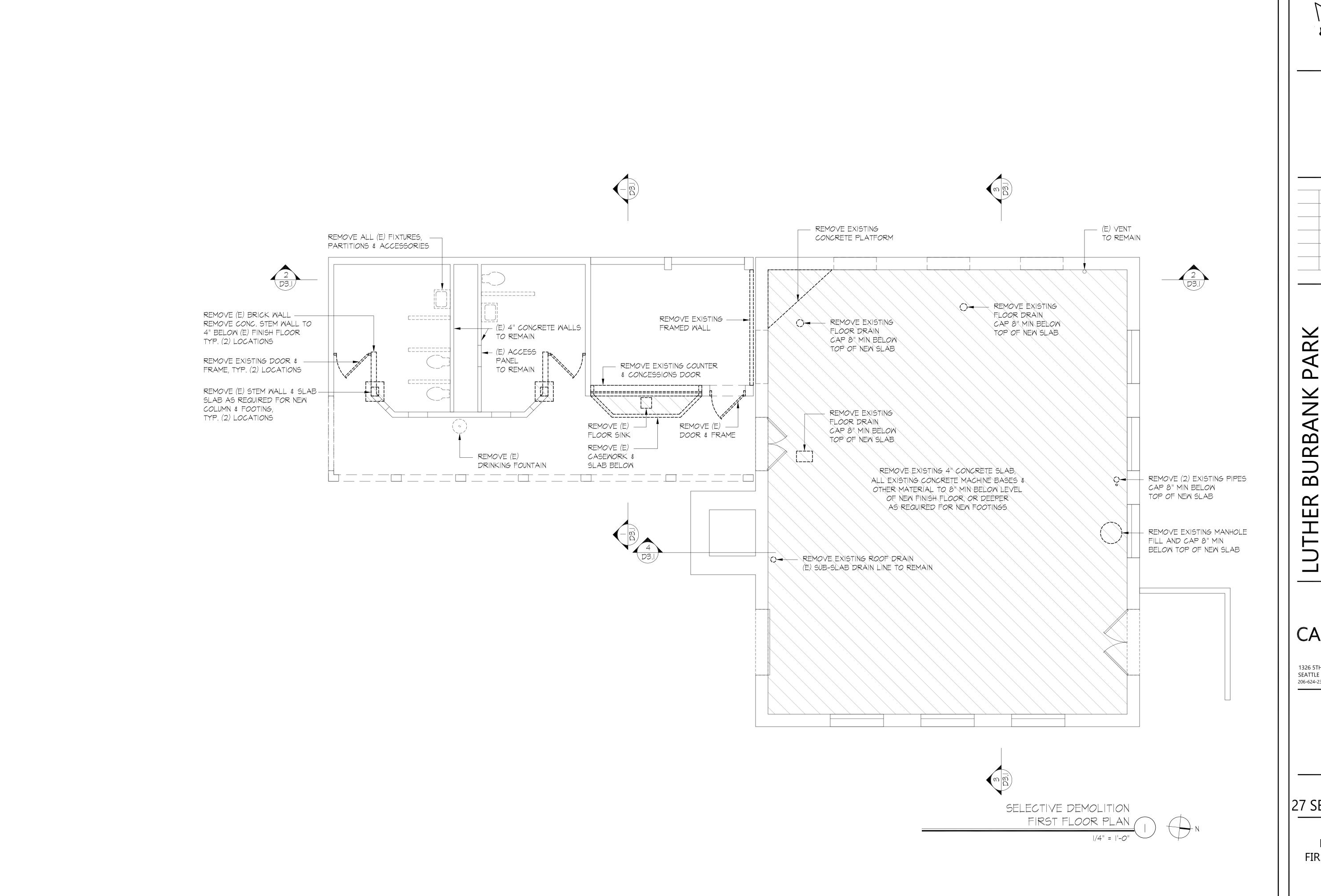


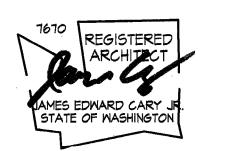
2040 84TH AVENUE SE MERCER ISLAND, WA 98040 LBB



#2140 27 SEPTEMBER 2023

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LUTHER BURBANK PA BOILER BUILDING PHASE LBB1 2040 84TH AVENUE SE MERCER ISLAND, WA 98040

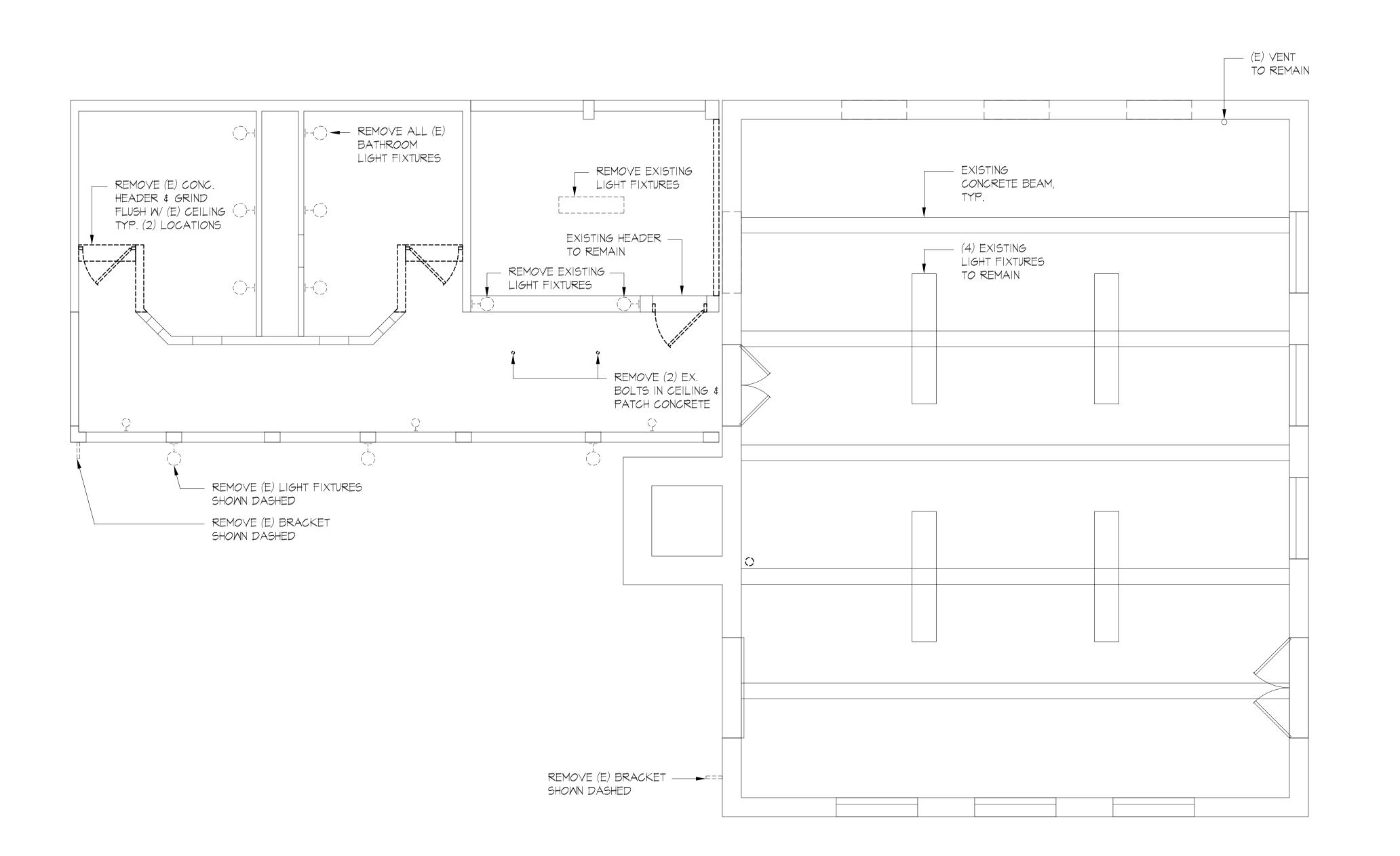


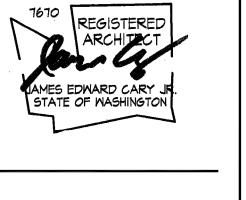
1326 5TH AVENUE #440 SEATTLE WA 98101 206-624-2365 T

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SELECTIVE DEMOLITION FIRST FLOOR PLAN

D2.1





LUTHER BURBANK PARK BOILER BUILDING PHASE LBB1

2040 84TH AVENUE SE MERCER ISLAND, WA 98040



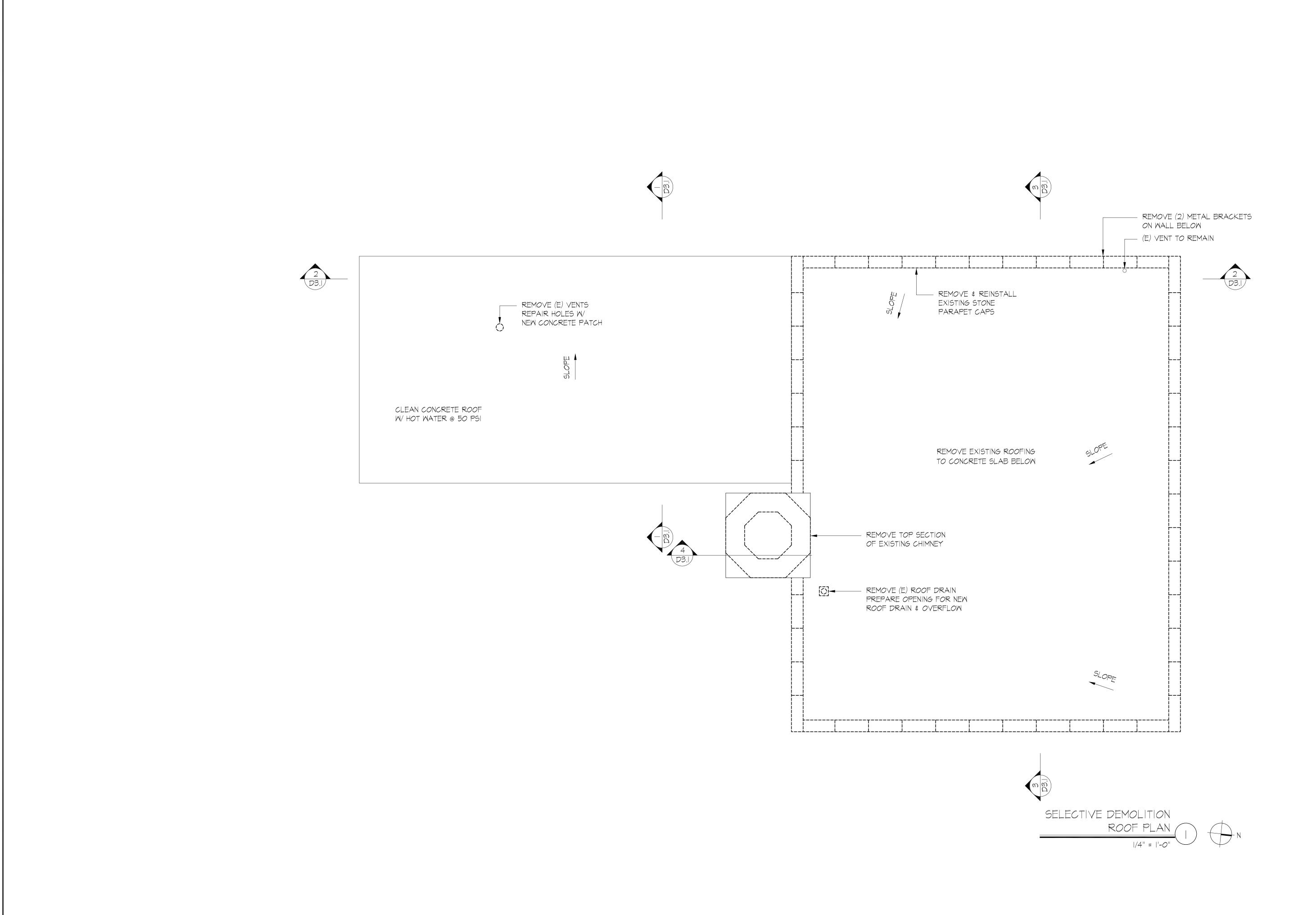
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SELECTIVE DEMOLITION

SELECTIVE DEMOLITION FIRST FLOOR RCP

D2.11





LUTHER BURBANK PARK BOILER BUILDING PHASE LBB1

2040 84TH AVENUE SE MERCER ISLAND, WA 98040



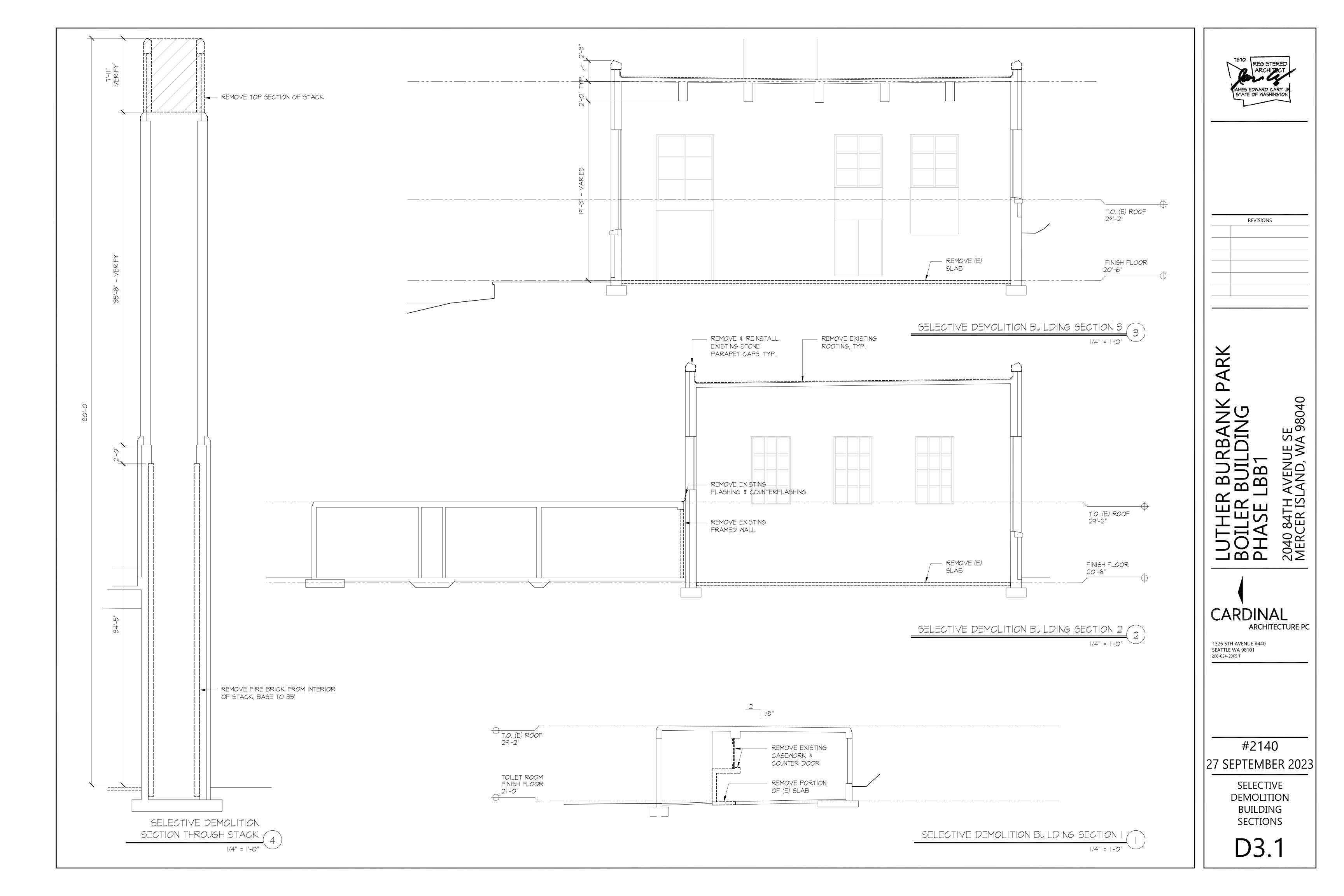
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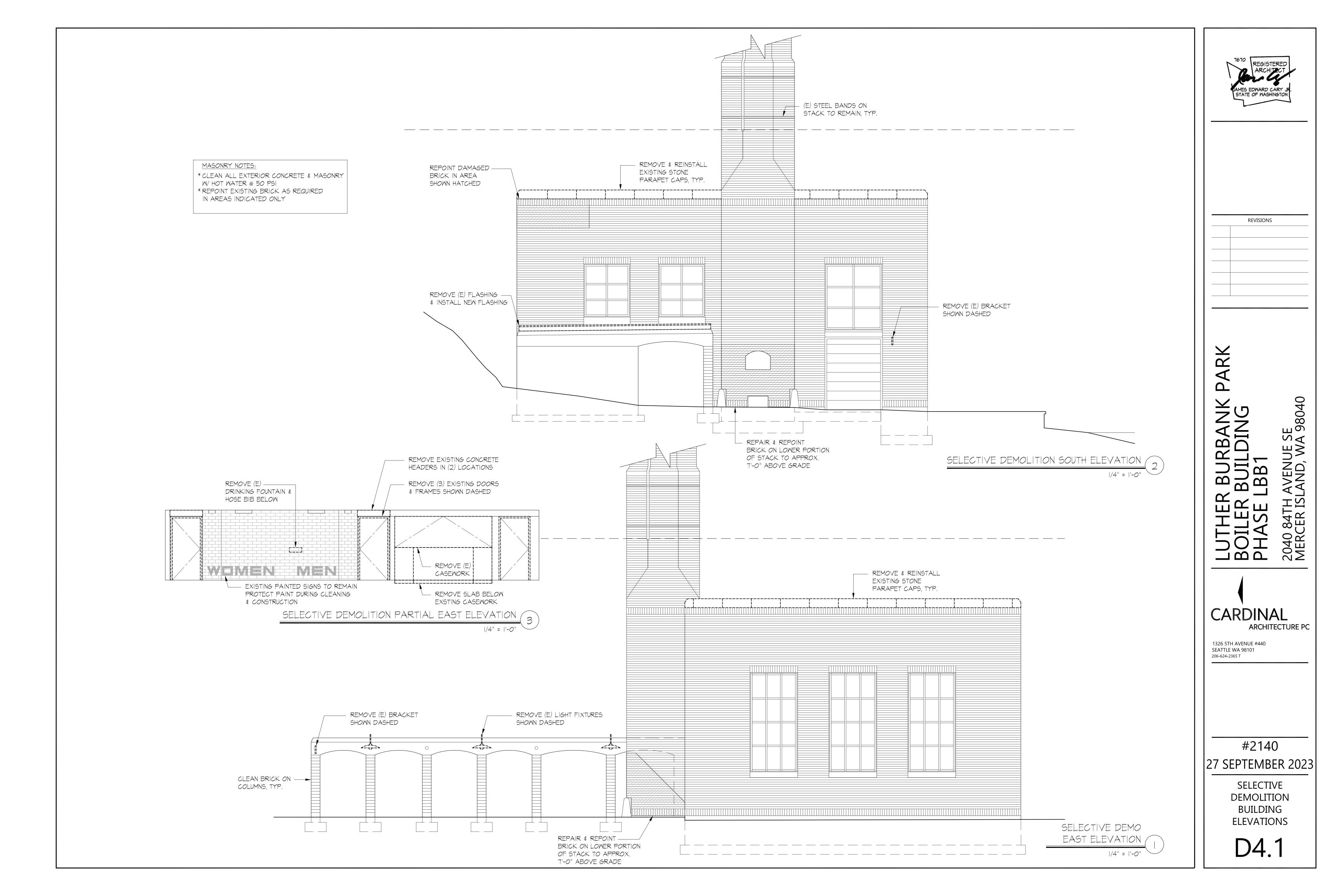
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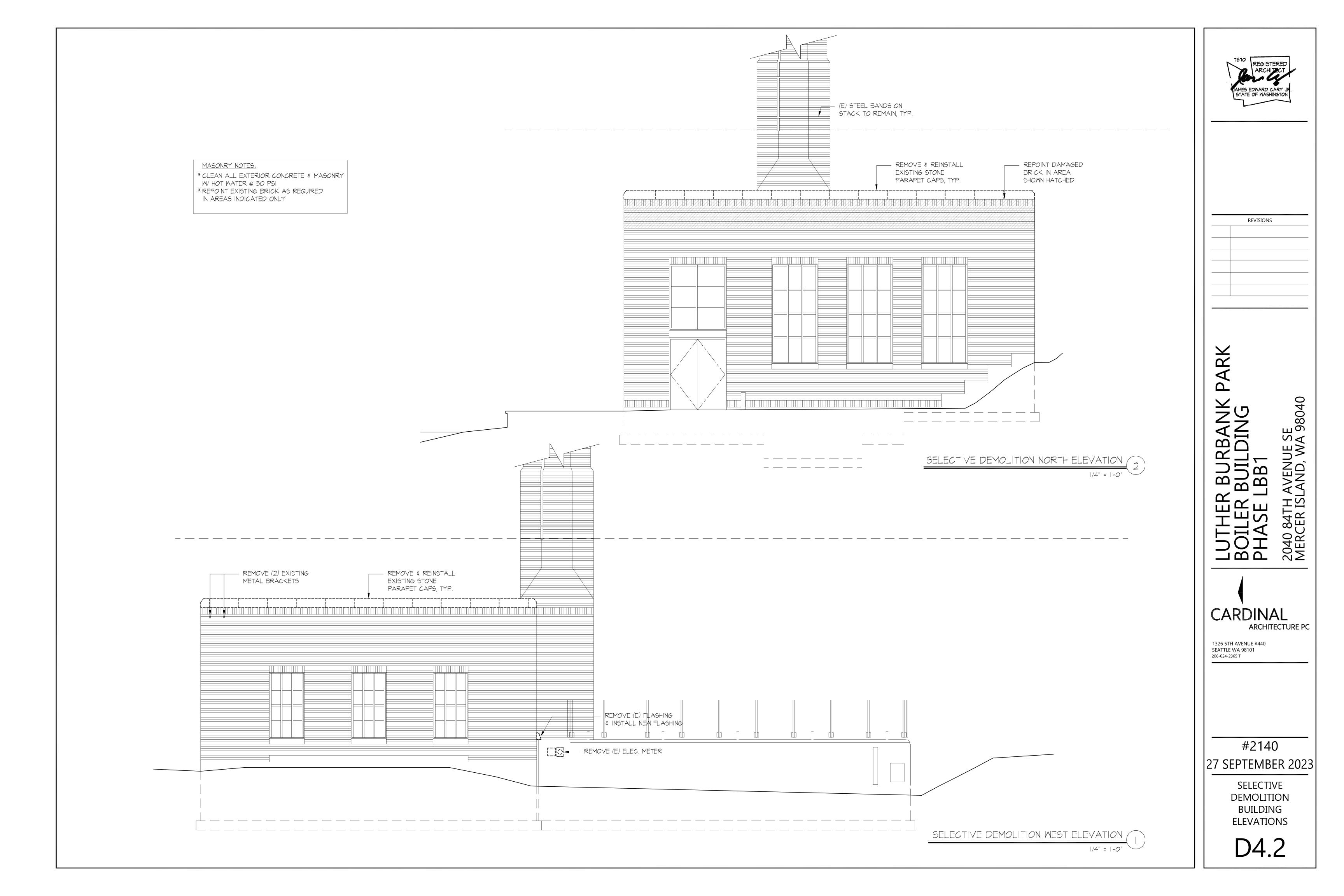
27 SEPTEMBER 2023

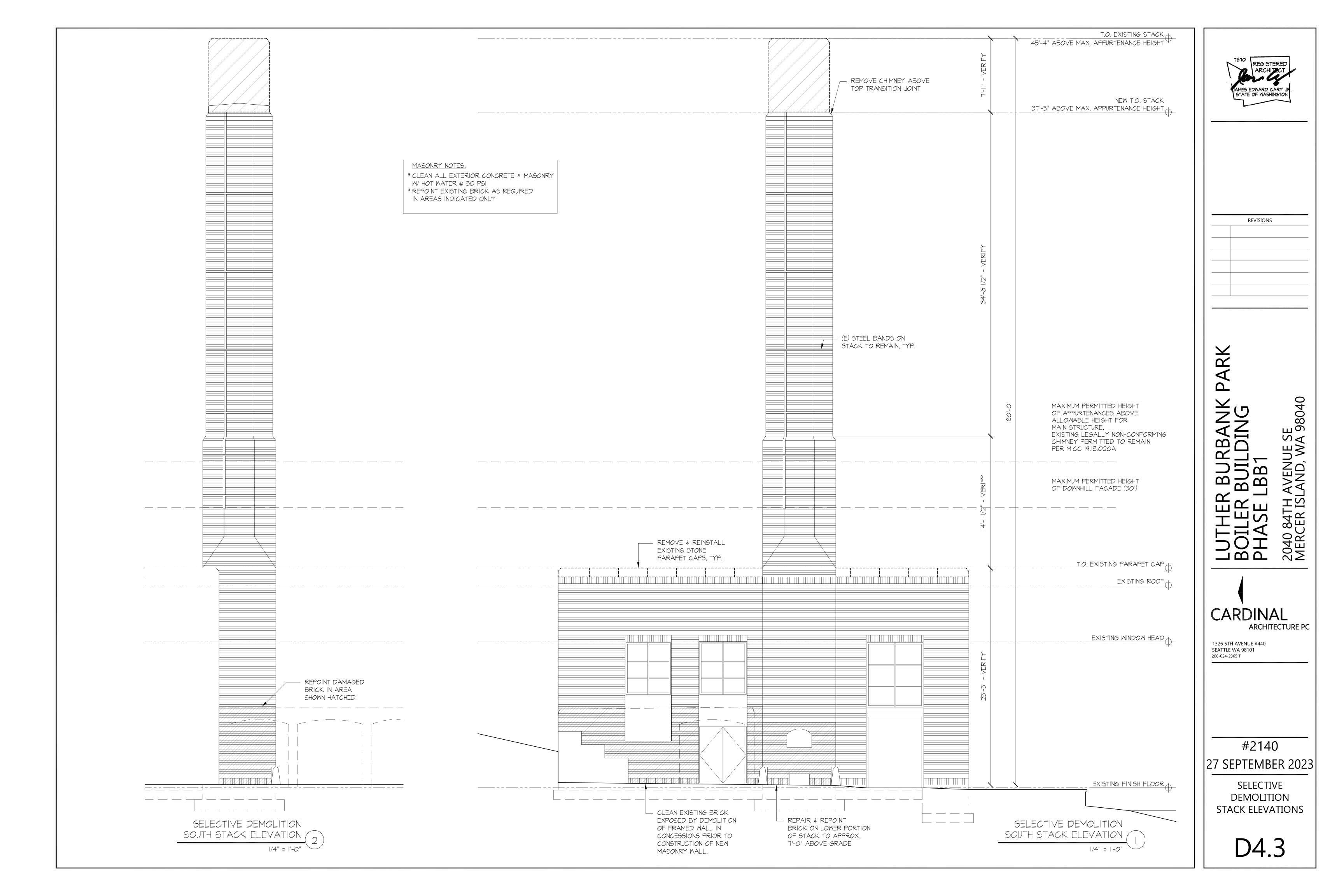
SELECTIVE DEMOLITION ROOF PLAN

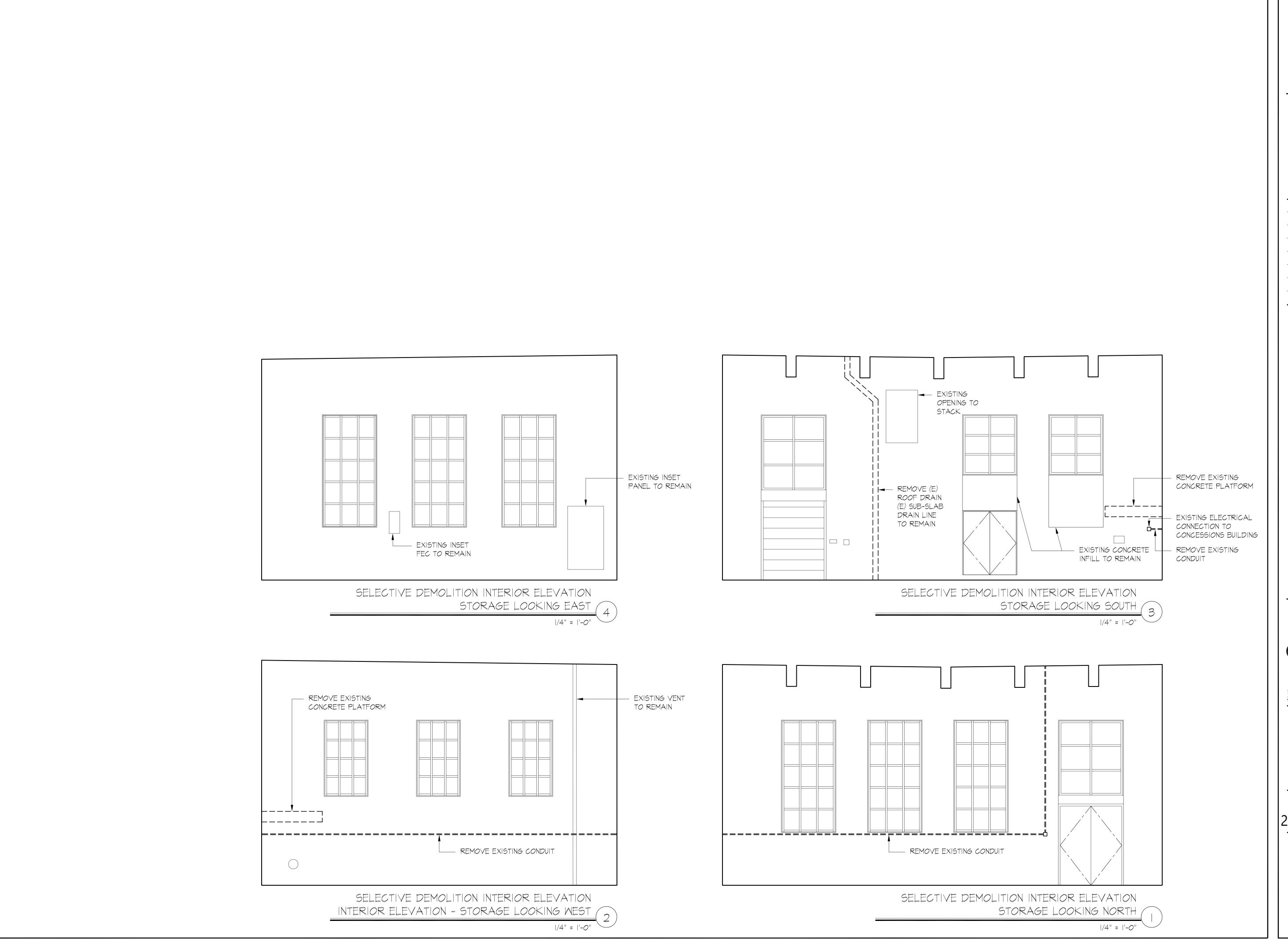
D2.3











R BURBANK BUILDING LBB1 2040 84TH AVENUE SE MERCER ISLAND, WA 98040 LUTHER BOILER E PHASE L

CARDINAL ARCHITECTURE PC

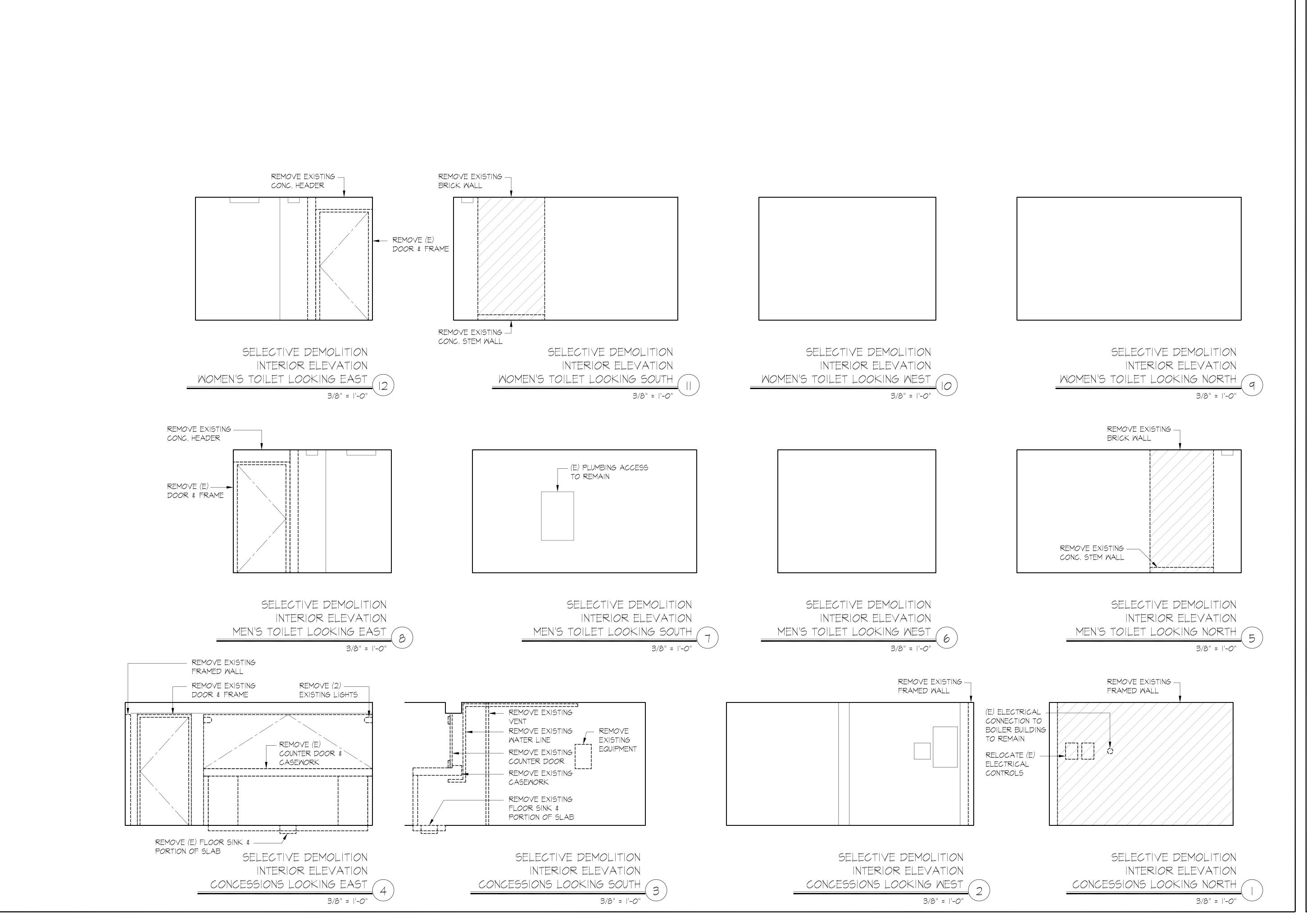
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#2140

27 SEPTEMBER 2023

SELECTIVE **DEMOLITION** INTERIOR **ELEVATIONS**

D6.1





PARK

2040 84TH AVENUE SE MERCER ISLAND, WA 98040 RBU BUJ LBB



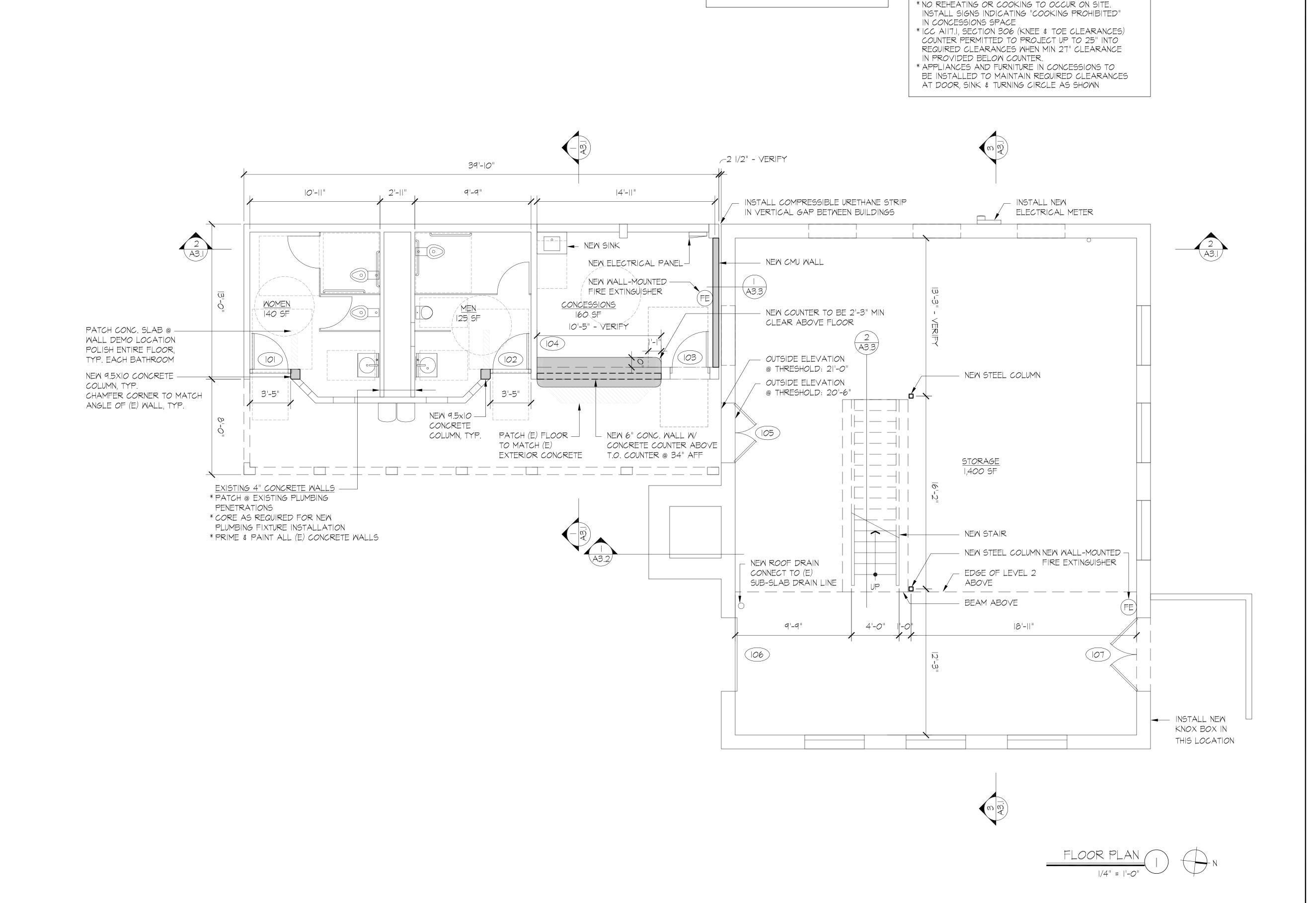
1326 5TH AVENUE #440 SEATTLE WA 98101 206-624-2365 T

#2140

27 SEPTEMBER 2023

SELECTIVE **DEMOLITION** INTERIOR **ELEVATIONS**

D6.2



NOTE:

* INSTALL (2) 2A FIRE EXTINGUISHERS IN

LOCATIONS INDICATED BY "FE"

CONCESSION NOTES:

TO BE PREPACKAGED.

* ALL FOODS SOLD AT CONCESSIONS



REVISIONS

PARK R BURBANK BUILDING LBB1 2040 84TH AVENUE SE MERCER ISLAND, WA 98040

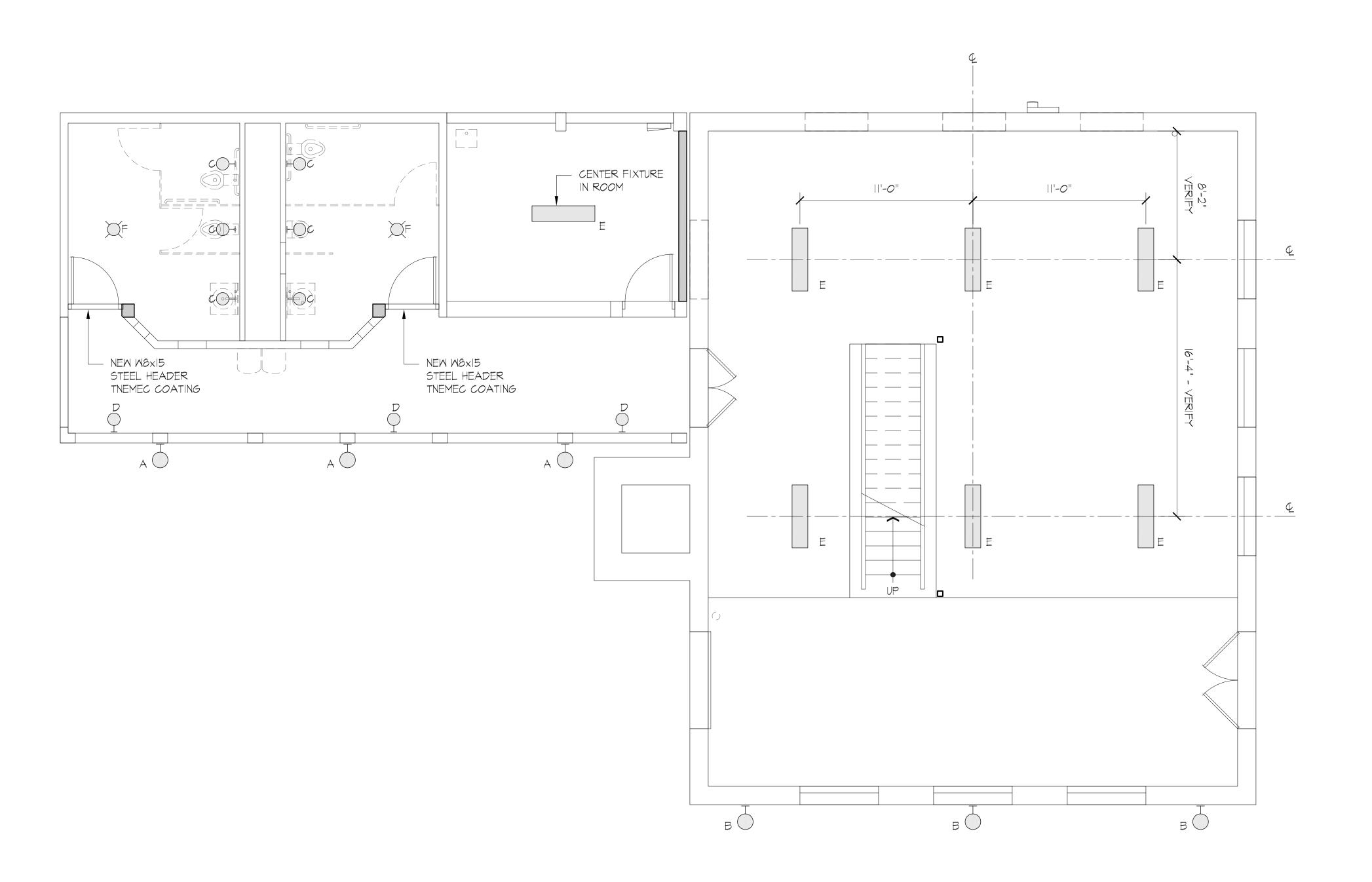


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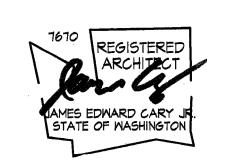
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FIRST FLOOR PLAN

	LIGHTING SCHEDULE				
#	TYPE	PRODUCT	FINISH	COLOR TEMPERATURE	NOTES
А	TROY RLM HEAVY DUTY ALUMINUM SHADE	TROY RHI6LEDI227BB-C-CG	BLACK	2700K	SMALL LOOP ARM MOUNT (3SL23BB-C), CLEAR GLASS ENCLOSURE INSTALL IN (E) LOCATIONS INSTALL LEVEL 2 LOCATIONS W/ B.O. SHADE I'-O" ABOVE WINDOW HEAD
В	WE-EF SURFACE MOUNTED LUMINAIRES	WE-EF RLS410 LED 131-9604	BLACK	2700K	MOUNT @ 32" ABOVE GRADE
C	ALCON 2' LINEAR FIXTURE	ALCON ALVA LED 11122-2	BLACK	3000K	
D	WALL PACK LED LIGHT FIXTURE	LITHONIA MPXI LED PI	BLACK	3000K	INSTALL IN (E) LOCATIONS
E	4' SURFACE-MOUNTED LED FIXTURE	LITHONIA BLWP4 LP830	STANDARD WHITE	3000K	
F	12" Φ SURFACE-MOUNTED LED FIXTURE	ALCON DISK LED 11170-12	BLACK	3000K	INSTALL W/ COLOR TEMPERATURE SWITCH AT 3000K







PARK

LUTHER BURBANK PABOILER BUILDING
PHASE LBB1

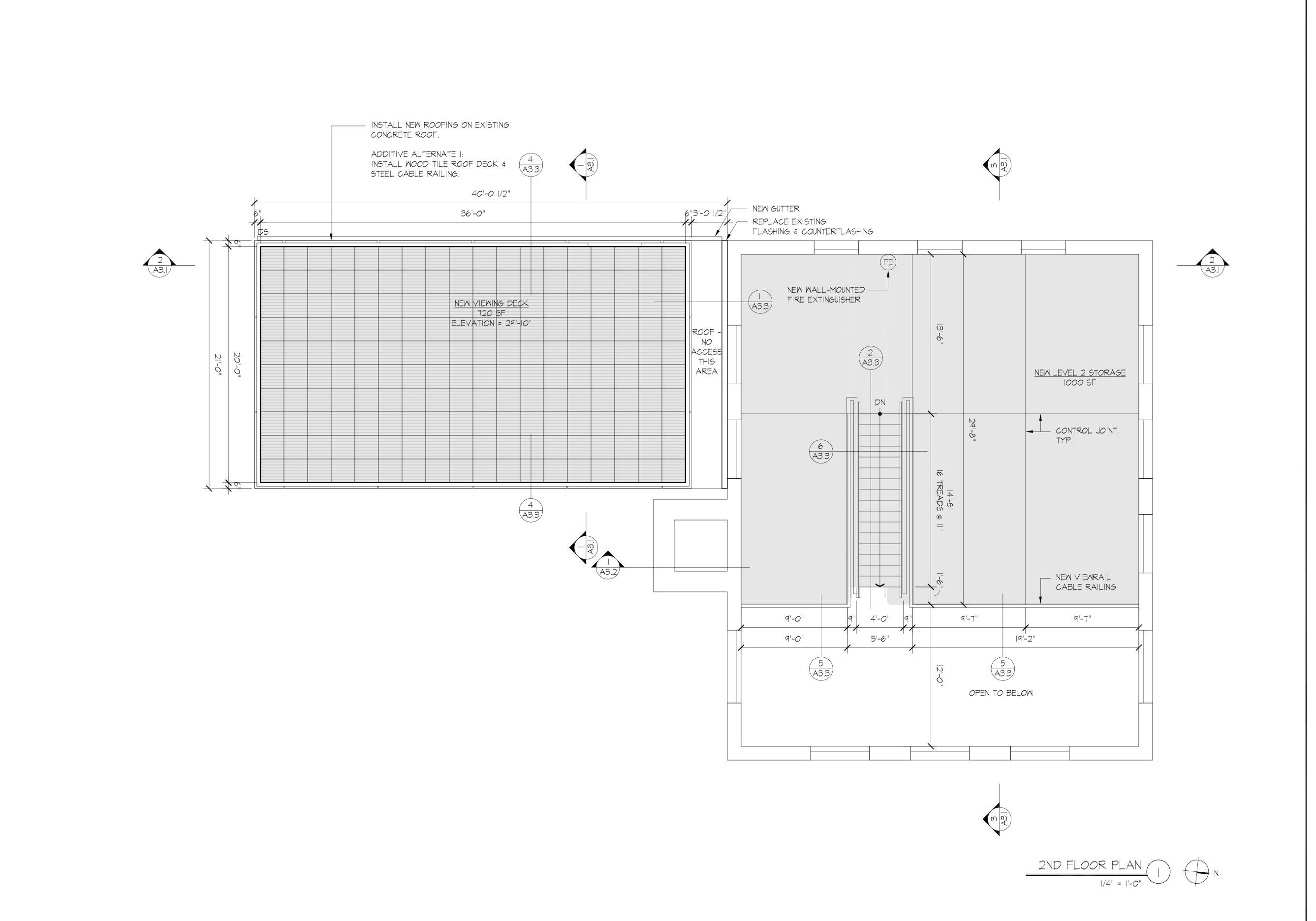
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040



1326 5TH AVENUE #440 SEATTLE WA 98101 206-624-2365 T

#2140 27 SEPTEMBER 2023

> FIRST FLOOR REFLECTED CEILING PLAN





R BURBANK PARK R BUILDING LBB1

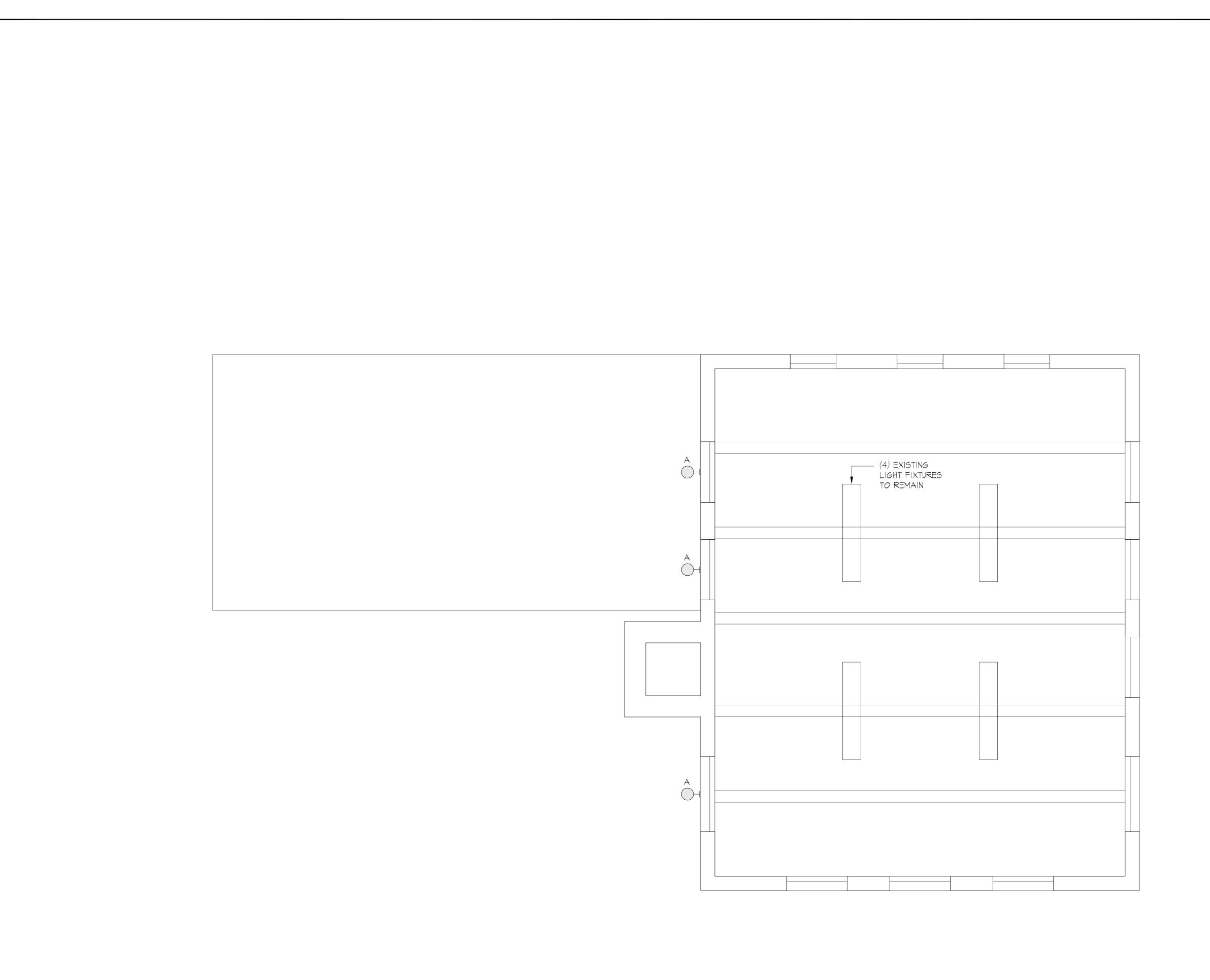
2040 84TH AVENUE SE MERCER ISLAND, WA 98040 LUTI BOIL PHA



1326 5TH AVENUE #440 SEATTLE WA 98101 206-624-2365 T

#2140 27 SEPTEMBER 2023

2ND FLOOR PLAN



SECOND FLOOR REFLECTED CEILING PLAN 1/4" = 1'-0"	N
/4" = '-0"	



LUTHER BURBANK PAF BOILER BUILDING PHASE LBB1 2040 84TH AVENUE SE MERCER ISLAND, WA 98040



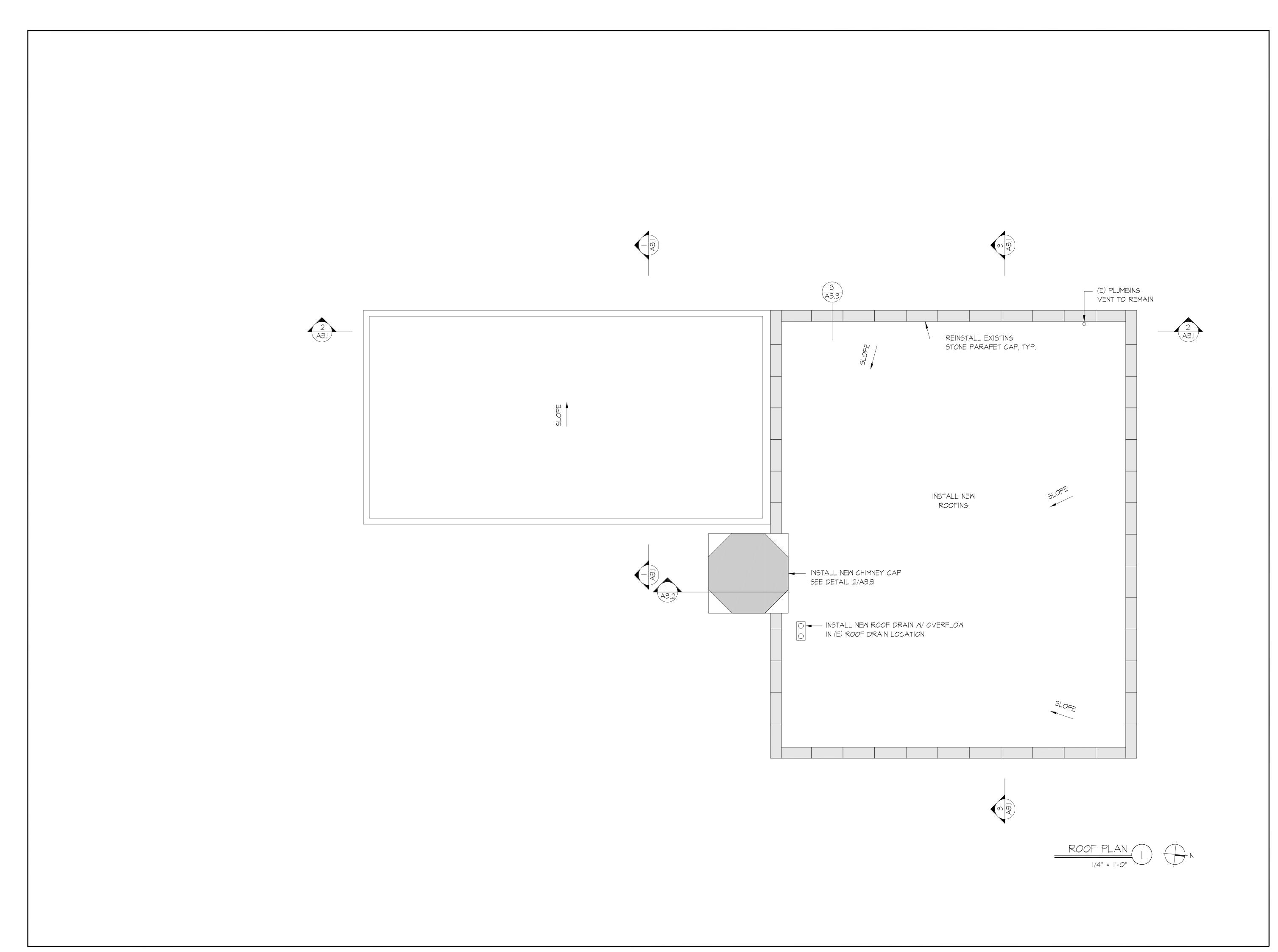
1326 5TH AVENUE #440 SEATTLE WA 98101 206-624-2365 T

#2140

27 SEPTEMBER 2023

2ND FLOOR REFLECTED CEILING PLAN

A2 21





SE

LUTHER BURBANK
BOILER BUILDING
PHASE LBB1

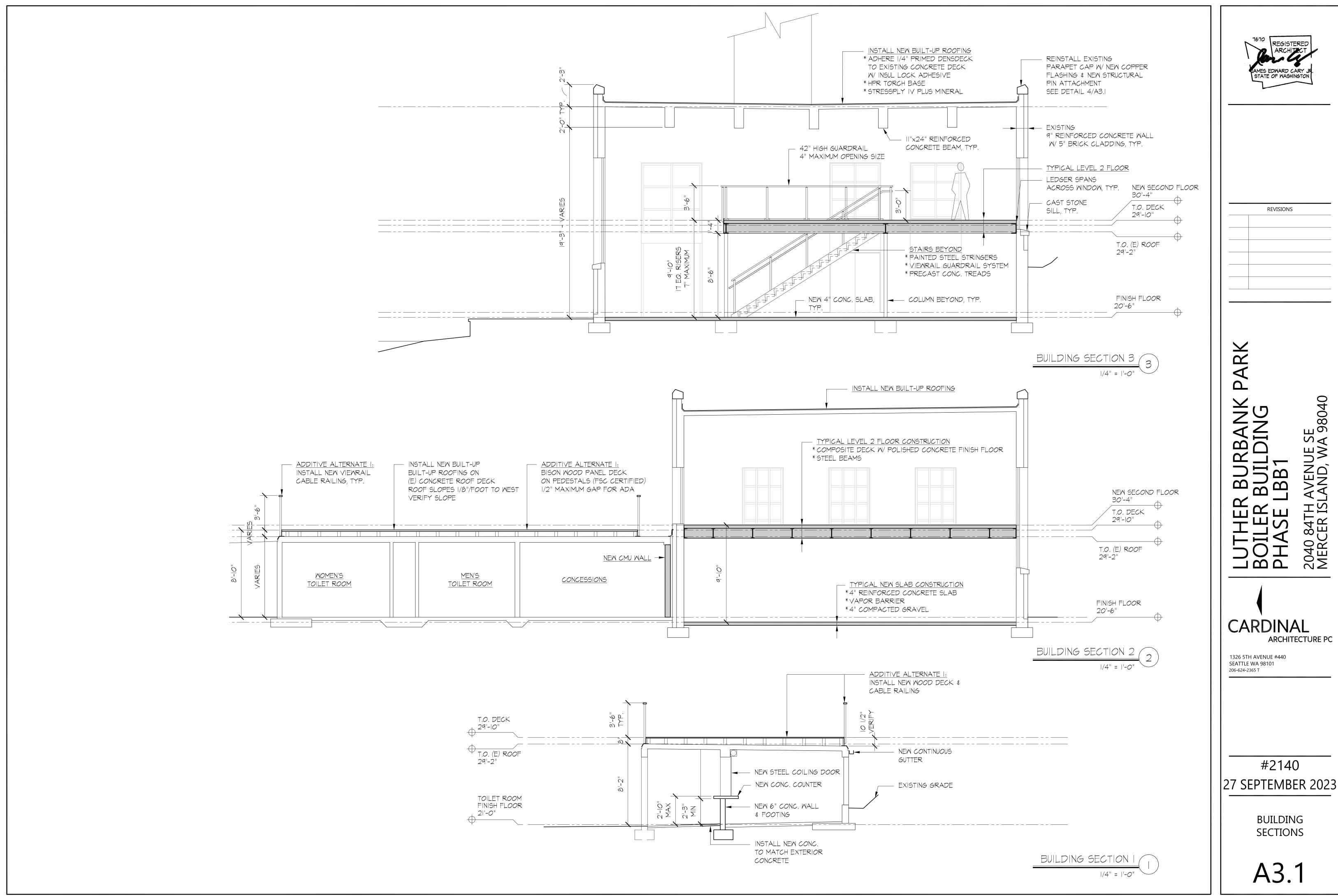
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MERCER ISLAND, WA 98040



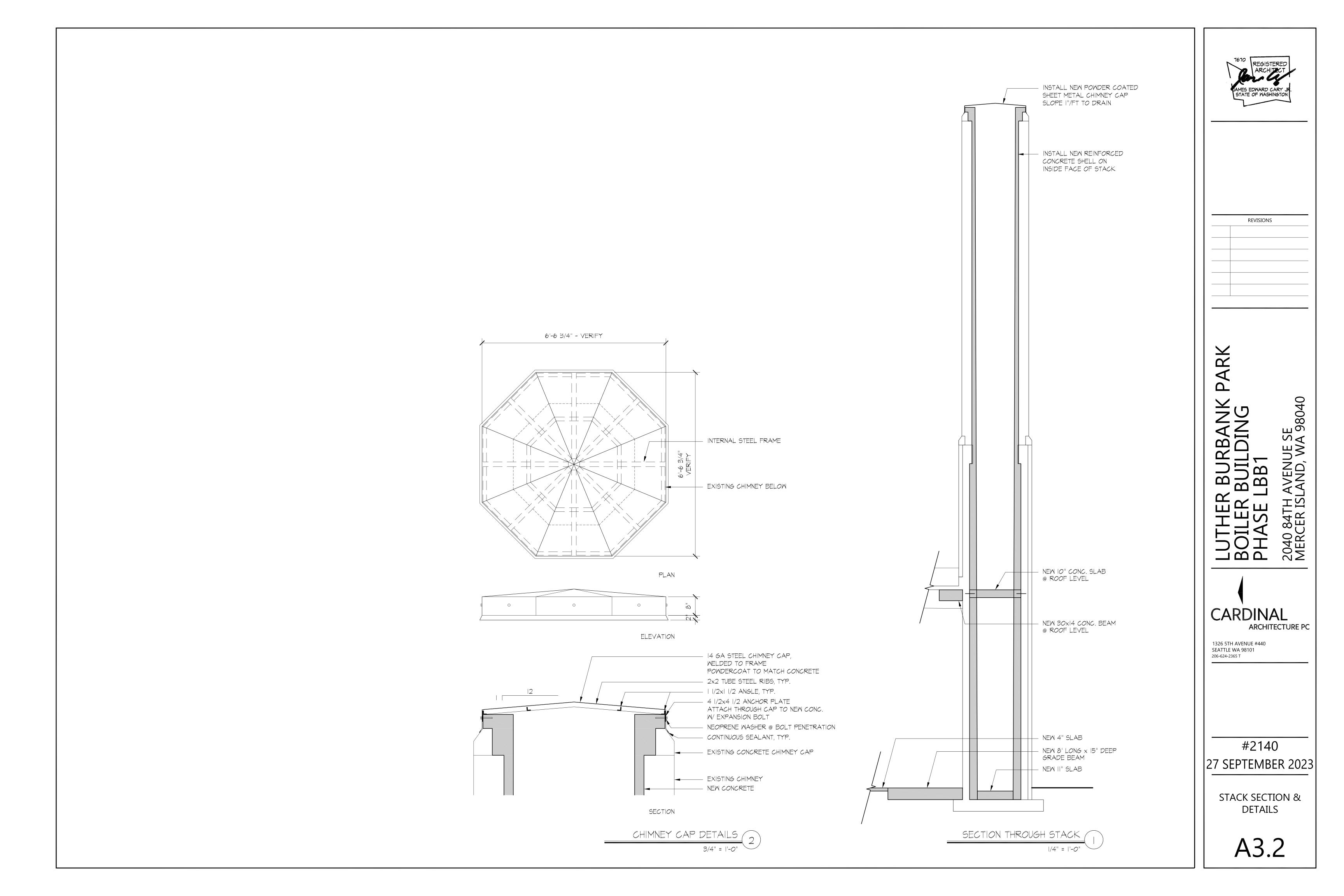
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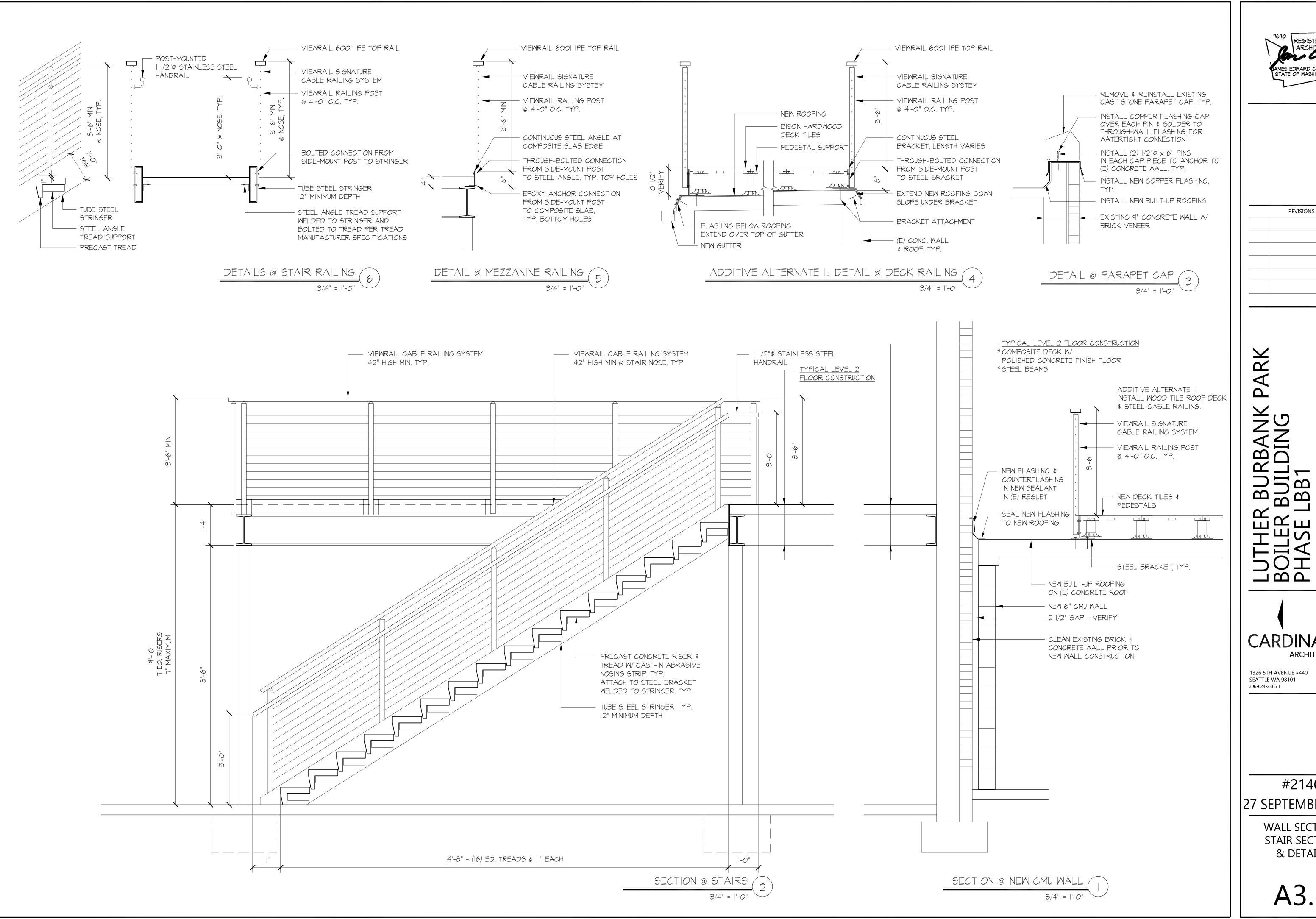
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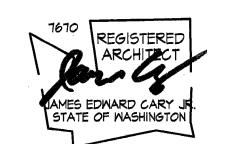
ROOF PLAN











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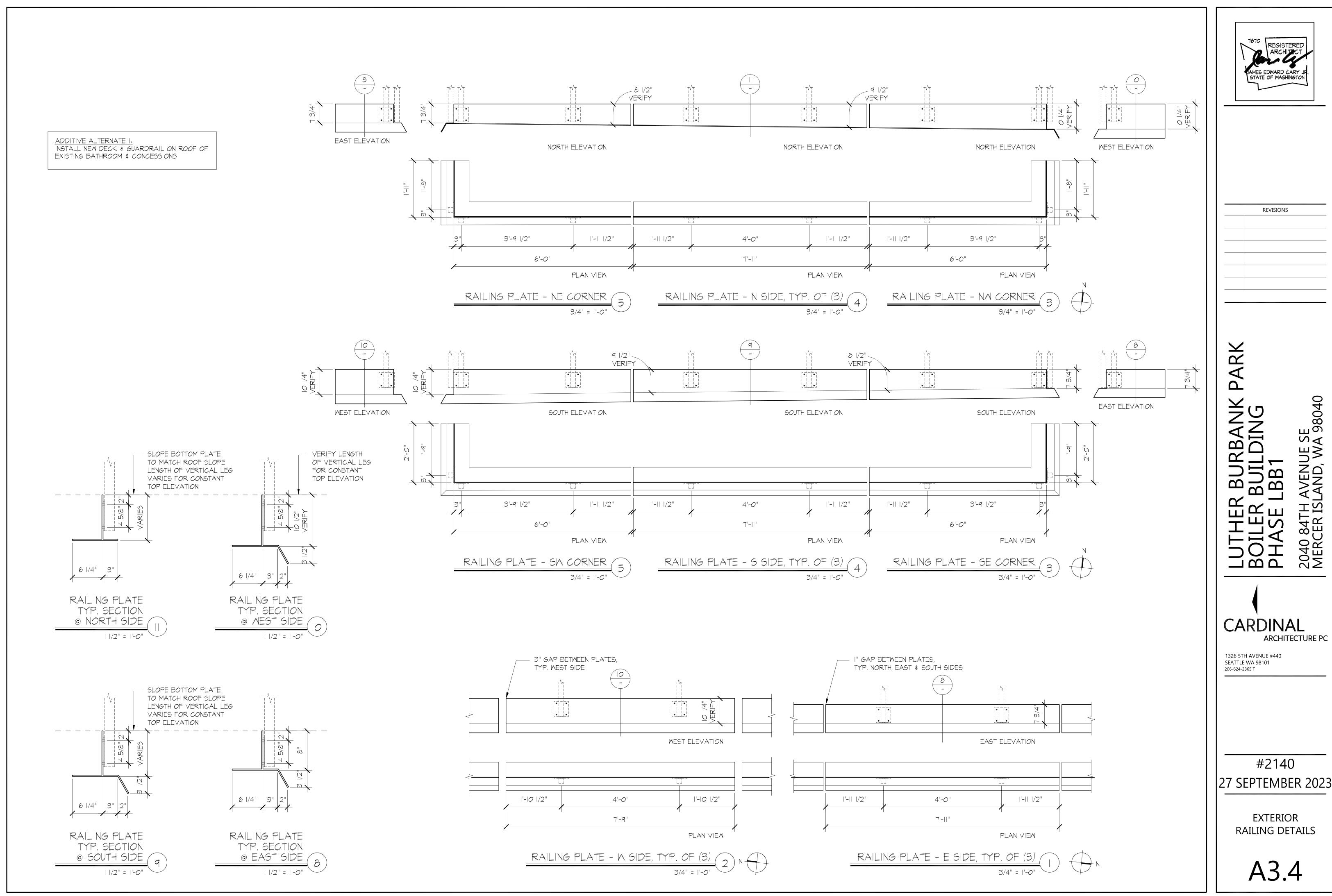


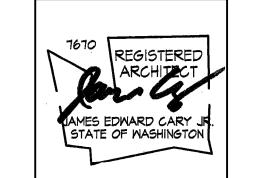
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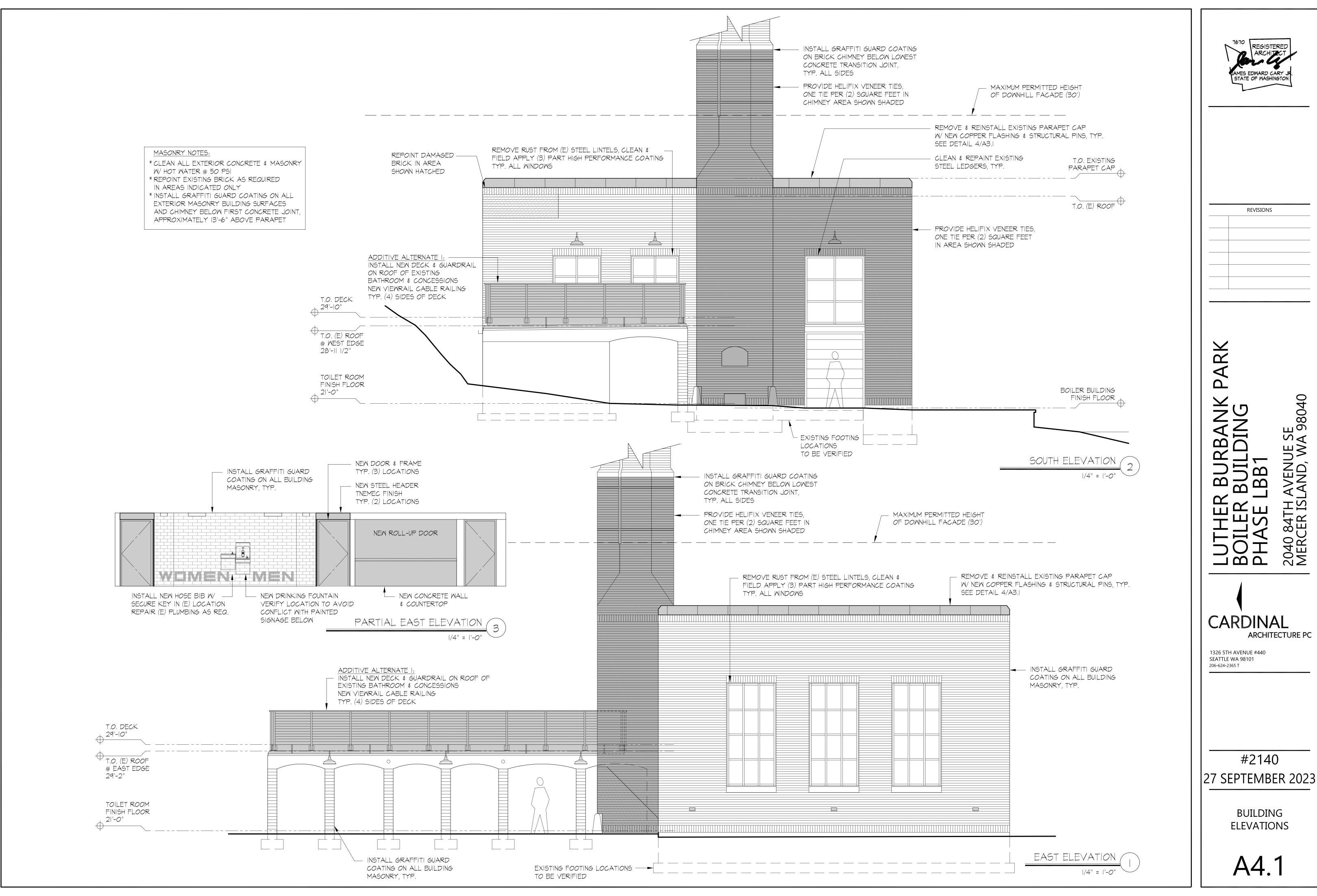
WALL SECTION, STAIR SECTION & DETAILS

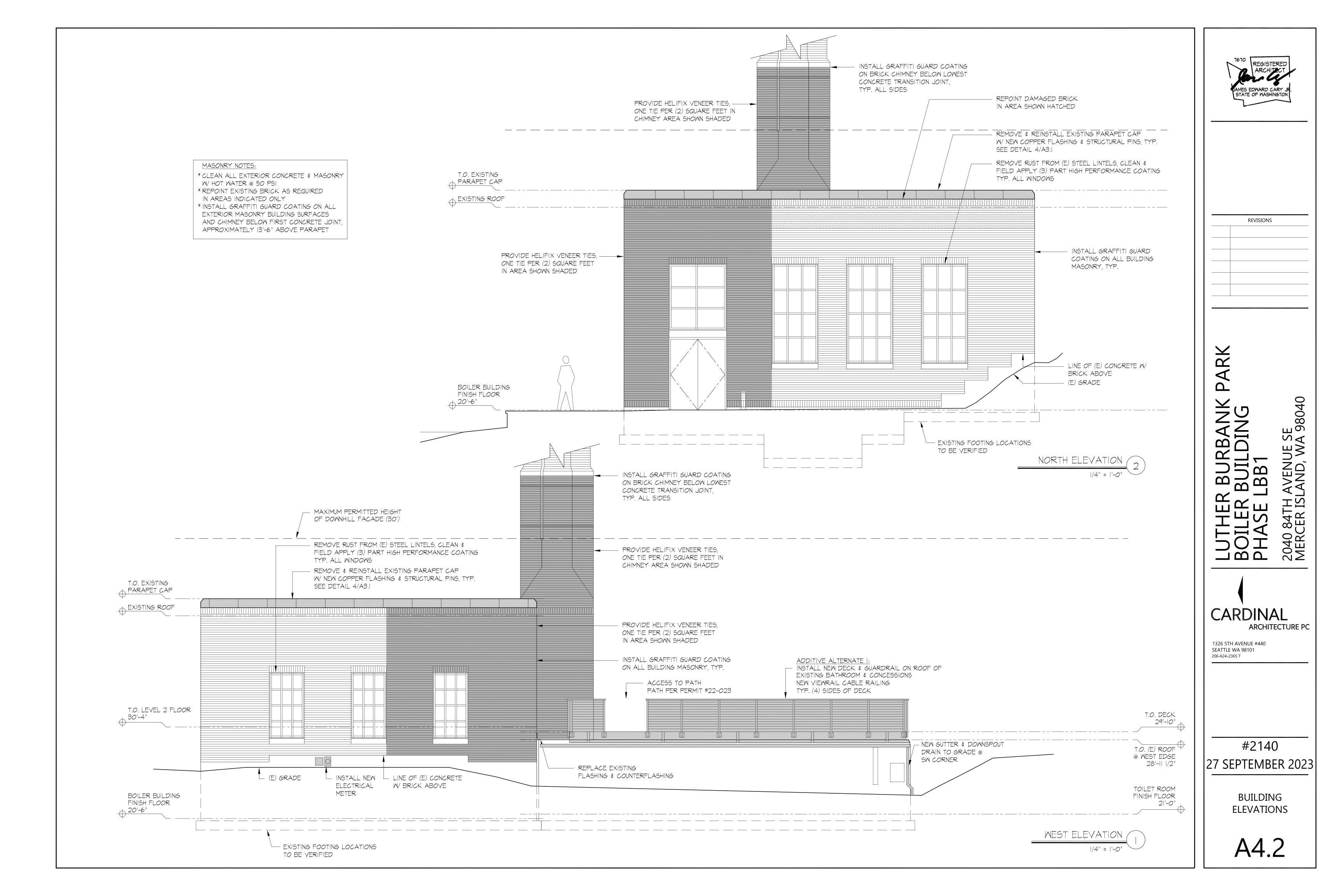
A3.3

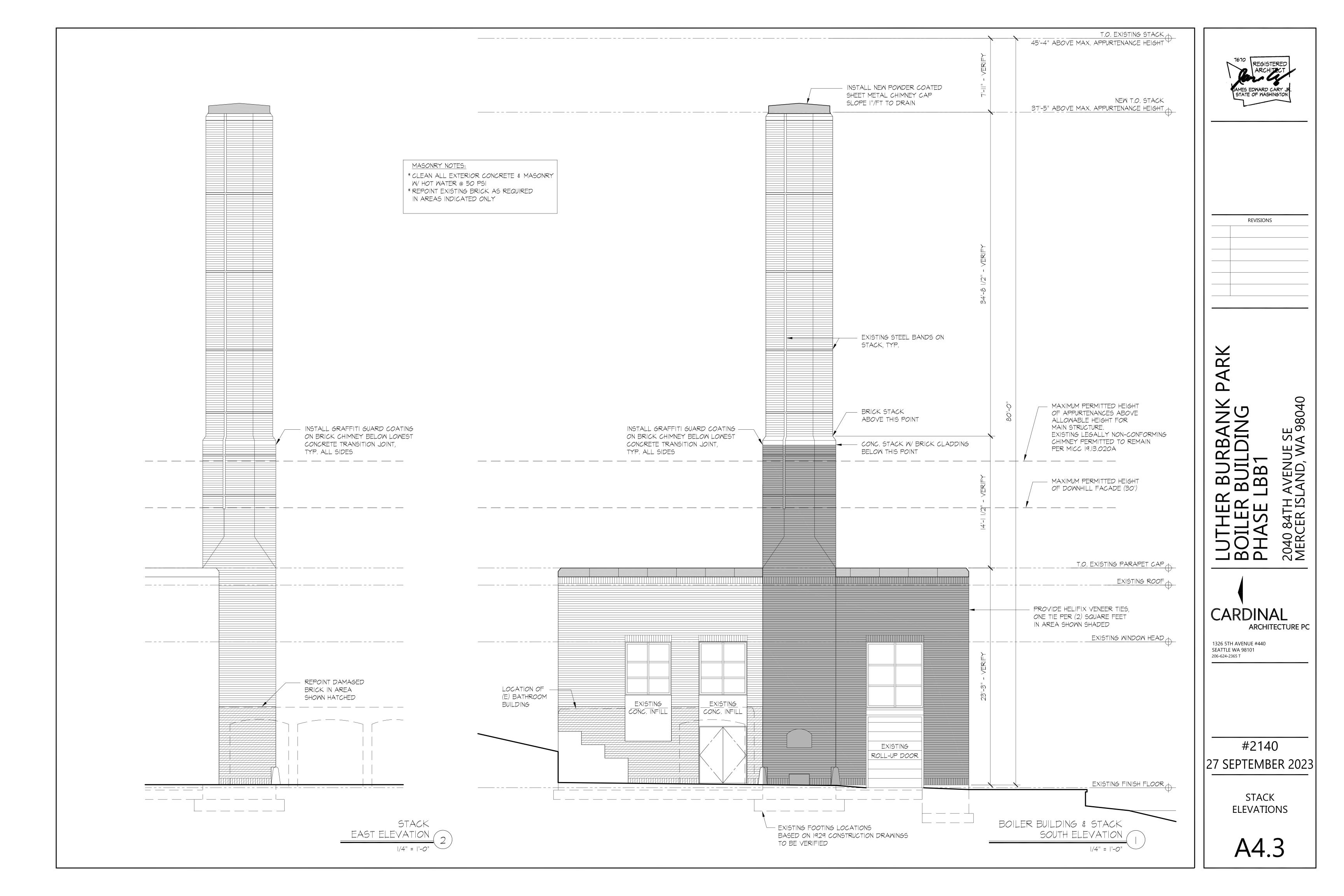




ARCHITECTURE PC





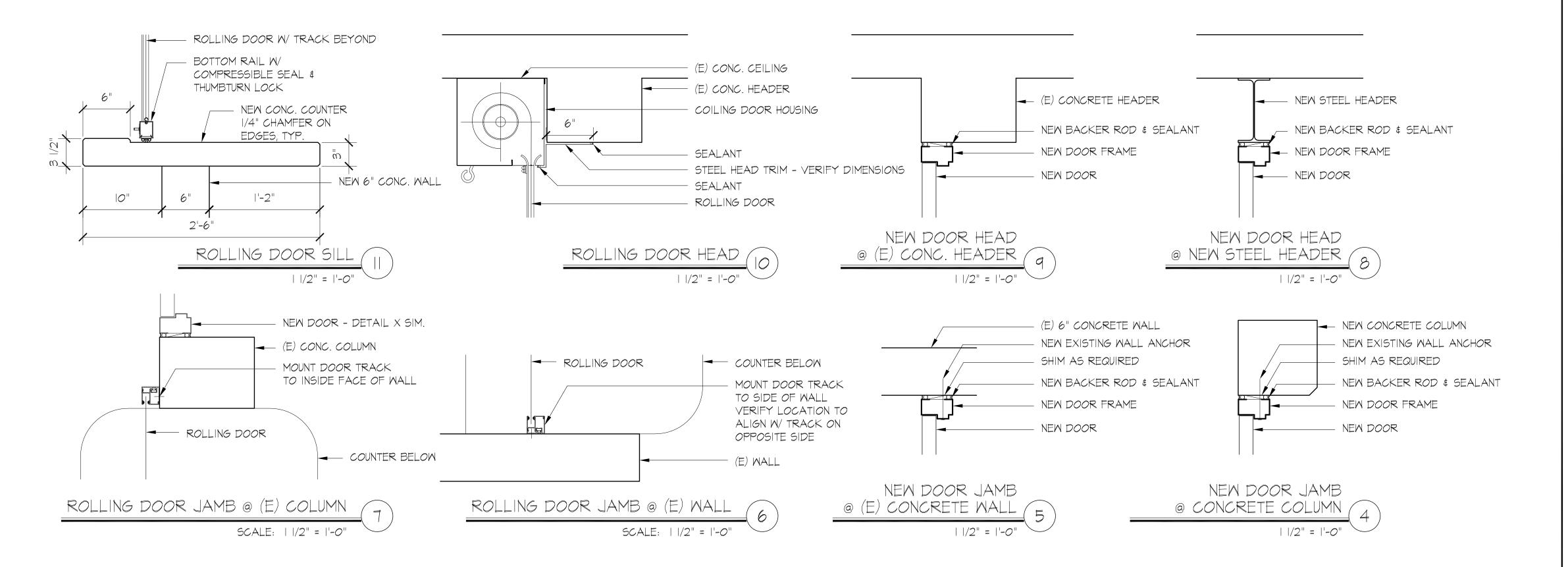


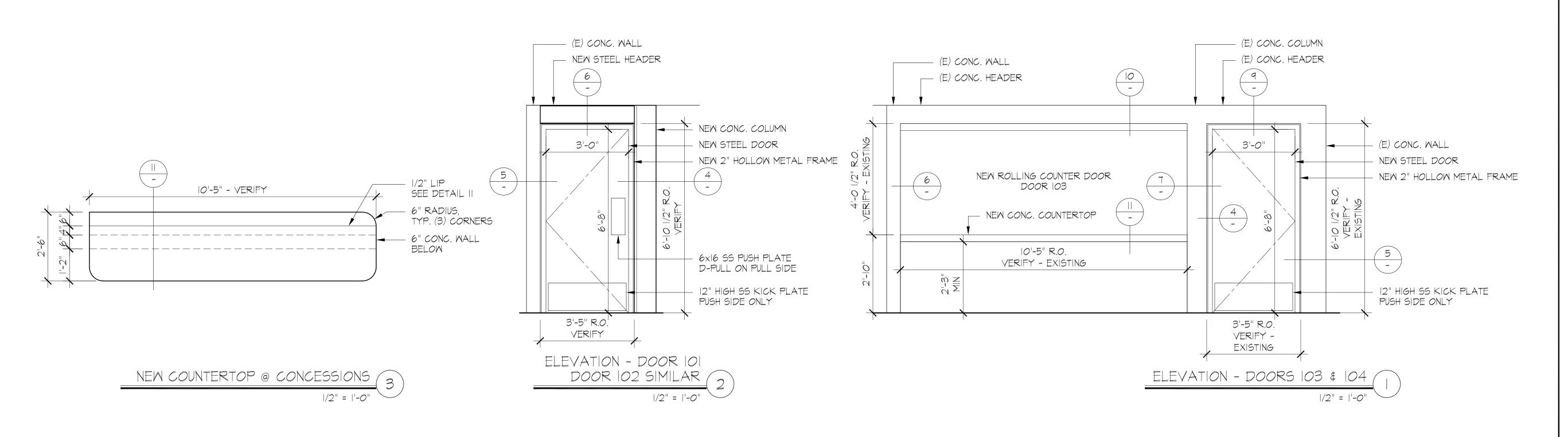
HARDWARE TYPES: * STOREROOM * FULL MORTISE LOCKSET STOREROOM FUNCTION, ANSI FOT W/ ELECTRONIC KEYCARD ACCESS * LCN HEAVY-DUTY CLOSER W/ HOLD-OPEN

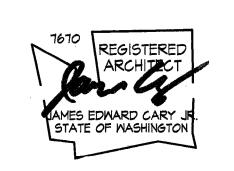
- * BATHROOM * PUSH PLATE ON EXTERIOR, D-PULL ON INTERIOR * NO LOCKSET, DEADBOLT ONLY CLASSROOM FUNCTION, ANSI E0172
- * REMOTE-ACCESS ELECTRONIC MAGNETIC LOCK W/ PUSH-BUTTON EXIT * LCN HEAVY-DUTY CLOSER, NO HOLD-OPEN
- GENERAL DOOR NOTES: * ALL DOOR LOCKS & ACCESS CONTROLS TO BE "BEST ACCESS" BRAND COORDINATE W/ OWNER FOR INTEGRATION WITH EXISTING ACCESS CONTROL SYSTEMS * ALL NEW DOORS TO BE PAINTED STEEL EXTERIOR DOORS
- * INSTALL NEW PAINTED HOLLOW METAL FRAMES AT ALL NEW DOOR LOCATIONS

* INSTALL NEM	MAINTED	HOLLOM	IMETAL FRA
* REPAINT (3)	EXISTING	D00RS 1	TO REMAIN

#	DOOR SIZE (W x H)	HARDWARE TYPE	NOTES
01	3'-0" × 6'-8"	BATHROOM	HOLLOW METAL DOOR & FRAME, PT-3
02	3'-0" × 6'-8"	BATHROOM	HOLLOW METAL DOOR & FRAME, PT-3
03	3'-0" × 6'-8"	STOREROOM	HOLLOW METAL DOOR & FRAME, PT-3 PROVIDE KEY CARD READER
04	10'-5" × 4'-0"	N/A	ROLL-UP COUNTER
<i>0</i> 5	EXISTING	STOREROOM	NEW LOCKSET & KEY CARD READER ON (E) DOOR NEW PAINT ON (E) DOOR & FRAME - PT-3
06	EXISTING	EXISTING	NEW PAINT ON (E) DOOR & FRAME - PT-3
07	EXISTING	STOREROOM	NEW LOCKSET & KEY CARD READER ON (E) DOOR NEW PAINT ON (E) DOOR & FRAME - PT-3







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REVISIONS

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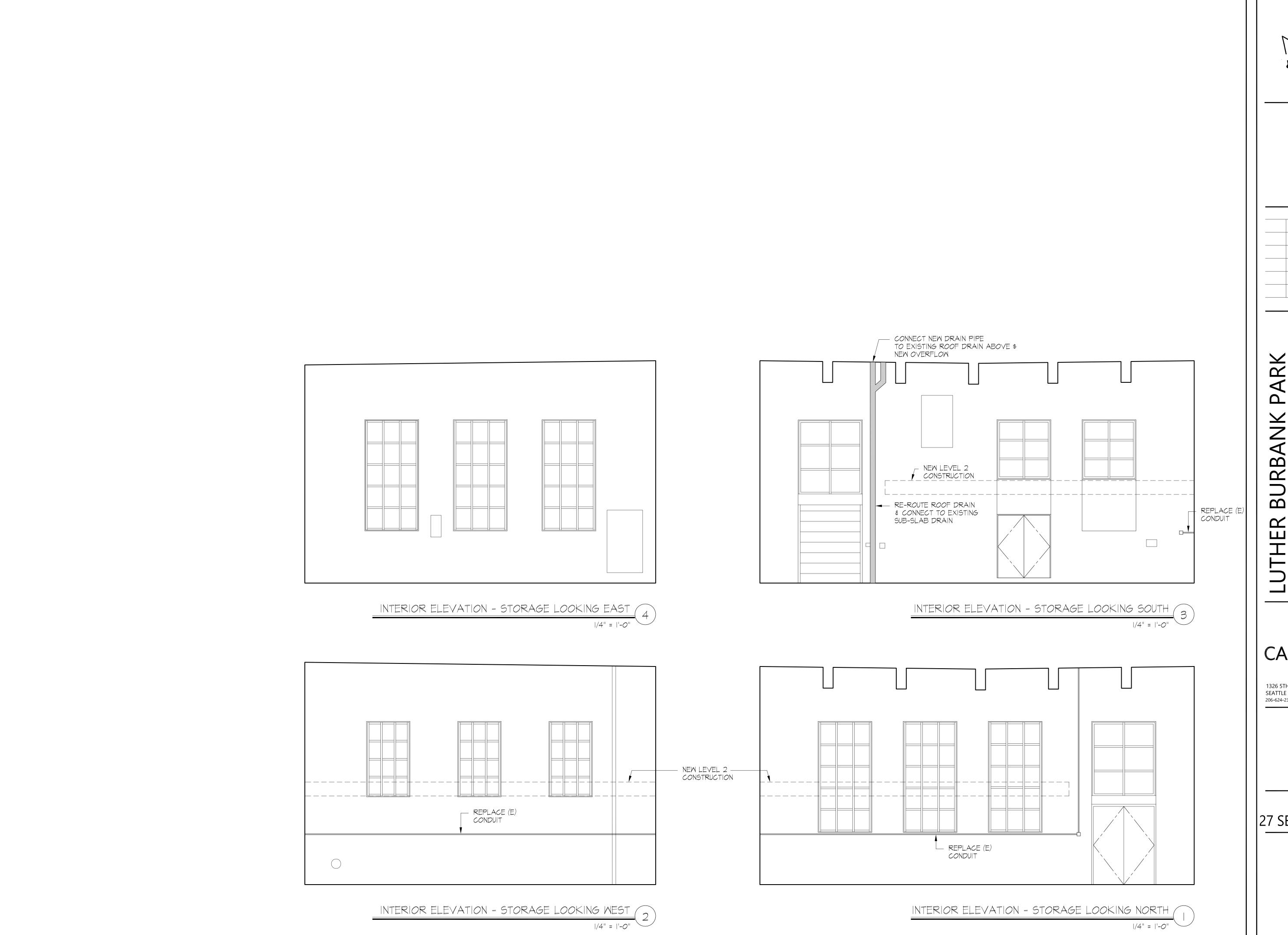


1326 5TH AVENUE #440 SEATTLE WA 98101 206-624-2365 T

#2140 27 SEPTEMBER 2023

DOOR SCHEDULES, **ELEVATIONS & DETAILS**

A5.1



2040 84TH AVENUE SE MERCER ISLAND, WA 98040 R BURBAN BUILDING LBB1 LUTE BOIL PHA

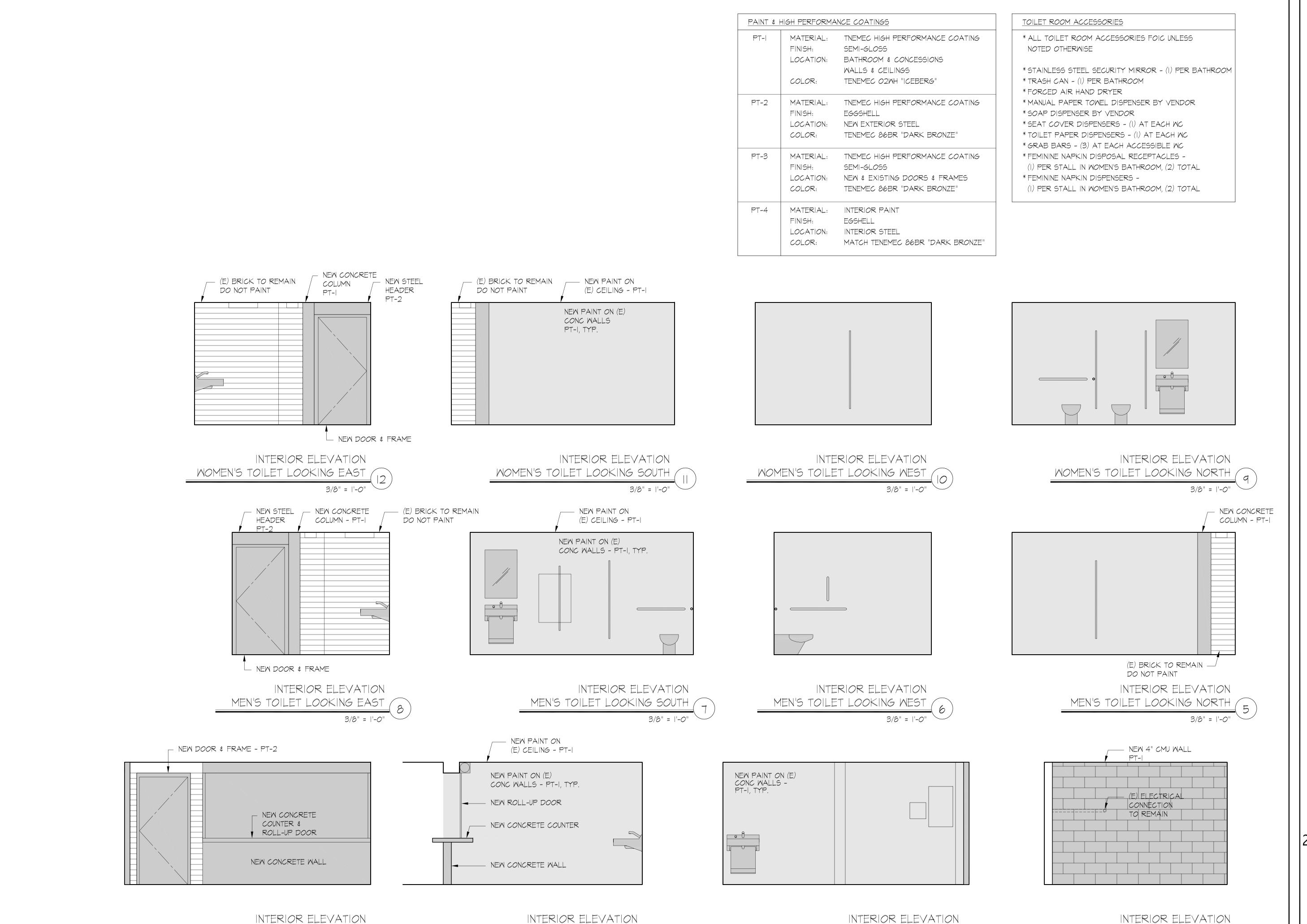
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1326 5TH AVENUE #440 SEATTLE WA 98101 206-624-2365 T

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> INTERIOR **ELEVATIONS**

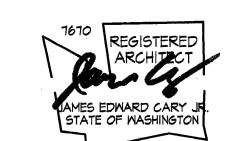
A6.1



CONCESSIONS LOOKING SOUTH (

3/8" = |'-0"

CONCESSIONS LOOKING EAST



REVISIONS

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2040 84TH AVEN MERCER ISLAND,

CARDINAL ARCHITECTURE PC

1326 5TH AVENUE #440 SEATTLE WA 98101 206-624-2365 T

#2140 27 SEPTEMBER 2023

> INTERIOR **ELEVATIONS &** FINISH SCHEDULE

> > A6.2

CONCESSIONS LOOKING NORTH

3/8" = |'-0"

CONCESSIONS LOOKING WEST

3/8" = |'-0"

CRITERIA

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL EXISTING BUILDING CODE (2018 EDITION) WITH CITY OF MERCER ISLAND AMENDMENTS TO THE IEBC. THIS STRUCTURE HAS BEEN ANALYZED AND RETROFITTED IN ACCODRANCE WITH IEBC SECTION 303. 3. 2, OPTION 3, ASCE 41-17 TEIR 2 PROCEDURE WITH A BSE-2E EARTHQUAKE HAZARD AND A COLLAPSE PREVENTION PERFORMANCE OBJECTIVE.

2.	DESIGN LOADING CRITERIA: HANDRAILS AND GUARDS
	GUARDRAILS/BALCONY RAILS
	GUARDRAILS/BALCONY RAILS CONCENTRATED LOAD 200 LE
	OFFICES
	FLOOR LIVE LOAD
	FLOOR CONCENTRATED LOAD
	ROOF LIVE LOAD
	MISCELLANEOUS LOADS
	STAIR AND CORRIDOR LIVE LOAD (UNLESS OTHERWISE INDICATED) 100 PS
	PARTITION LOADING
	MECHANICAL UNITS WEIGHTS FURNISHED BY MANUFACTURE
	DEFLECTION CRITERIA
	LIVE LOAD DEFLECTION L/36
	TOTAL LOAD DEFLECTION
	ENVIRONMENTAL LOADS
	RAIN
	SNOW Ce=1.0, Is=1.0, Ct=1.1, Cs=1.0, Pg=25 PSF, Pf=20 PSF

. GCpi=0.18, 100 MPH, RISK CATEGORY II, EXPOSURE "B" EARTHQUAKE . ANALYSIS PROCEDURE: ASCE 41-17 LINEAR DYNAMIC PROCEDURE LATERAL SYSTEM: REINFORCED CONCRETE SHEAR WALLS BSE-1E: Ss = 49, SXs = 64, S1=15, SX1=23

BSE-2E: Ss=103, SXs=124, S1=35, SX1=53 SITE CLASS=C, V=792 Kips

SEE PLANS FOR ADDITIONAL LOADING CRITERIA

- 3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE SPECIFICATION, THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.
- 4. PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTION, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER. CONTRACTORS. OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- 6. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION".
- 7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. ALL TYPICAL NOTES AND DETAILS SHOWN ON DRAWINGS SHALL APPLY, UNLESS NOTED OTHERWISE. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED ON THE PLANS BUT SHALL STILL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS. WHERE TYPICAL DETAILS ARE NOTED ON THE PLANS, THE SPECIFIED TYPICAL DETAIL SHALL BE USED. WHERE NO TYPICAL DETAIL IS NOTED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE APPROPRIATE TYPICAL DETAIL FROM THOSE PROVIDED OR REQUEST ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT ALL PROPOSED ALTERNATE TYPICAL DETAILS TO THOSE PROVIDED WITH RELATED CALCULATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO SHOP DRAWING PRODUCTION AND FIELD USE.
- 9. SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.

METAL DECKING REINFORCING STEEL (FOR BOTH CONCRETE AND MASONRY CONSTRUCTION) STRUCTURAL STEEL

DESIGN BUILD ELEMENTS

CONTRACTOR SHALL SUBMIT WALL AND CHIMNEY ELEVATION DRAWINGS OF AT LEAST 1/8" = 1'-0" SCALE INDICATING LOCATIONS OF CONNECTION EMBEDMENT'S AND WALL OPENINGS FOR REVIEW PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WALL ELEVATION DRAWINGS WITH REINFORCEMENT SHOP DRAWINGS.

APPROVED SETS OF ALL SHOP DRAWINGS SHALL ALSO BE SUBMITTED TO THE BUILDING DEPARTMENT.

10. SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND ONE COPY; REPRODUCIBLE WILL BE MARKED AND RETURNED WITHIN TWO WEEKS OF RECEIPT WITH A NOTATION INDICATING THAT THE SUBMITTAL HAS BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE SUBMITTED ITEMS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE BUILDING OFFICIAL

SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS. DISCREPANCIES. OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.

- 11. SHOP DRAWINGS OF DESIGN BUILD COMPONENTS INCLUDING CANOPIES, BALCONIES, COLD FORM STEEL FRAMING, TEMPORARY SHORING, CURTAIN WALL SYSTEMS, SKYLIGHT FRAMES, PREFABRICATED STAIR SYSTEMS, EXTERIOR CLADDING, AND PRE-ENGINEERED SYSTEMS SHALL BE STAMPED AND SIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF WASHINGTON. SHOP DRAWINGS SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO REVIEW OF THE ARCHITECT OR ENGINEER OF RECORD FOR GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE AND ALL NECESSARY CONNECTIONS NOT SPECIFICALLY CALLED OUT ON ARCHITECTURAL OR STRUCTURAL DRAWINGS. SHOP DRAWINGS SHALL INDICATE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON BASIC STRUCTURE. DESIGN CALCULATIONS SHALL BE SUBMITTED WITH THE SHOP DRAWINGS.
- 12. DEFERRED SUBMITTALS: SHOP DRAWINGS AND CALCULATIONS OF DEFERRED SUBMITTAL COMPONENTS SHALL BE STAMPED AND SIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF WASHINGTON AND SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO REVIEW BY THE ARCHITECT OR ENGINEER OF RECORD FOR GENERAL CONFORMANCE. ALL NECESSARY CONNECTIONS NOT SPECIFICALLY CALLED OUT ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS SHALL BE INCLUDED. SHOP DRAWINGS SHALL INCLUDE THE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON THE BASIC STRUCTURE. DESIGN CALCULATIONS SHALL ACCOMPANY ALL DEFERRED SUBMITTALS. THE ARCHITECT OR CONTRACTOR SHALL FORWARD DEFERRED SUBMITTALS TO THE BUILDING OFFICIAL WHERE REQUIRED.
- DEFERRED SUBMITTAL BUILDING COMPONENTS FOR THIS PROJECT SHALL INCLUDE:
- DESIGN-BUILD ELEMENTS: PRECAST STAIRS HANDRAILS

QUALITY ASSURANCE

13. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110 AND 1705 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION IS REQUIRED UNLESS NOTED OTHERWISE.

STRUCTURAL STEEL FABRICATION AND ERECTION	PER AISC 360
OPEN-WEB STEEL JOISTS AND JOIST GIRDERS	PER TABLE 1705. 2. 3
COLD FORMED STEEL DECK CONSTRUCTION	PER ANSI/SDI QA/QC-2017
CONCRETE CONSTRUCTION	PER TABLE 1705. 3
MECHANICAL SPLICES IN CONCRETE REINFORCING	CONTINUOUS
MASONRY CONSTRUCTION	PER TMS 402-16 TABLE 3. 1-3. 3
SOIL CONDITIONS, FILL PLACEMENT, AND DENSITY	
EXPANSION BOLTS AND THREADED EXPANSION INSERTS	
EPOXY GROUTED INSTALLATIONS	PER MANUFACTURER

PERIODIC INSPECTION: INSPECTION SHALL BE PERFORMED AT INTERVALS NECESSARY TO CONFIRM THAT WORK REQUIRING SPECIAL INSPECTION IS IN COMPLIANCE WITH REQUIREMENTS.

CONTINUOUS INSPECTION: INSPECTOR SHALL BE ONSITE AND OBSERVE THE WORK REQUIRING INSPECTION AT ALL TIMES THAT WORK IS PERFORMED.

14. STRUCTURAL OBSERVATION SHALL BE PERFORMED IN ACCORDANCE WITH SECTIONS 1704.6 OF THE INTERNATIONAL BUILDING CODE FOR THE FOLLOWING BUILDING **ELEMENTS:**

CONCRETE CONSTRUCTION

THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD ADEQUATE NOTICE TO SCHEDULE APPROPRIATE SITE VISITS FOR STRUCTURAL OBSERVATION.

STRUCTURAL OBSERVATION MEANS THE VISUAL OBSERVATION OF THE STRUCTURAL SYSTEM, FOR GENERAL CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATIONS, AT SIGNIFICANT CONSTRUCTION STAGES AND AT COMPLETION OF THE STRUCTURAL SYSTEM. STRUCTURAL OBSERVATION DOES NOT INCLUDE OR WAIVE THE RESPONSIBILITY FOR THE INSPECTIONS REQUIRED BY SECTION 110, 1705, OR OTHER SECTIONS OF THE INTERNATIONAL BUILDING CODE.

THE OWNER SHALL EMPLOY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, TO PERFORM STRUCTURAL OBSERVATION. OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE. SPECIAL INSPECTOR, CONTRACTOR, AND THE BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES WHICH, TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.

GEOTECHNICAL

15. FOUNDATION NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING REQUIREMENTS, SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE SOILS REPORT OR AS DIRECTED BY THE SOILS ENGINEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH OR COMPACTED STRUCTURAL FILL AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY; THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE TESTING LAB AND SOILS ENGINEER. BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE SOILS REPORT.

ALLOWABLE SOIL PRESSURE (EXISTING FOOTINGS)	
LATERAL EARTH PRESSURE-DRAINED(RESTRAINED/UNRESTRAINED) !	55 PCF/35 PCF
ALLOWABLE PASSIVE EARTH PRESSURE (FS OF 1.5 INCLUDED)	350 PCF
COEFFICIENT OF FRICTION (FS OF 1.5 INCLUDED)	0.4
SEISMIC SURCHARGE PRESSURE (UNIFORM LOAD)	7H PSF

SOILS REPORT REFERENCE: GEOENGINEERS REPORT 0817-024-01, DATED 08/08/2022

RENOVATION

- 16. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING ROOF SYSTEMS TO 25 PSF.
- 17. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS.
- 18. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED.
- A. ALL NEW OPENINGS THROUGH EXISTING WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING WHEREVER POSSIBLE. CORNERS SHALL NOT BE OVERCUT.
- B. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING ANY OPENINGS.
- . SMALL ROUND OPENINGS SHALL BE ACCOMPLISHED BY CORE DRILLING. D. WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DRILL AND EPOXY DOWELS MATCHING THE NEW REINFORCING INTO THE EXISTING CONCRETE WITH 6" EMBED, UNLESS OTHERWISE NOTED ON PLANS.
- 19. WHERE INDICATED ON THE ARCHITECTURAL PLANS, ALL EXTERIOR MASONRY WALLS SHALL BE INSPECTED AND REPAIRED AS FOLLOWS: SCRAPE ALL LOOSE AND WEAKENED MORTAR OUT TO FULL DEPTH OF THE DETERIORATION; REMOVE AND REPLACE ANY LOOSE MASONRY UNITS; CHECK FOR LOOSE FACING BRICK VENEERS, TUCK POINT ALL JOINTS SOLID. ALL MASONRY RESTORATION AND REPAIR SHALL BE PERFORMED IN SUCH A MANNER THAT THE EXISTING STRUCTURE IS NOT WEAKENED OR LEFT UNSUPPORTED DURING THE PROCESS OF THE WORK. SILLS AND WATERTABLES SHALL BE INSPECTED FOR STRUCTURAL INTEGRITY AND THE CONDITION OF THE CONNECTIONS TO THE STRUCTURE. THE CONTRACTOR SHALL PROVIDE THE STRUCTURAL ENGINEER WITH THE RESULTS OF THE INSPECTION.

CONCRETE

20. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301. STRENGTHS AT 28 DAYS AND MIX CRITERIA SHALL BE AS FOLLOWS:

MEMBER TYPE/CONSTRUCTION	STRENGTH F'C -PSI-	TEST AGE -DAYS-	MAX AGG -INCH-	MAX W/C RATIO	AIR CONT.
SLABS ON GRADE	3000	28	1	. 45	5
TOPPING SLABS	3000	28	1	. 50	
FOOTINGS	4000	28	1	. 50	
ALL ELEVATED SLABS AND BEAMS	5000	28	3/4	. 42	
COLUMNS AND SHEAR WALLS	5000	28	3/4	. 50	
SLABS ON METAL DECK	4000	28	1	. 50	
STAIR LANDINGS AND TREADS	4000	28	1	. 50	
PRECAST, NON-PRESTRESSED	5000	28	1	. 42	
ALL STRUCTURAL CONCRETE, UNO	3000	28	1	. 50	

MIX DESIGN NOTES:

- A. MAXIMUM SHRINKAGE IN ALL 5000 PSI MIXES SHALL BE LIMITED TO .04 PERCENT IN 28 DAYS AS TESTED IN ACCORDANCE WITH ASTM C157 MODIFIED STANDARD TEST METHOD FOR LENGTH CHANGE OF CEMENT MORTAR AND CONCRETE.
- B. W/C RATIO: WATER-CEMENTITIOUS MATERIAL RATIOS SHALL BE BASED ON THE TOTAL WEIGHT OF CEMENTITIOUS MATERIALS. RATIOS NOT NOTED IN TABLE ABOVE ARE CONTROLLED BY STRENGTH REQUIREMENTS.
- C. CEMENTITIOUS CONTENT: THE USE OF FLY ASH, OTHER POZZOLANS, SILICA FUME, OR SLAG SHALL CONFORM TO ACI 301 SEC 4.2.2.8.B. FOR CONCRETE USED IN ELEVATED FLOORS, PORTLAND CEMENT CONTENT SHALL CONFORM TO ACI 301 SEC 4. 2. 2. 1. ACCEPTANCE OF LOWER CEMENT CONTENT IS CONTINGENT ON PROVIDING SUPPORTING DATA TO THE ENGINEER FOR REVIEW AND ACCEPTANCE.
- D. AIR CONTENT SHALL CONFORM TO ACI 301 SEC 4.2.2.4. HORIZONTAL EXTERIOR SURFACES IN CONTACT WITH THE SOIL REQUIRE ENTRAINED AIR. USE "MODERATE EXPOSURE". VERTICAL EXTERIOR SURFACES REQUIRE "MODERATE EXPOSURE". TOLERANCE IS +/- 1.5 PERCENT. AIR CONTENT SHALL BE MEASURED AT POINT OF PLACEMENT.
- E. SLUMP SHALL CONFORM TO ACI 301 SEC 4.2.2. SLUMP SHALL BE DETERMINED AT THE POINT OF PLACEMENT.
- F. CHLORIDE CONTENT SHALL CONFORM TO ACI 301 SEC 4.2.2.6 AND TABLE 4.2.2.6 FOR "OTHER REINFORCED CONCRETE CONSTRUCTION".

- 21. A CONCRETE PERFORMANCE MIX SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE. WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH ACI 318-14, SECTIONS 26.4.3 AND 26.4.4. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE PAID BY THE GENERAL CONTRACTOR. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY WITH CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE
- 22. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14, TABLE 19.3.2.1 MODERATE EXPOSURE, F1.
- 23. REINFORCING STEEL SHALL CONFORM TO ASTM A706, GRADE 60, FY = 60,000 PSI.
- 24. WELDING OF GRADE 60 REINFORCING BARS INDICATED IS NOT PERMITTED. UNLESS OTHERWISE NOTED.
- 25. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315R-18 AND 318-14. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-14. CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

26. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED

FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#6 BARS OR LARGER) . . . 2" FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER). . 1-1/2" SLABS AND WALLS (INT. FACE). . . GREATER OF BAR DIAMETER PLUS 1/8" OR 3/4"

27. CONCRETE WALL REINFORCING—PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE:

6" WALLS #4 @ 16 HORIZ. #4 @ 18 VERTICAL 1 CURTAIN #4 @ 18 VERTICAL 1 CURTAIN 8" WALLS #4 @ 12 HORIZ.

- 28. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES. NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND
- 29. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000 PSI MINIMUM)
- 30. MECHANICAL SPLICING OF REINFORCING BARS, WHERE INDICATED ON THE DRAWINGS, SHALL BE BY AN ICC-ES APPROVED SYSTEM (SUCH AS LENTON, FOX-HOWLETT, ETC.) AND SHALL DEVELOP 125% OF THE SPECIFIED YIELD STRENGTH OF THE BARS. SPLICE LOCATIONS OF ALTERNATE BARS SHALL BE OFFSET BY A DISTANCE WHICH CONFORMS TO THE ICC-ES REPORT OF THE SPLICE USED. REFER TO THE STRUCTURAL PLANS FOR LIMITATIONS ON PLACEMENT OF MECHANICAL SPLICES.

ANCHORAGE

- 31. EXPANSION BOLTS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "KWIK BOLT TZ" AS MANUFACTURED BY THE HILTI CORP., INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-1917 FOR CONCRETE, AND ESR-3785 FOR MASONRY, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SUBSTITUTES PROPOSED BY CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH ICC REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. PERIODIC SPECIAL INSPECTION IS REQUIRED TO VERIFY ANCHOR TYPE, ANCHOR DIMENSIONS, ANCHOR LOCATION, TIGHTENING TORQUE, HOLE DIMENSIONS, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS.
- 32. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "HIT-HY 200" AS MANUFACTURED BY HILTI CORP. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-3187. BASE MATERIAL TEMPERATURE SHALL BE BETWEEN 14 DEGREES AND 104 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. OVERHEAD INSTALLATIONS REQUIRE THE USE OF PISTON PLUGS (HIT-SZ, -IP) DURING INJECTION. OVERHEAD ANCHORS OR BARS MUST BE SUPPORTED WITH HIT-OWH, OR EQUIVALENT, UNTILL FULLY CURED. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.
- 33. EPOXY RENOVATION ANCHORS TO EXISTING UNREINFORCED BRICK MASONRY WALLS SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "HIT-HY270" AS MANUFACTURED BY THE HILTI CORP. SCREEN TUBE IS REQUIRED. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-4144. MINIMUM BASE MATERIAL TEMPERATURE IS 23 DEGREES, F. HOLES SHALL BE DRILLED ONLY. ROTO-HAMMERS SHALL HAVE THE HAMMER OPTION TURNED OFF. RODS SHALL BE THREADED ASTM-A36 MATERIAL UNLESS OTHERWISE NOTED.

General Structural Notes Continued on \$1.2





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General Structural Notes

General Structural Notes, Continued

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

MASONRY

- 34. MASONRY VENEER, 5" MAXIMUM THICKNESS, SHALL BE ANCHORED TO BACKING WALLS PER SECTION 1405.6 OF THE INTERNATIONAL BUILDING CODE WITH "RJ-711" OR "HB-200" ADJUSTABLE VENEER ANCHORS AS MANUFACTURED BY WIRE-BOND, INC. ANCHORS SHALL BE SPACED SO AS TO SUPPORT NOT MORE THAN TWO SQUARE FEET OF WALL AREA AND SHALL BE SPACED NOT MORE THAN 24" O.C. HORIZONTALLY. ATTACHMENTS SHALL BE WITH CORROSION RESISTANT FASTENERS AND CONNECT TO FRAMING MEMBERS OR CONCRETE OR MASONRY BACKING. INSTALL ANCHORS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. THE SHEAR LUGS OF EACH ANCHOR SHALL ENGAGE A NO. 9 GAUGE JOINT REINFORCEMENT WIRE. JOINT REINFORCEMENT SHALL BE CONTINUOUS WITH BUTT SPLICES BETWEEN TIES PERMITTED.
- 35. CONCRETE MASONRY UNIT WALLS SHALL BE CONSTRUCTED OF GRADE N, MEDIUM WEIGHT UNITS, CONFORMING TO ASTM C90, LAID IN A RUNNING BOND. MORTAR SHALL BE TYPE "S" CONFORMING TO ASTM C270. GROUT SHALL CONFORM TO ASTM C476 AND ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF f∠m, WITH A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI, AT 28 DAYS. DESIGN f∠m = 2000 PSI.

STRENGTH SHALL BE VERIFIED BY EITHER THE UNIT STRENGTH METHOD OR PRISM TESTING IN ACCORDANCE WITH TMS 602-2016 SECTION 1.4. WHEN VERIFIED BY THE UNIT STRENGTH METHOD, MASONRY UNITS SHALL BE CHOSEN IN ACCORDANCE WITH TMS 602-2016, TABLE 2.

UNLESS NOTED OTHERWISE, PROVIDE THE FOLLOWING REINFORCEMENT:

6" WALLS #4 @ 16" O.C. VERT. #4 @ 24" O.C. HORIZ.

IN ADDITION, PROVIDE (1) #4 @ 6" VERT. AT EACH SIDE OF OPENINGS, AT WALL CORNERS AND INTERSECTIONS AND AT FREE ENDS OF WALLS AND (2) #4 AT TOP AND BOTTOM OF WALLS AND ABOVE AND BELOW ALL OPENINGS. ALL HORIZONTAL REINFORCEMENT SHALL BE PLACED IN BOND BEAMS. EXTEND REINFORCEMENT AROUND OPENINGS 2'-0" BEYOND FACE OF OPENING. IF 2'-0" IS UNAVAILABLE EXTEND AS FAR AS POSSIBLE AND HOOK. PROVIDE CORNER BARS TO LAP HORIZONTAL REINFORCING AT CORNERS AND INTERSECTIONS. LAP ALL REINFORCING STEEL 48 BAR DIAMETERS OR 24" MINIMUM.

FILL ALL CELLS WITH GROUT. PROVIDE CLEANOUT HOLES AT BOTTOM OF ALL CELLS CONTAINING REINFORCEMENT FOR ALL GROUT POURS OVER 5 FEET IN HEIGHT. UNITS MAY BE LAID TO THE FULL HEIGHT OF THE GROUT POUR AND GROUT SHALL BE PLACED IN A CONTINUOUS POUR IN GROUT LIFTS NOT EXCEEDING 5 FEET. ALL PREPARATION AND PLACING OF MASONRY SHALL CONFORM TO SECTION 2104 OF THE INTERNATIONAL BUILDING CODE AND TMS 602-2016.

REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI.

STEEL

- 36. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON:
- A. AISC 360-16 AND SECTION 2205.2 OF THE INTERNATIONAL BUILDING CODE.
 B. JUNE 15, 2016 AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES AMENDED AS FOLLOWS: AS NOTED IN THE CONTRACT DOCUMENTS, BY THE DELETION OF PARAGRAPH 4.4.1, AND REVISE REFERENCE FROM "STRUCTURAL
- DESIGN DRAWINGS" TO "CONTRACT DOCUMENTS" IN PARAGRAPH 3.1.

 C. SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.
- 37. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

TY	PE OF MEMBER	ASTM SPECIFICATION	FY
Α.	WIDE FLANGE SHAPES	A992	50 KSI
В.	OTHER SHAPES, PLATES, AND RODS	A36	36 KSI
C.	OTHER SHAPES AND PLATES (NOTED GRADE 50 ON PLANS)	A572 (GRADE 50)	50 KSI
D.	PIPE COLUMNS	A53 (E OR S, GR.B)	35 KSI
E.	STRUCTURAL TUBING	A500 (GR. C)	
	-SQUARE OR RECTANGULAR	,	50 KSI
	-ROUND		46 KSI
	-ANY SHAPE	ASTM A1085	50 KSI
F.	CONNECTION BOLTS	A325-N	
	(5/8" ROUND, UNLESS SHOWN OTHERWI	SE)	

- 38. ALL STEEL EXPOSED TO THE WEATHER OR IN CONTACT WITH GROUND SHALL BE CORROSION PROTECTED BY GALVANIZATION OR PROVIDED WITH EXTERIOR PAINT SYSTEM, UNLESS OTHERWISE NOTED. REFER TO THE ARCHITECTURAL DETAILS.
- 39. SHOP PRIME ALL STEEL EXCEPT:
- A. STEEL ENCASED IN CONCRETE.
- B. SURFACES TO BE WELDED.
- C. CONTACT SURFACES AT HIGH-STRENGTH BOLTS.
- D. MEMBERS TO BE GALVANIZED.

 F MEMBERS WHICH WILL BE CONCEALED BY INTER
- E. MEMBERS WHICH WILL BE CONCEALED BY INTERIOR FINISHES. F. SURFACES TO RECEIVE SPRAYED FIREPROOFING.
- G. SURFACES TO RECEIVE OTHER SPECIAL SHOP PRIMERS.
- H. WHERE INDICATED BY THE ARCHITECT.
- 40. ALL A-325N CONNECTION BOLTS NEED ONLY BE TIGHTENED TO A SNUG TIGHT CONDITION, DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PLIES IN A JOINT ARE IN FIRM CONTACT. THIS MAY BE ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF AN IRONWORKER USING AN ORDINARY SPUD WRENCH.
- 41. ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY AWS) SHALL BE USED. ALL COMPLETE JOINT PENETRATION GROOVE WELDS SHALL BE MADE WITH A FILLER MATERIAL THAT HAS A MINIMUM CVN TOUGHNESS OF 20 FT-LBS AT -20 DEGREES F AND 40 FT LBS AT 70 DEGREES F, AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION.

- 42. METAL FLOOR AND ROOF DECKING SHALL BE IN ACCORDANCE TO THE FOLLOWING: PROVIDE SIZE, TYPE, GAUGE, AND ATTACHMENT TO THE SUPPORTING STRUCTURE AS SHOWN ON THE PLANS. ARC SEAM AND SPOT (PUDDLE) WELDS FOR FIELD ASSEMBLY OF METAL DECK SHALL BE MADE WITH MINIMUM E60XX ELECTRODES. DECK ALTERNATES MUST BE CONNECTED ACCORDING TO PUBLISHED ICC—ES CRITERIA FOR DIAPHRAGM SHEARS SHOWN. PROVIDE TEMPORARY SHORING WHERE REQUIRED PER MANUFACTURER'S PUBLISHED CRITERIA.
- A. COMPSITE SLABS ON STEEL DECKS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH SDI-C.





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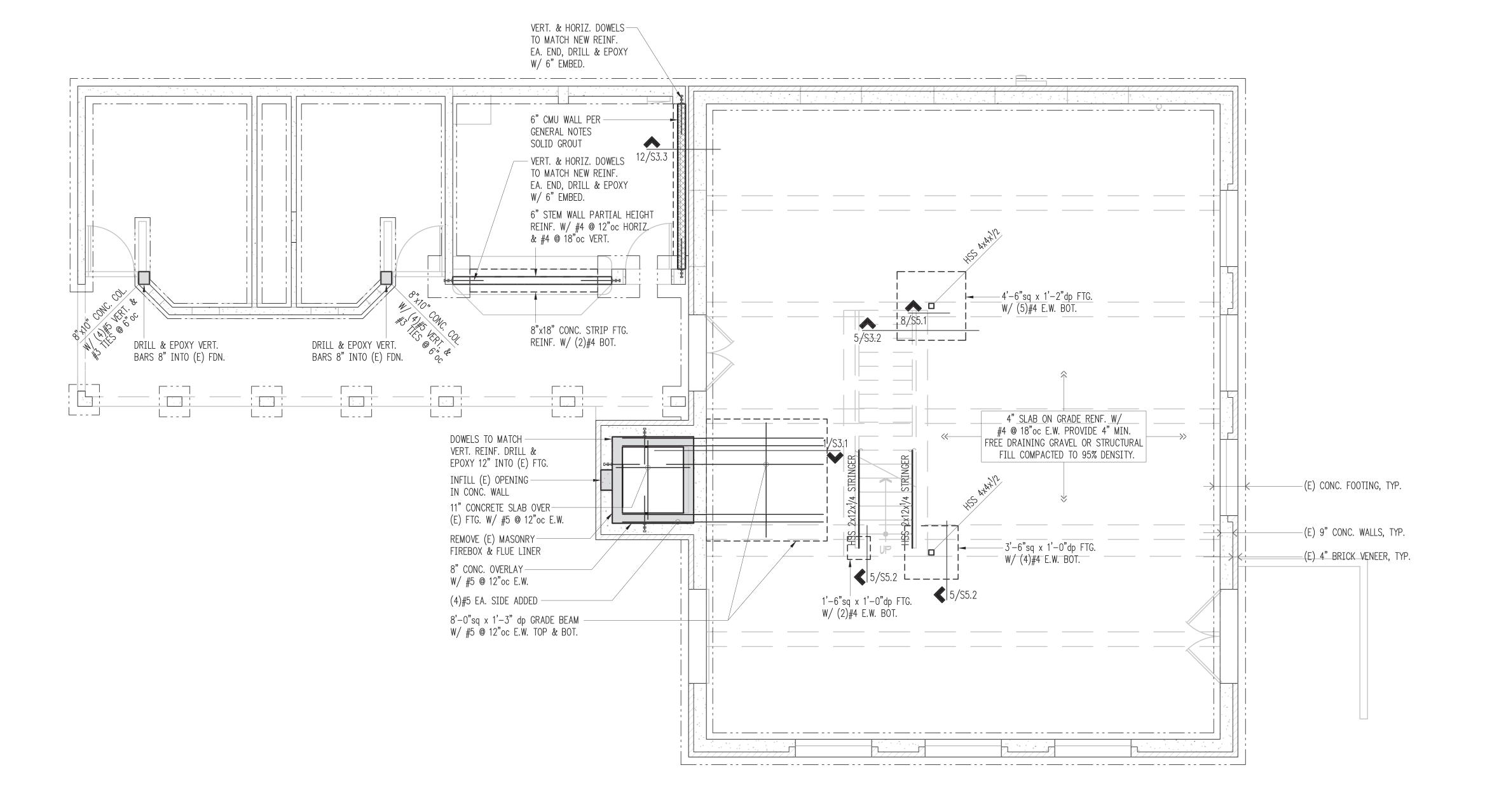
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General
Structural
Notes
Continued

S1.2



Plan Notes	Legend	Level 1 Plan
1. DO NOT SCALE DRAWINGS.	CONCRETE WALL, COLUMN OR INFILL	Scale: 1/4" = 1'-0"
2. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION.	CMU WALL	
3. DIMENSIONS ARE RELATIVE TO EXISTING STRUCTURAL ELEMENTS. CONTRACTOR TO FIELD VERIFY.	EXISTING CONCRETE WALL OR COLUMN	
4. FOOTINGS ARE TO BE 18" (MIN) BELOW GRADE.	EXISTING BRICK VENEER	
5. REFER TO 5/S3.3 AND 10/S3.3 FOR SLAB ON GRADE JOINTS.	F — — ¬ 	
6. REFER TO 8/S3.2 FOR CONCRETE INFILL.	L J	
7. REFER TO 7/S3.2 FOR TYPICAL SAWCUT HOLES IN CONCRETE.	EXISTING FOOTING	
8. REFER TO 3/S3.2 FOR TYPICAL CORED HOLES IN CONCRETE WALLS.		

9. REFER TO 2/S3.2 FOR SLAB REPAIR.

10. PROVIDE DOWELS PER 1/S3.2 AT ALL CONCRETE OVERLAYS.

11. REMOVE FINISHES AND DEBRIS (INCLUDING COMBUSTION PRODUCTS) TO CLEAN BARE MASONRY OR CONCRETE AT NEW CONCRETE OVERLAYS.





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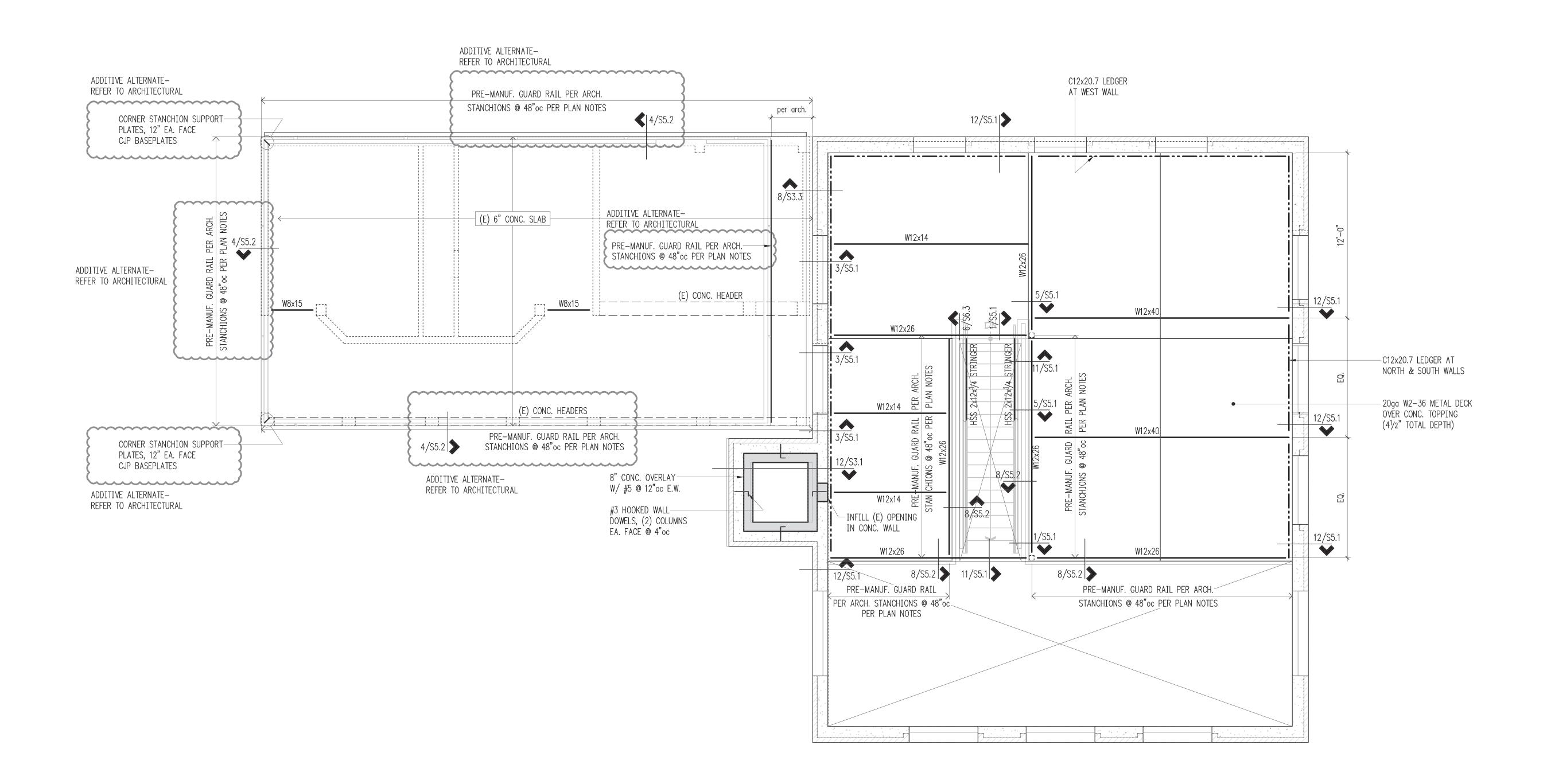


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LEVEL 1 PLAN

S2.1



Level 2 / Low Roof Plan Plan Notes Legend CONCRETE WALL 1. DO NOT SCALE DRAWINGS. EXISTING CONCRETE WALL 2. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION. EXISTING BRICK VENEER 3. DIMENSIONS ARE RELATIVE TO EXISTING STRUCTURAL ELEMENTS. CONTRACTOR TO FIELD VERIFY. EXISTING BEARING WALL BELOW 4. REFER TO 8/S3.2 FOR CONCRETE INFILL. 5. REFER TO 7/S3.2 FOR TYPICAL SAWCUT HOLES IN CONCRETE. EXISTING CONCRETE BEAM BELOW 6. REFER TO 3/S3.2 FOR TYPICAL CORED HOLES IN CONCRETE WALLS. 7. PROVIDE DOWELS PER 1/S3.2 AT ALL CONCRETE OVERLAYS. 8. REMOVE FINISHES AND DEBRIS (INCLUDING COMBUSTION PRODUCTS) TO CLEAN BARE CONCRETE AT NEW

CONCRETE OVERLAYS.

MAXIMUM STANCHION SPACING IS 48" ON-CENTER.

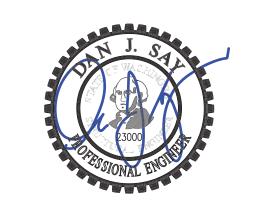
12. PROVIDE GAURDRAILS AT EACH STRINGER PER 12/S5.2.

10. REFER TO 7/S5.2 FOR TYPICAL SLAB ON METAL DECK CONSTRUCTION.

ADDITIONAL (2) 5/8" DIA EXP ANCHORS AT 6" VERT SPACING.

9. GUARDRAILS ARE A PRE-MANUFACTURE DESIGN-BUILD SYSTEM WITH DEFERRED SUBMITTAL PER THE GENERAL STRUCTURAL NOTES. CONTRACTOR TO COORDINATE STANCHION CONNECTION REQUIREMENTS WITH DETAILS.

11. TYPICAL LEDGERS ARE C12X20.7 PER 4/S5.1. RUN LEDGERS MINIMUM 12" PAST WINDOW JAMBS AND PROVIDE AN





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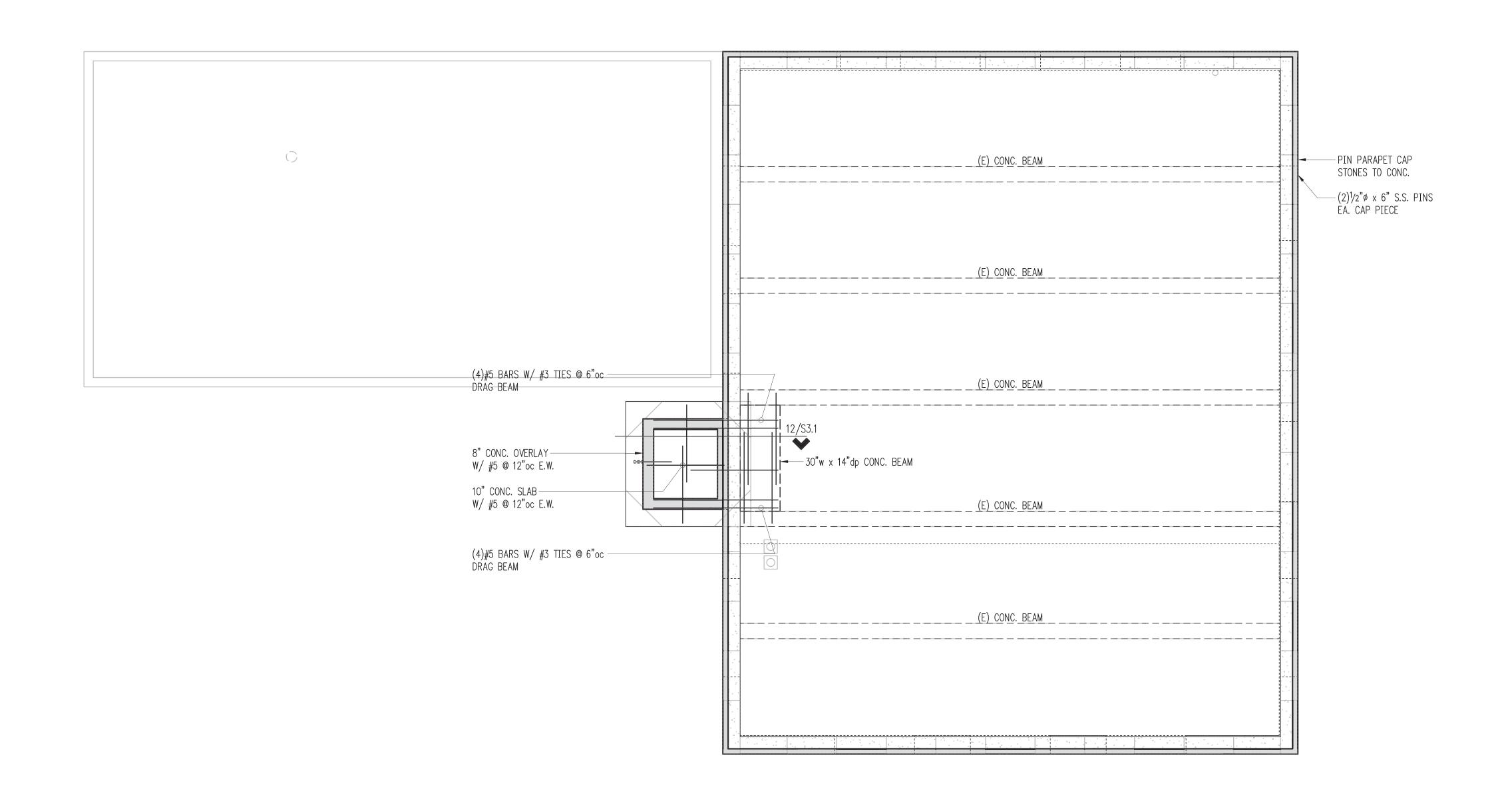


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> LEVEL 2 / LOW ROOF PLAN

> > S2.2



Legend CONCRETE WALL EXISTING CONCRETE WALL EXISTING BRICK VENEER

High Roof Plan

Scale: 1/4" = 1'-0" **Plan Notes** 1. DO NOT SCALE DRAWINGS. 2. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION. 3. DIMENSIONS ARE RELATIVE TO EXISTING STRUCTURAL ELEMENTS. CONTRACTOR TO FIELD VERIFY. 4. REFER TO 8/S3.2 FOR CONCRETE INFILL. EXISTING CONCRETE BEAM BELOW 5. REFER TO 7/S3.2 FOR TYPICAL SAWCUT HOLES IN CONCRETE. 6. REFER TO 3/S3.2 FOR TYPICAL CORED HOLES IN CONCRETE WALLS.

7. PROVIDE DOWELS PER 1/S3.2 AT ALL CONCRETE OVERLAYS.

9. REFER TO 12/S3.1 FOR STACK REINFORCING DETAILS.

10. 10. REFER TO 1/S3.3 FOR PARAPET CAP PINNING DETAILS.

8. REMOVE FINISHES AND DEBRIS (INCLUDING COMBUSTION PRODUCTS) TO CLEAN BARE CONCRETE AT NEW CONCRETE OVERLAYS.



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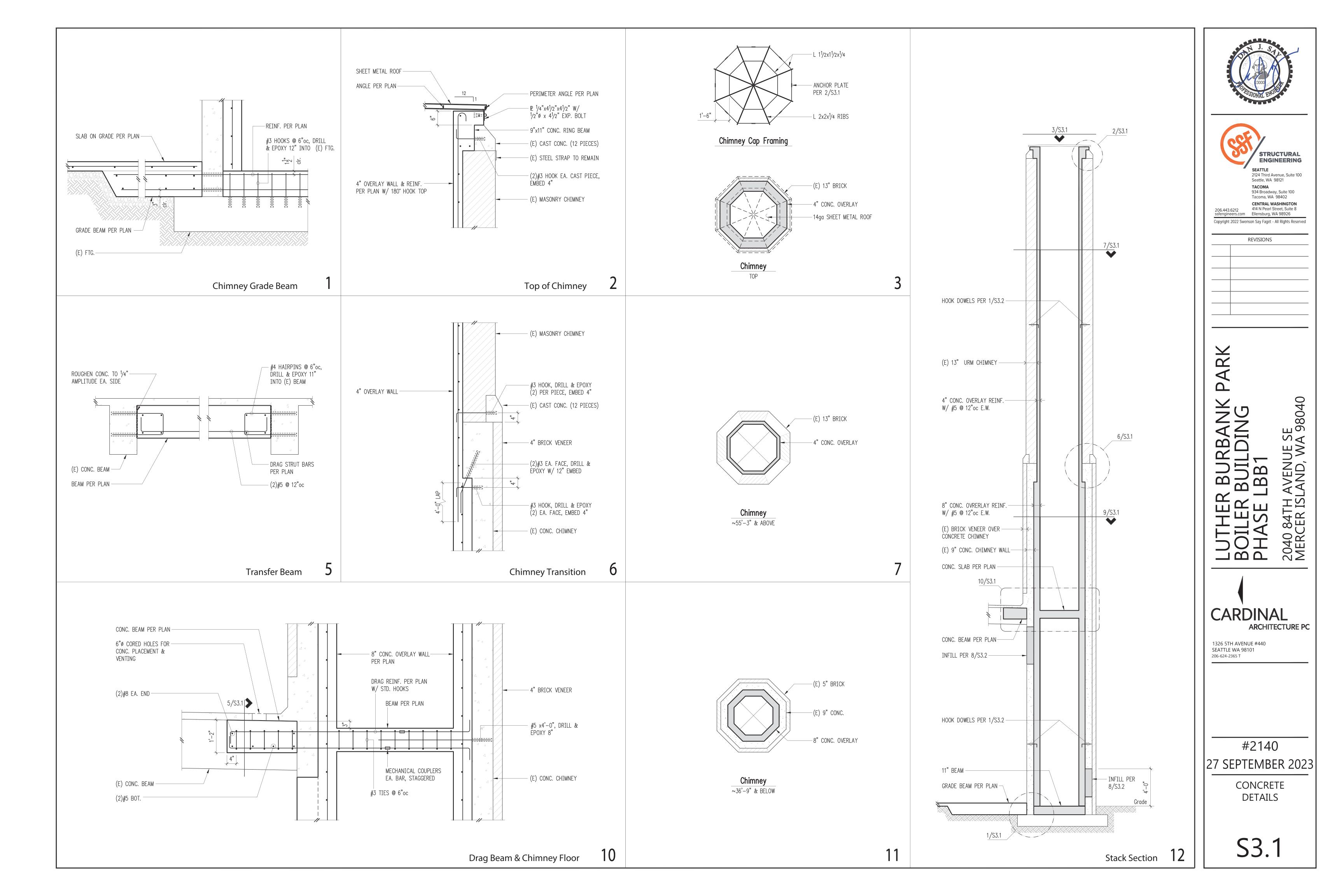
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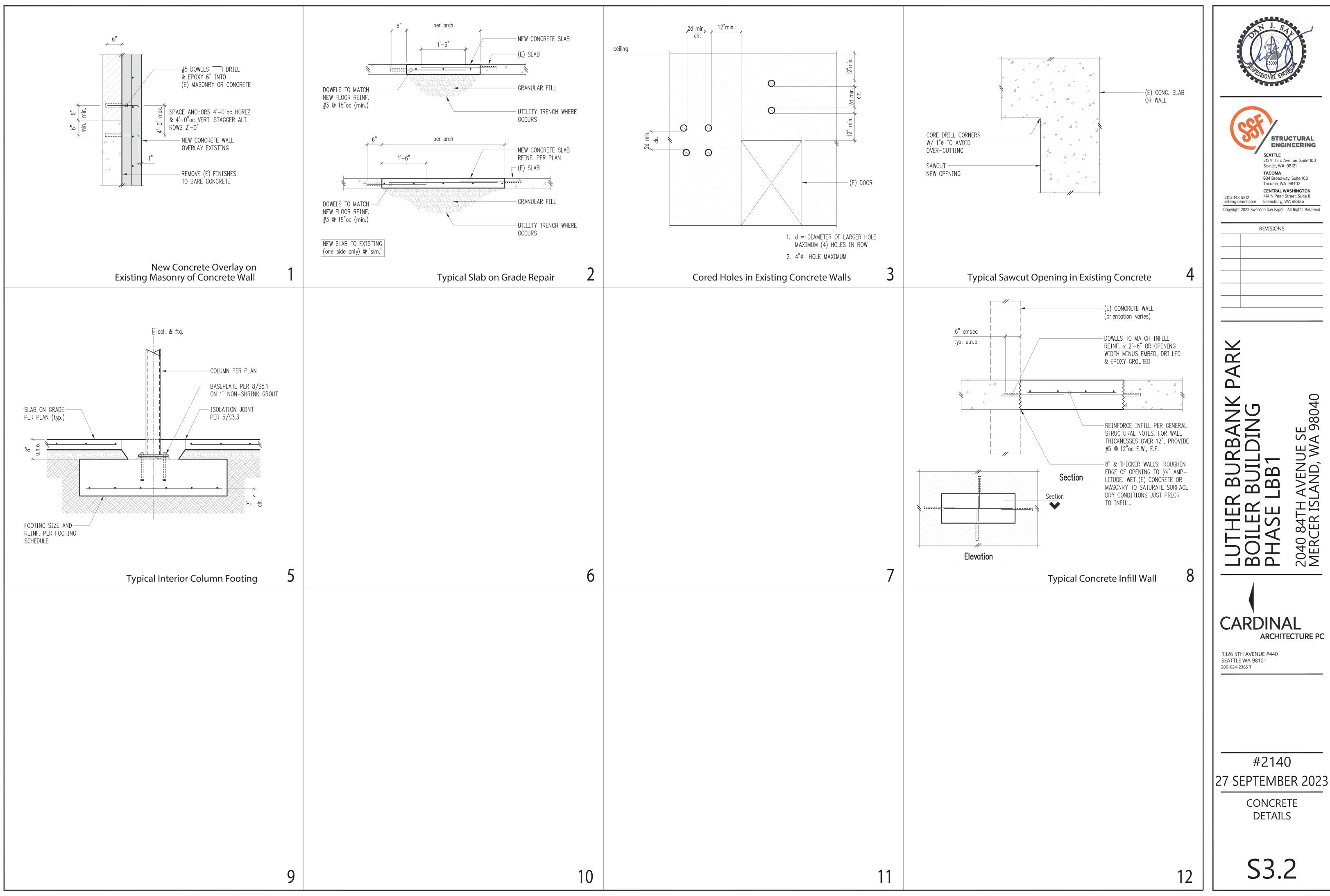


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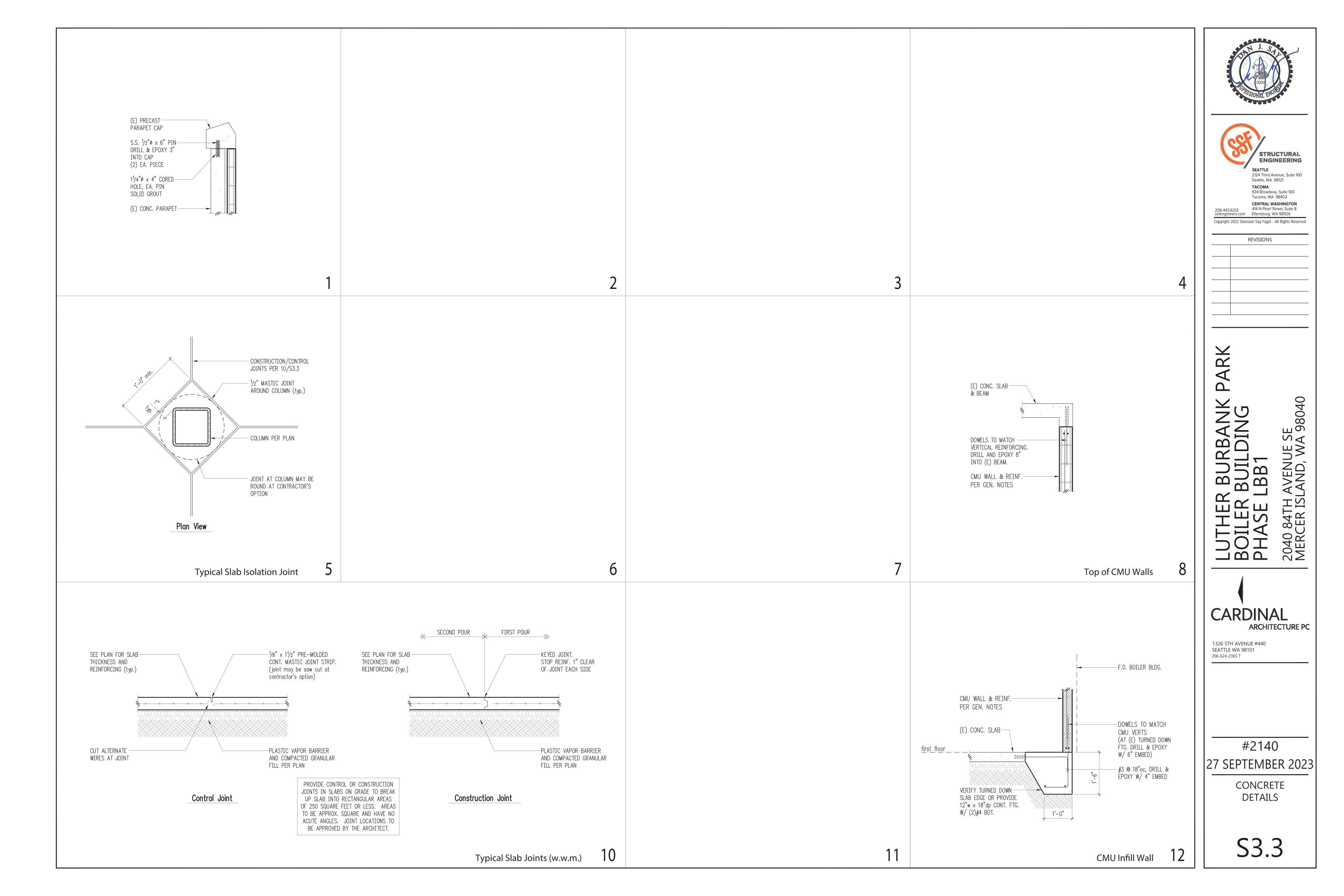
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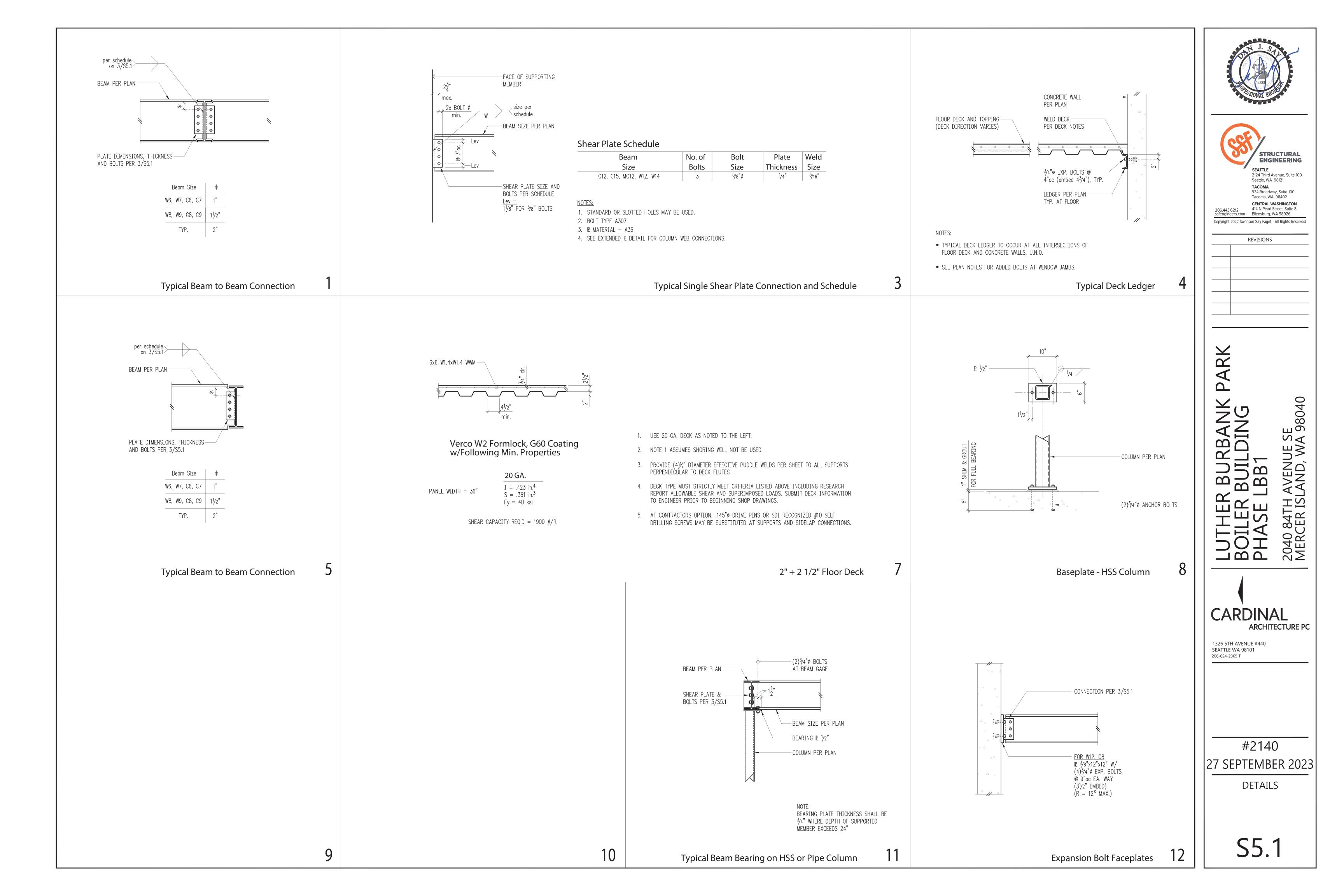
HIGH ROOF PLAN

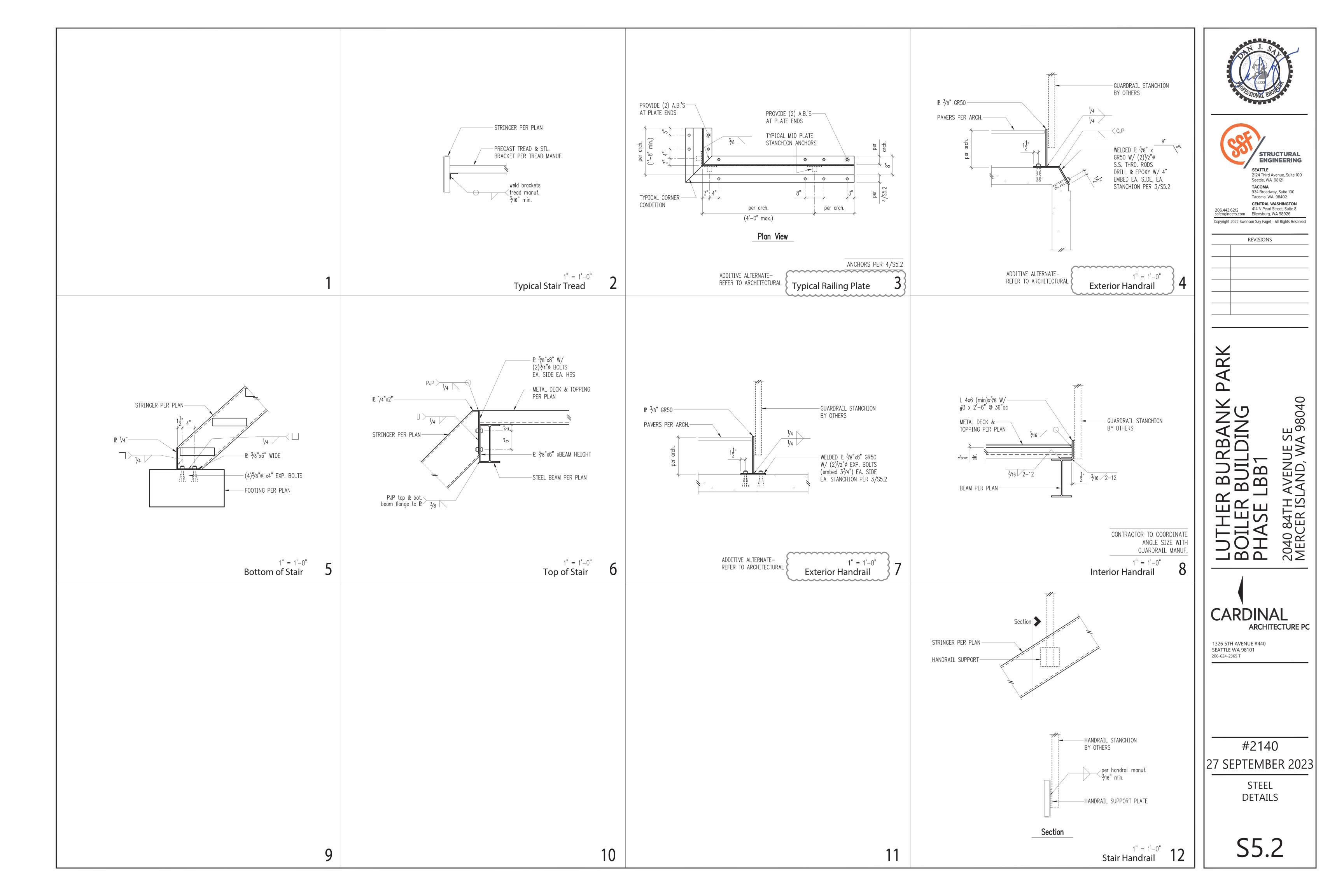












GENERAL LEGEND PLUMBING ABBREVIATIONS ACID WASTE NORTH ARROW AIR. COMPRESSED AIR BOTTOM OF PIPE DETAIL/DRAWING REFERENCE X CONDENSATE COMPRESSED AIR CAST IRON SECTION REFERENCE CF CHEMICAL FEED CIRC CIRCULATING CW CITY WATER; DOMESTIC COLD WATER CONSTRUCTION NOTE CO CLEAN OUT COMPRESSED AIR REVISION SYMBOL DEIONIZED WATER DISTILLED WATER DW POINT OF CONNECTION DOM DOMESTIC DR DOOR: DRAIN DF DRINKING FOUNTAIN BOLD LINE WEIGHT INDICATES NEW WORK LIGHT LINE WEIGHT INDICATES EXISTING WORK EMERGENCY SHOWER ES SLASHED LINE INDICATES EXISTING WORK TO FCO FLOOR CLEAN OUT BE DEMOLISHED FD FLOOR DRAIN FREEZE PROOF HOSE BIBB GALLONS PER HOUR PLUMBING LEGEND HOSE BIBB DOMESTIC HOT WATER DOMESTIC COLD WATER (CW) HWHWC DOMESTIC HOT WATER CIRCULATING DOMESTIC HOT WATER (HW) IPC INTERNATIONAL PLUMBING CODE DOMESTIC HOT WATER CIRCULATING (HWC) INDIRECT WASTE SOIL, WASTE (S,W) **JANITOR** JAN VENT (V) **⊢** − − − − − → LAVATORY PIPING IDENTIFIER, SEE ABBREVIATIONS **├**──XX── MEDICAL VACUUM ELBOW DOWN NITROGEN NATURAL GAS ELBOW UP NO NITROUS OXIDE: NUMBER NON-POTABLE WATER TEE OXYGEN TEE DN PUMPED CONDENSATE TEE UP PLUMBING PNEU PNEUMATIC ISOLATION OR SHUT-OFF VALVE (NO), TYPE AS SPECIFIED \vdash PRESSURE REDUCING VALVE PRV ISOLATION OR SHUT-OFF VALVE (NC), TYPE AS SPECIFIED RWL RAIN WATER LEADER RECIRC RECIRCULATING BALL VALVE (NO) RD ROOF DRAIN BALL VALVE (NC) SS SANITARY SEWER; SERVICE SINK; STAINLESS STEEL BUTTERFLY VALVE (NO) **├** SD STORM DRAIN BUTTERFLY VALVE (NC) **├** UPC UNIFORM PLUMBING CODE GLOBE VALVE (NO) VENT GLOBE VALVE (NC) VALVE VACUUM THROTTLING VALVE, TYP AS SPECIFIED VΒ VACUUM BREAKER **—** VTR VENT THRU ROOF METERING BALANCING VALVE WASTE; WATER; WIDE(DIM) CHECK VALVE WATER CLOSET WATER FLOW SWITCH CONTROL VALVE WYE PLUG VALVE **├** PRESSURE REGULATING VALVE PRESSURE REDUCING VALVE PRESSURE RELIEF VALVE BACKFLOW PREVENTER CAP BLIND FLANGE EXPANSION JOINT REDUCER PRESSURE GAUGE STRAINER UNION PRESSURE/TEMPERATURE TAP TEMPERATURE GAUGE

PLUMBING GENERAL NOTES

- 1. PROVIDE COMPLETE SUPPORTS, SEISMIC AND RESTRAINTS FOR ALL PIPES AND EQUIPMENT PER SPECIFICATIONS, AS REQUIRED, AND AS SHOWN ON THE DRAWINGS.
- 2. PROVIDE ALL REQUIRED MISCELLANEOUS STRUCTURAL STEEL, SUPPORTS, ATTACHMENTS, AND ANCHORAGES.
- 3. PROVIDE ANCHOR BOLTS OF SIZE, TYPE, AND LENGTH AS REQUIRED TO SATISFY THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS, THE SPECIFICATIONS, AND AS INDICATED ON DRAWINGS.
- 4. PROVIDE ADDITIONAL MISCELLANEOUS STRUCTURAL MEMBERS BETWEEN STRUCTURAL ELEMENTS AS REQUIRED TO RESIST FORCES AND MEET DEFLECTION REQUIREMENTS. ALL MISCELLANEOUS STRUCTURAL MEMBERS AND ANCHORAGES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF WASHINGTON. NO WELDING, BOLTING, OR OTHER MEANS OF ATTACHMENT FOR SUPPORT OR RESTRAINT SHALL BE MADE ON PORTIONS OF STRUCTURAL MEMBERS AT OR NEAR CONNECTIONS BETWEEN STRUCTURAL MEMBERS OR ON ELEMENTS DESIGNATED IN THE SEISMIC LOAD RESISTING SYSTEM UNLESS APPROVED BY THE CONTRACTING OFFICER.
- 5. PROVIDE MISCELLANEOUS STRUCTURAL STEEL SHOP DRAWINGS AND CALCULATIONS FOR REVIEW BY THE CONTRACTING OFFICER. ALL REQUIRED MISCELLANEOUS STRUCTURAL MEMBERS, BOLTS, AND WELDS SHALL BE DESIGNED AND MEET REQUIREMENTS OF THE SPECIFICATIONS.



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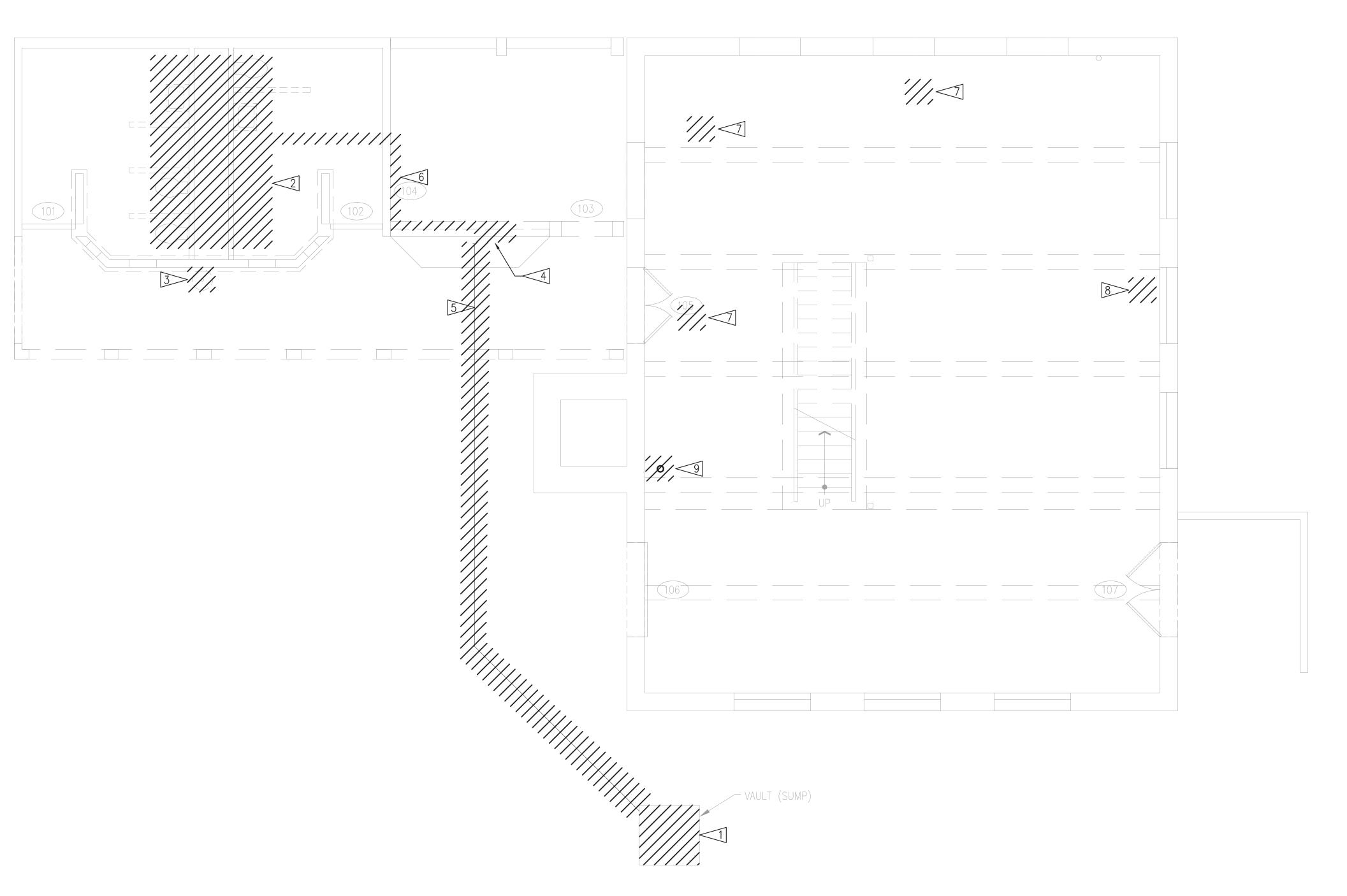
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PLUMBING LEGEND, ABBREVIATIONS AND **GENERAL NOTES**

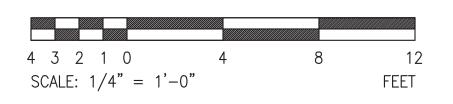
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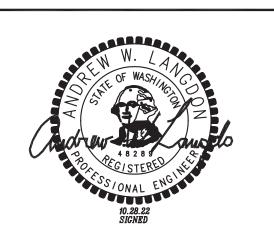
DEMOLITION NOTES

- REMOVE SUMP PUMP AND ALL ASSOCIATED PIPING, FLOATS, VALVES, AND PIPING APPURTENANCES.
- REMOVE ALL PLUMBING FIXTURES, ABOVE AND BELOW GROUND PIPING, VALVES, AND PIPING APPURTENANCES.
- 3 REMOVE DRINKING FOUNTAIN AND HOSE BIB.
- REMOVE FLOOR SINK AND HOSE BIB. REMOVE CW PIPING FOR HOSE BIB. CAP EXISTING 2" CW PIPING ABOVE FLOOR FOR INSTALL PHASE.
- 5 REMOVE WASTE PIPING.
- 6 REMOVE CW PIPING RUNNING FROM PIPE CHASE.
- 7 REMOVE FLOOR DRAINS, CAP MIN. 8" BELOW TOP OF NEW SLAB.
- REMOVE (2) EXISTING PIPES, CAP MIN. 8"
 BELOW TOP OF NEW SLAB.
- 9 REMOVE ROOF DRAIN AND PIPE.









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> PLUMBING FIRST FLOOR DEMO PLAN

PD1.0

DEMOLITION NOTES REMOVE VENT IF VENT IS LESS THAN 3". 2 REMOVE VENT, SEAL PENETRATION. REMOVE EXISTING ROOF DRAIN AND PIPE. 3

W. LAND OF WASHING OF

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LUTHER BURBANK I BOILER BUILDING PHASE LBB1

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> PLUMBING SECOND FLOOR DEMO PLAN

PD2.0

4 3 2 1 0 SCALE: 1/4" = 1'-0"

FEET

		BRA	ANCH PIPE SIZ	'E – INCHES	DIA.		BASI	S OF DESIGN			
MARK	FIXTURE DESCRIPTION	ON COLD HOT WATER WASTE VEN		VENT	ADDITIONAL COMPONENTS	MANUFACTURER	MODEL	REMARKS			
LAV-1	WALL-HUNG SINGLE-BASIN LAVATORY	1/2"	1/2"	1 1/2"		INTEGRATED FAUCET; MOUNT WITH JAY R. SMITH CONCEALED SUPPORT PROVIDE WITH ACORN HOT & COLD FREEZE RESISTANT RECESSED BOX	ACORN MERIDIAN	3711	ADA COMPLIANT STAINLESS STEEL		
WC-1	WALL-HUNG WATER CLOSET (FLUSH VALVE)	1"	-	4"		SLOAN ROYAL FLUSH VALVE; VACUUM BREAKER TRAP PRIMER; BEMIS ELONGATED OPEN-FRONT SEAT, PROVIDE WITH ACORN HOT & COLD FREEZE RESISTANT RECESSED BOX	ACORN MERIDIAN	2141	ADA COMPLIANT STAINLESS STEEL		
UR-1	WALL-HUNG URINAL	3/4"	_	2"	,	SLOAN ROYAL FLUSH VALVE; VACUUM BREAKER TRAP PRIMER; MOUNT WITH JAY R. SMITH CONCEALED SUPPORT, PROVIDE WITH ACORN HOT & COLD FREEZE RESISTANT RECESSED BOX	ACORN	2158	ADA COMPLIANT STAINLESS STEEL		
DF-1	DRINKING FOUNTAIN & BOTTLE FILLER	1/2"	_	1 1/4"	1 1/4"	-FRA2: FREEZE RESISTANT VALVE	MURDOCK	GYE14-R-FRA2-316	ADA COMPLIANT STAINLESS STEEL DRINKING FOUNTAIN WITH BOTTLE FILLER		
FD-1	FLOOR DRAIN	_	_	2"	ı · ·/ —	ROUND NICKEL-BRONZE STRAINER, NO-HUB OUTLET AND TRAP PRIMER CONNECTION	JAY R. SMITH	2005Y			
KS-1	SINGLE COMPARTMENT KITCHEN SINK	1/2"	1/2"	2"		FAUCET: ELKAY #LK940AT08L2S DRAIN: ELKAY #LK-99 (WITH REMOVABLE STRAINER BASKET)	ELKAY	#14-1C16X20-0X			
HB-1	FREEZE-PROOF HOSE BIB	3/4"	_	_	_		JAY R. SMITH	#5609QT	1/4 TURN NON FREEZE WALL HYDRANT WITH INTEGRAL VACUUM BREAKER		
RD-1	ROOF & OVERFLOW DRAIN	_	_	VARIES	_	NO-HUB OUTLET	ZURN	#Z165			

	PUMP SCHEDULE																		
CALL	LOUT					PUMP			FL	UID		MOTOR		Е	ELECTRICAL	-	BASIS OF	DESIGN	
TYPE	MARK	LOCATION	SERVICE	TYPE	SOLIDS SIZE	RPM	FLOW (GPM)	TOTAL HEAD (FT)	TYPE [1]	TEMP (DEG F)	SPEED	НЬ	BHP	V	HZ	ø	MANUFACTURER	MODEL	NOTES
Р	1	VAULT	VAULT SUMP	DUPLEX SUMP	2	3450	30	70	WATER	60	1750	5	3.35	230	60	1	KEEN	K3RH	[1] [2]

SCHEDULE NOTES:

[1] STAINLESS STEEL CONSTRUCTION
[2] PROVIDE WITH REMOVAL SYSTEM, FLOATS, ALARM, AND CONTROL PANEL.

					V	VATER H	EATER	SCHE	DULE					
CAL	LOUT				CAPACITY	TEMP RISE			ELECTRICAL			BASIS OF	DESIGN	
TYPE	MARK	SERVICE	LOCATION	TYPE	(GPM)	(F)	INPUT KW	AMPS	V	HZ	Ø	MANUFACTURER	MODEL	REMARKS
IWH	1	CONCESSIONS HW	CONCESSIONS	POINT OF USE	1	51	7.5	32	240	60	1	EEMAX	SPEX75T S	
IWH	2	MENS RESTROOM HW	PIPE CHASE	POINT OF USE	1	51	7.5	32	240	60	1	EEMAX	SPEX75T ML	
IWH	3	WOMENS RESTROOM HW	PIPE CHASE	POINT OF USE	1	51	7.5	32	240	60	1	EEMAX	SPEX75T ML	



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#2140 27 SEPTEMBER 2023 PLUMBING SCHEDULES

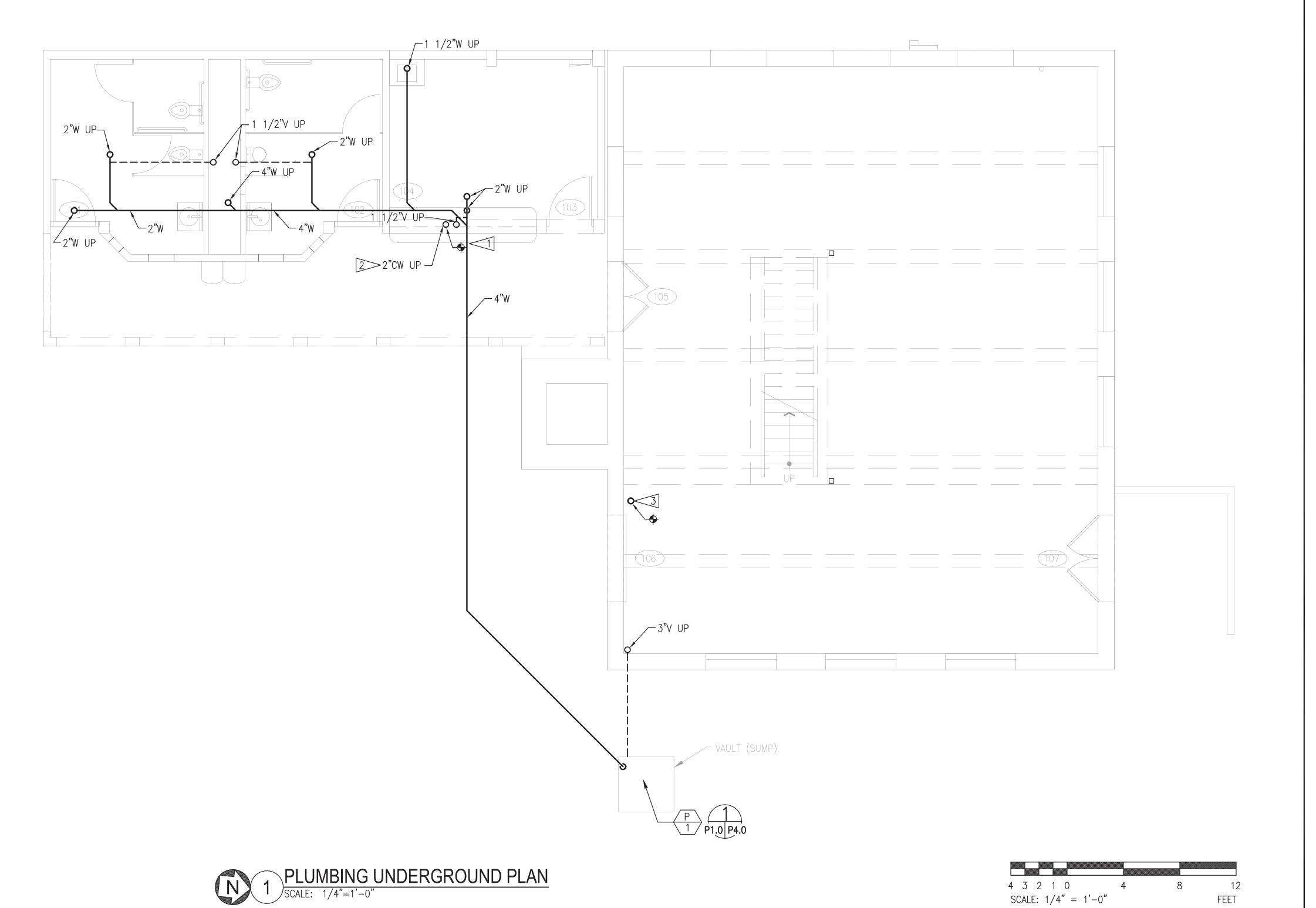
P0.1

CONSTRUCTION NOTES

PROVIDE 4" WASTE PIPING TO SUMP.

PROVIDE CW PIPING BY ATTACHING TO EXISTING CW PIPE AT FLOOR LEVEL.

3 PROVIDE ROOF DRAIN PIPE. CONNECT TO EXISTING SUB-SLAB DRAIN LINE.





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> PLUMBING UNDERGROUND PLAN

> > P1.0

FEET

CONSTRUCTION NOTES

1 PROVIDE IWH-1 UNDERNEATH KS-1.

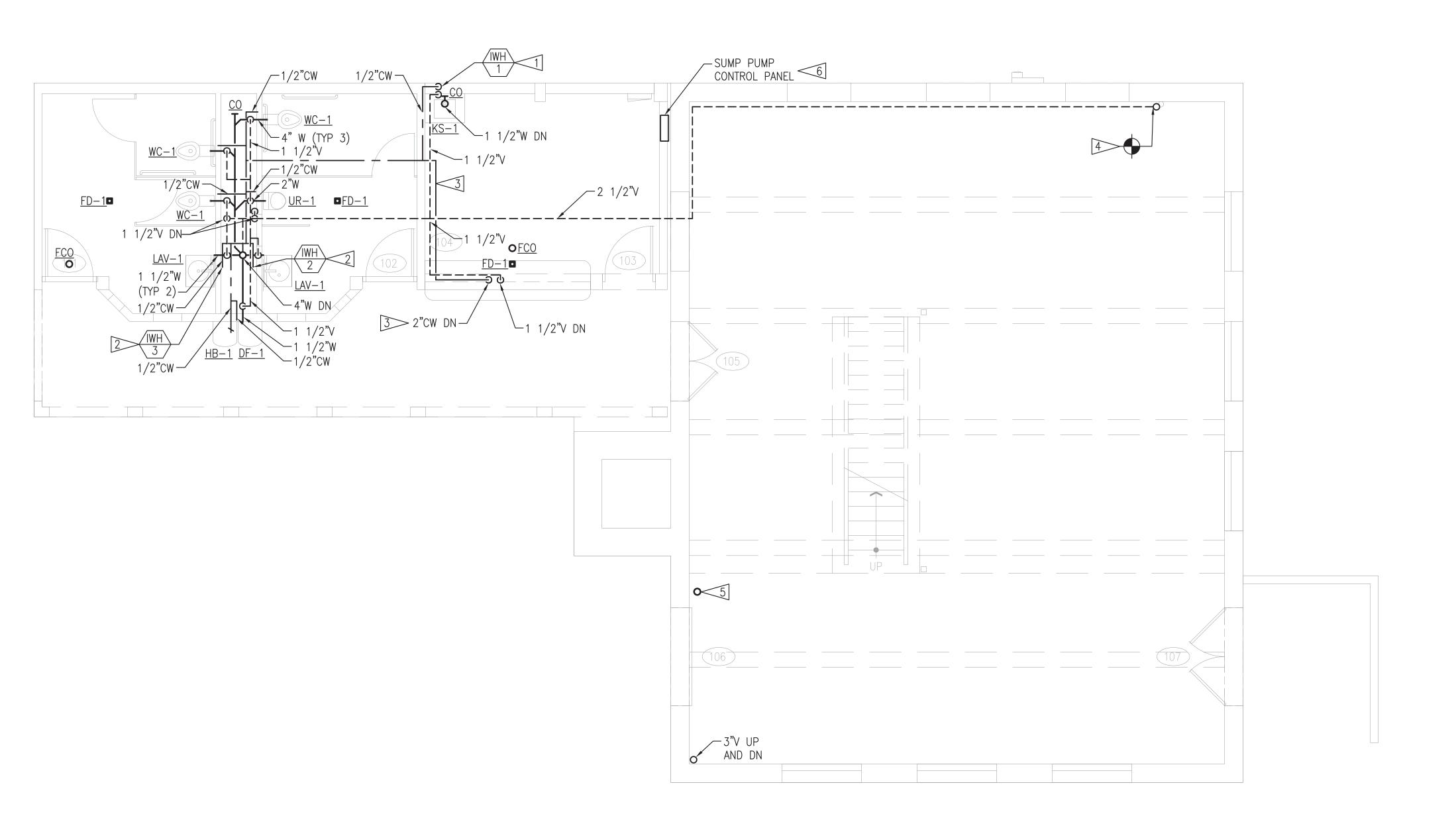
PROVIDE IWH-2 AND IWH-3 IN PIPE CHASE BEHIND LAV-1.

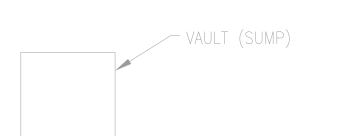
ALL CW AND HW PIPING IN ALL ROOMS. 4 TIE 2 1/2" VENT INTO EXISTING VTR. IF VTR IS

3 PROVIDE INSULATION AND HEAT TRACING FOR

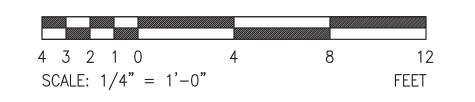
LESS THAN 3", PROVIDE 3" VTR. 5> PROVIDE DRAIN PIPE.

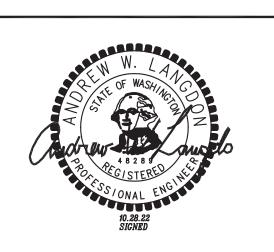
PROVIDE SUMP PUMP CONTROL PANEL TO TIE INTO PARK DDC. COORDINATE WITH LUTHER BURBANK FACILITIES.











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> PLUMBING FIRST FLOOR PLAN

P2.0

CONSTRUCTION NOTES ENSURE EXISTING VENT IS AT LEAST 3". IF LESS THAN 3", PROVIDE 3" VENT. 2 PROVIDE RD-1. ROOF DECK AND RAILING SCOPE IS AN ADDITIVE ALTERNATIVE. RD-1



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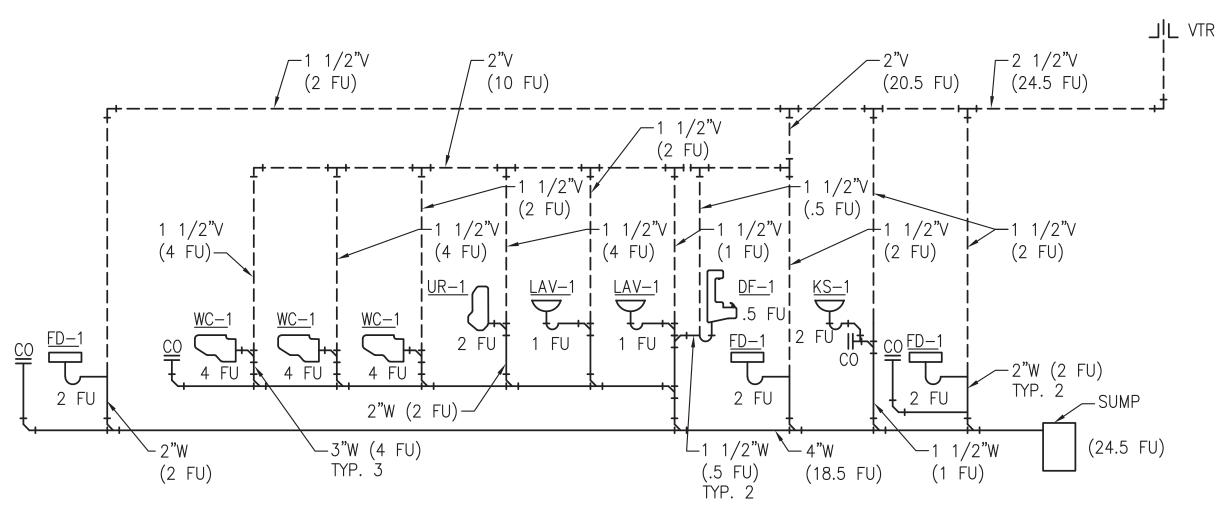


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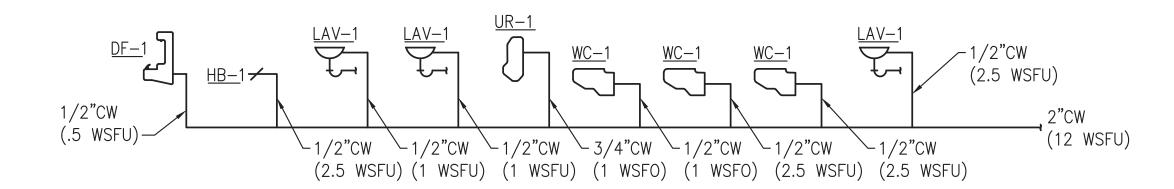
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> PLUMBING SECOND FLOOR PLAN

> > P3.0

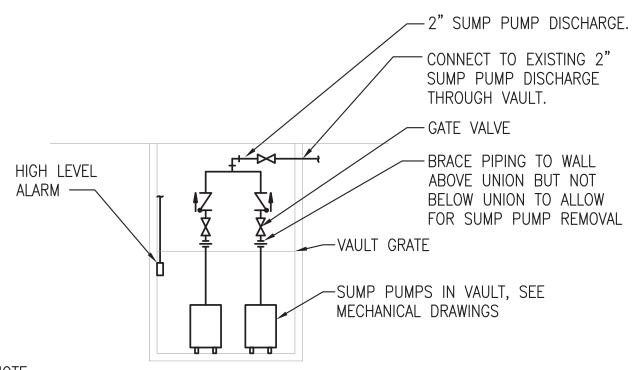


WASTE AND VENT RISER DIAGRAM
SCALE: NOT TO SCALE



COLD WATER DIAGRAM

SCALE: NOT TO SCALE



1. PROVIDE WITH INTEGRAL FLOAT OPERATED MECHANICAL SWITCH ON 35", OFF 24" (ADJUSTABLE).

2. PROVIDE DDC HIGH LEVEL ALARM 4" BELOW TOP OF SUMP GRATE. ALARM AS WATER LEVEL IS REACHED. PROVIDE AUDIO/VISUAL ALARM AT DDC CONTROL CENTER. VERIFY LOCATION WITH OWNER.





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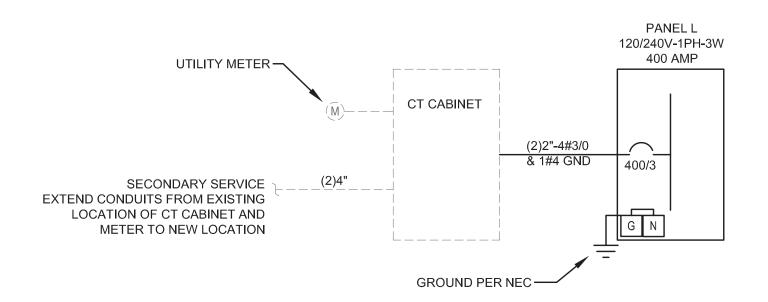
CARDINAL ARCHITECTURE PO

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PLUMBING DETAILS & DIAGRAMS

P4.0



- 1. EXISTING CT CABINET AND METER SHALL BE RELOCATED FROM
- EXISTING LOCATION AS SHOWN ON PLANS.
- 2. COORDINATE RELOCATION WITH PSE AND PERFORM ALL WORK IN COMPLIANCE WITH PSE STANDARDS AND REQUIREMENTS.
- 3. SAWCUT, CUT, EXCAVATE, BACKFILL AND PATCH EXISTING CONCRETE, ASPHALT, GRASS AND EARTH AS REQUIRED TO ROUTE SECONDARY CONDUITS UNDERGROUND.



ELECTRICAL NARRATIVE:

ESTABLISH NEW POWER TO BUILDING. ALL WORK FOR SERVICE IN COMPLIANCE WITH APPLICABLE PUGET SOUND ENERGY (PSE) STANDARDS AND REQUIREMENTS. PROVIDE NEW MAIN DISTRIBUTION PANEL. PANEL AND SERVICE ARE SIZED TO ACCOMMODATE LOADS ASSOCIATED WITH THIS PROJECT, IRRIGATION PUMP, EXISTING BUILDING LOADS, AND ANTICIPATED FUTURE LOADS INCLUDING AN ADDED CLASSROOM AND ELEVATOR.

PROVIDE LIGHTING AND LIGHTING CONTROLS FOR TOILET ROOMS AND CONCESSION ROOMS. PROVIDE EXTERIOR LIGHTING FOR OUTDOOR CLASSROOMS, RAMP AND OTHER PATHWAYS. LIGHTING CONTROLS IN COMPLIANCE WITH WASHINGTON STATE ENERGY CODE REQUIREMENTS.

PROVIDE BRANCH CIRCUITRY AS REQUIRED FOR RECEPTACLES, APPLIANCES, EQUIPMENT AND HVAC UNITS.

PROVIDE DATA OUTLET IN CONCESSIONS ROOM TO SUPPORT POINT OF SALE NETWORK CONNECTION.

LEGEND

CONDUIT CONCEALED IN CEILING OR WALLS

— — — CONDUIT CONCEALED UNDERGROUND OR UNDER FLOOR

HOME RUN TO DESTINATION INDICATED. 3/4" MINIMUM UNLESS NOTED OTHERWISE.

SURFACE OR PENDANT MOUNTED LIGHT FIXTURE

☐ ☐ WALL MOUNTED FIXTURE

COMBINATION EXIT SIGN AND EMERGENCY LIGHT TYPE X2

\$ WALL SWITCH

°S WALL SWITCH WITH INTEGRAL OCCUPANCY SENSOR

OS OCCUPANCY SENSOR

DUPLEX RECEPTACLE

DUPLEX RECEPTACLE ABOVE COUNTER

DOUBLE DUPLEX RECEPTACLE GFI → DUPLEX RECEPTACLE GFI TYPE

WP WEATHERPROOF DUPLEX RECEPTACLE (GFI TYPE)

D DRYER OUTLET

MOTOR CONNECTION

☐ DISCONNECT SWITCH

☐ FUSED DISCONNECT SWITCH

JUNCTION BOX

HORN/STROBE S SMOKE DETECTOR

F FIRE ALARM PULL STATION

EXIST DEVICE/FIXTURE AS INDICATED EXIST DEVICE/FIXTURE AS INDICATED TO BE REMOVED

____ CIRCUIT BREAKER

- FUSED SWITCH

TRANSFORMER

2 2-PORT DATA OUTLET

GROUNDING PER CODES

240V PANEL

FOIC FURNISHED BY OWNER INSTALLED BY CONTRACTOR

FOIO FURNISHED BY OWNER INSTALLED BY OWNER

GFI GROUND FAULT CIRCUIT INTERRUPTER

WP WEATHERPROOF

DETAIL INDICATOR WITH SHEET WHERE DRAWN INDICATED

XXXX AVAILABLE FAULT CURRENT AS INDICATED

FLAG NOTE





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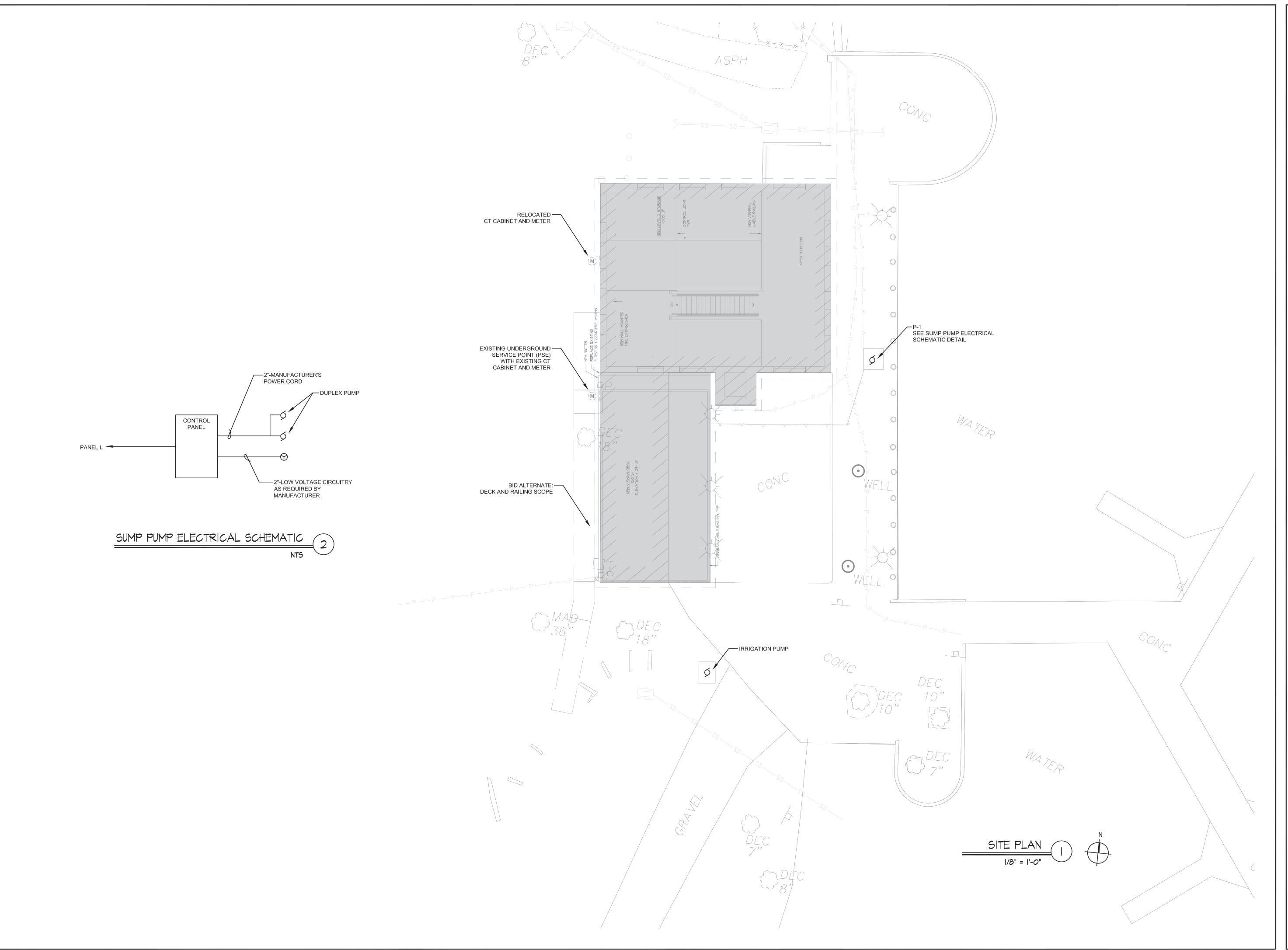


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LEGEND - ELECTRICAL

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> SITE PLAN - ELECTRICAL

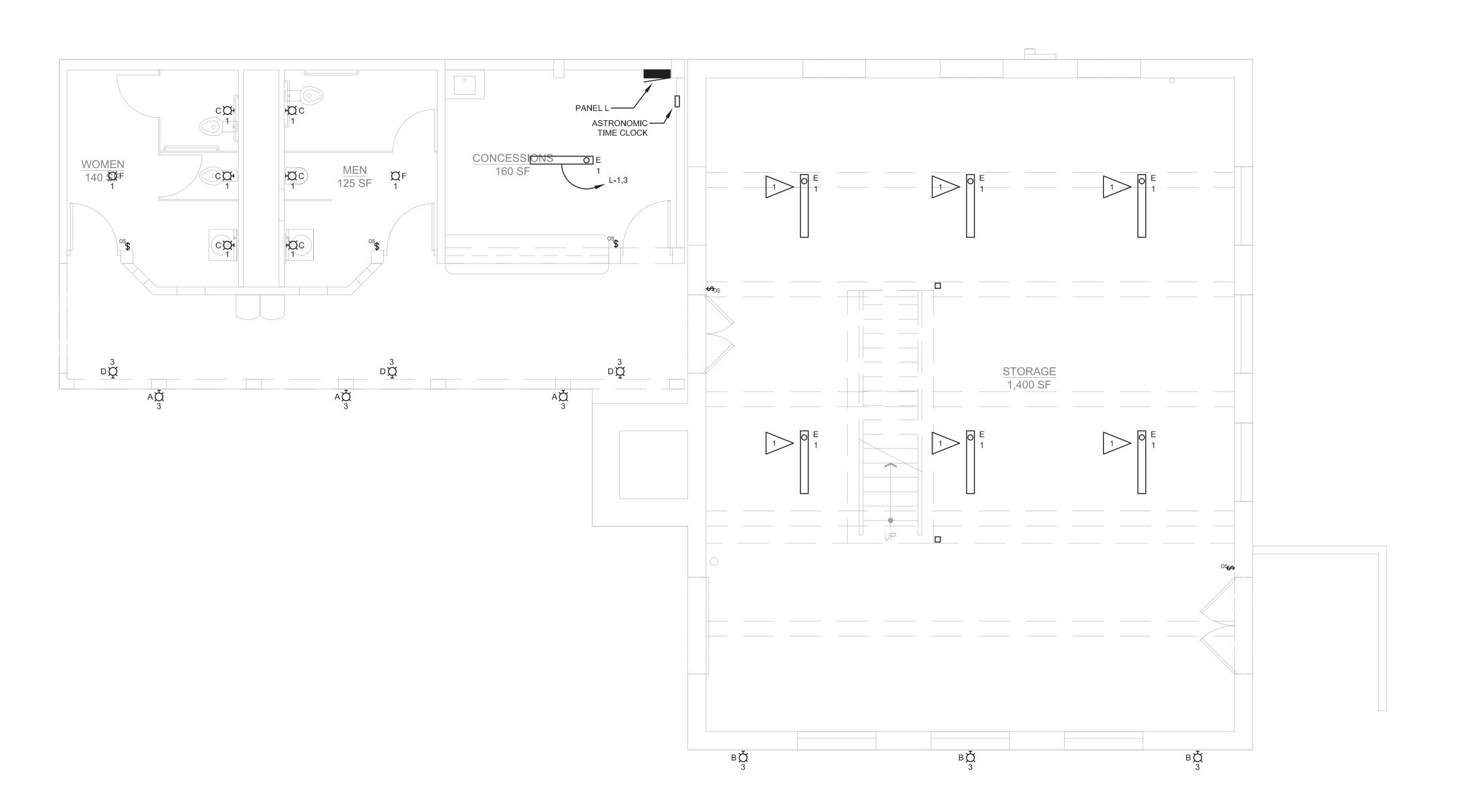
E1.1

GENERAL NOTES:

ALL NEW EXTERIOR LIGHTING SHALL BE
CONTROLLED VIA ASTRONOMIC TIME CLOCK
LOCATED IN CONCESSIONS 105.

FLAG NOTES:

PROVIDE SURFACE MOUNTED RACEWAY FROM PANEL L.









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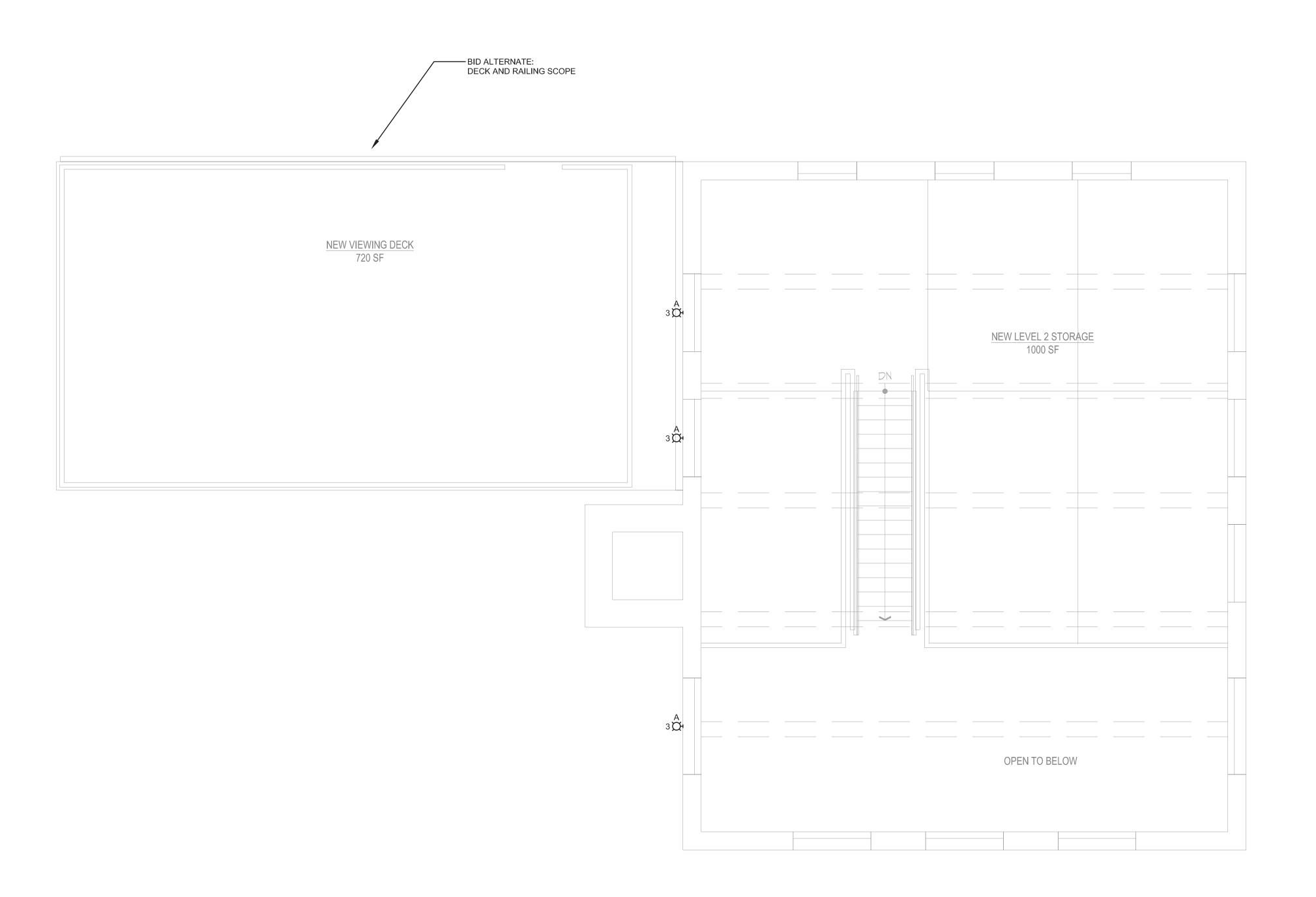


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FIRST FLOOR PLAN - LIGHTING

E2.1









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2ND FLOOR PLAN - LIGHTING

E2.2

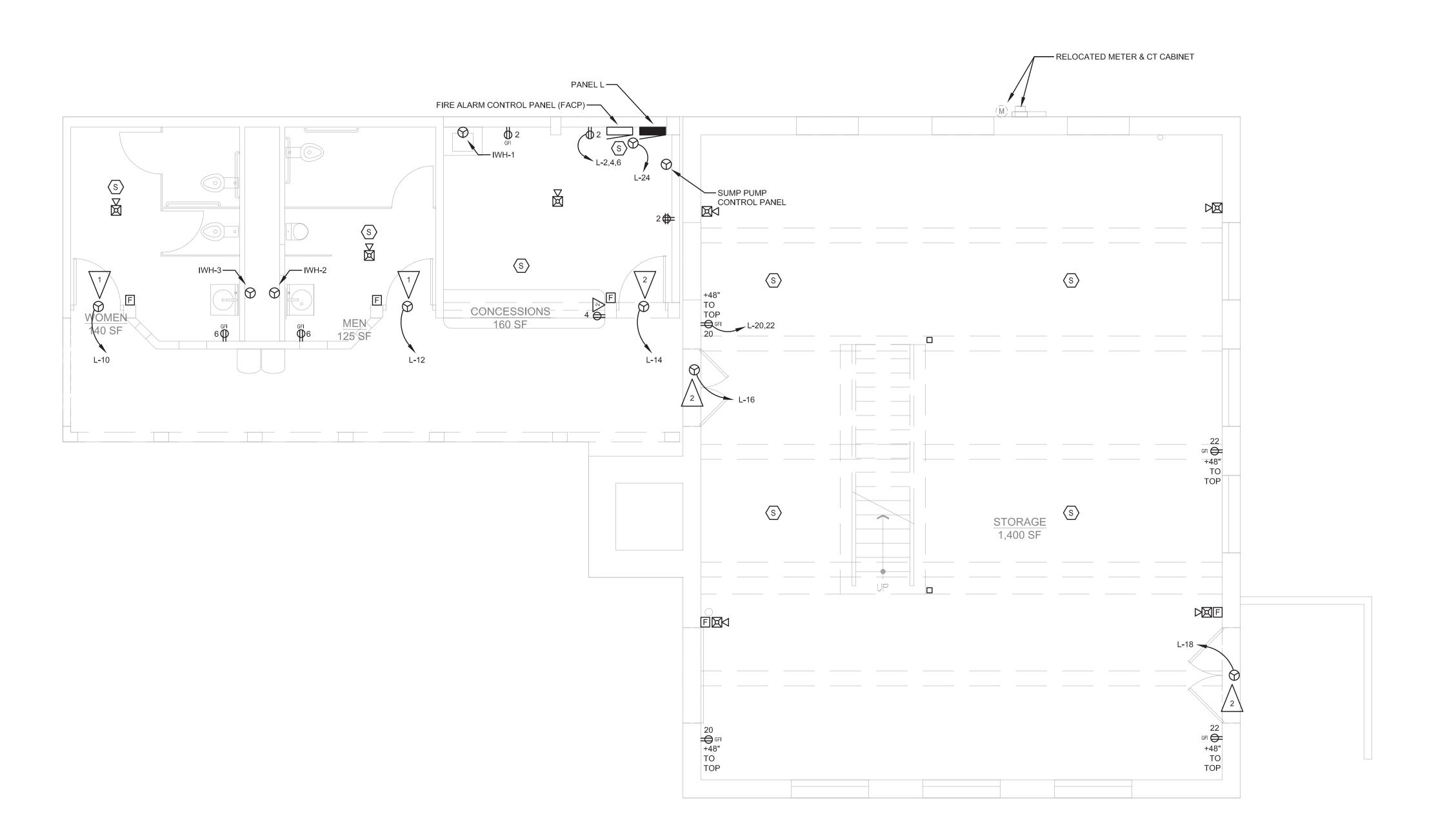
SHEET NOTES:

- ROUTE CIRCUITRY IN SURFACE MOUNTED EMT WITHIN STORAGE ROOM.
- 2. PROVIDE FIRE ALARM SYSTEM CIRCUITRY AS REQUIRED BY MANUFACTURER FROM FACP TO ALL FIRE ALARM SYSTEM DEVICES. ROUTE IN CONDUIT (3/4" EMT MINIMUM) WHERE IN WALLS, ABOVE NON-ACCESSIBLE CEILINGS OR EXPOSED. OPEN CABLING METHODS ALLOWED ABOVE ACCESSIBLE CEILINGS.

FLAG NOTES:

1 120V CIRCUIT FOR MAGNETIC LOCK AND CARD READER. FIELD VERIFY ROUGH IN REQUIREMENTS WITH DOOR HARDWARE SUBMITTALS.

2 120V CIRCUIT FOR ELECTRONIC LOCKSET AND CARD READER. FIELD VERIFY ROUGH IN REQUIREMENTS WITH DOOR HARDWARE SUBMITTALS.









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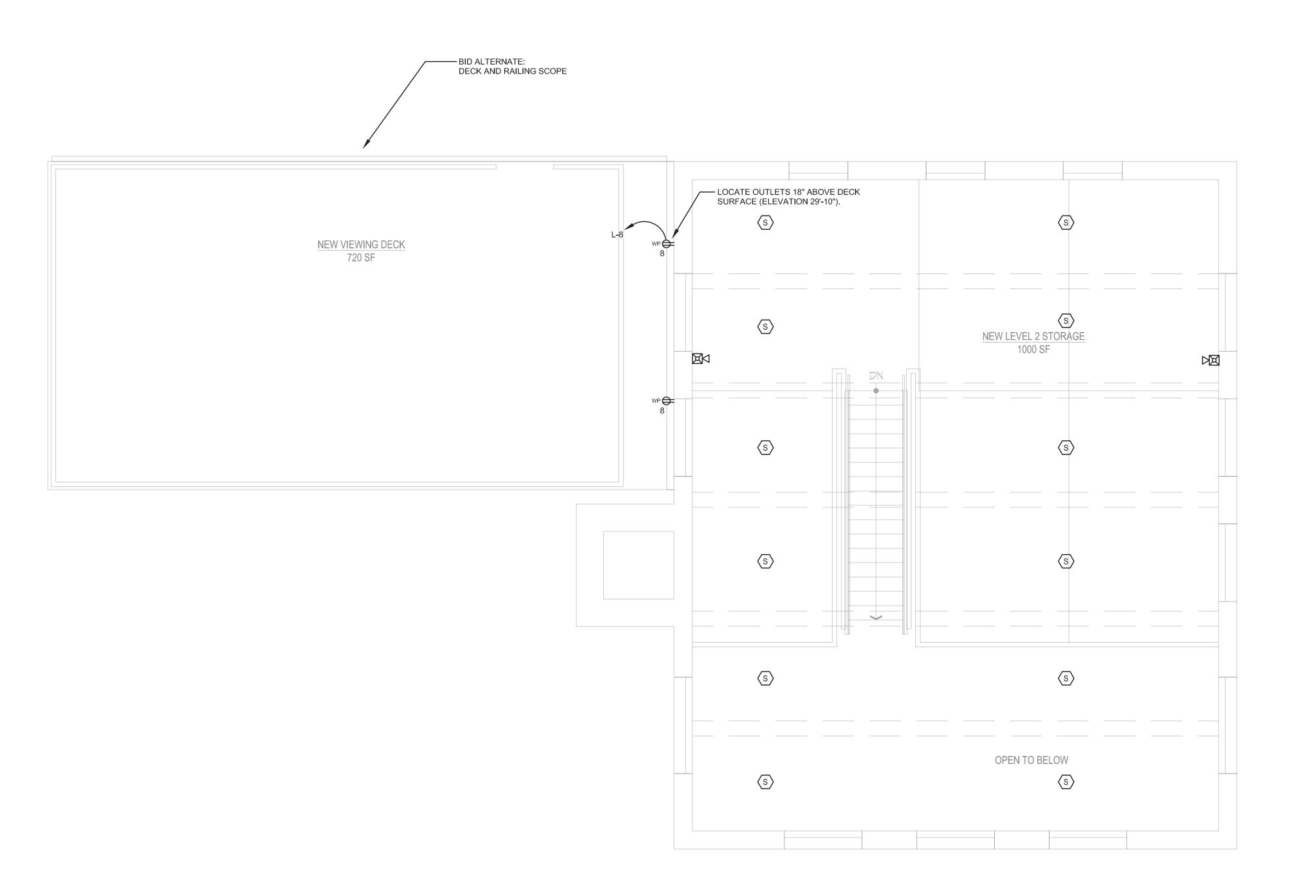


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FIRST FLOOR PLAN
- ELECTRICAL

E3.1









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2ND FLOOR PLAN
- ELECTRICAL

E3.2

				LIGH	HTING FIXT	URE SCHE	DULE: LUTHER BURBANK PARK BOIL	LER .	
TYPE	LAMP	LUMEN OUTPUT	ССТ	VOLTAGE	MINIMUM CRI	CONTROL	MANUFACTURER	DESCRIPTION	LOCATION
Д	LED 18W	1265 LUMENS	2700K	120 V	90 CRI	0-10V DIM	TROY RLM LIGHTING FIXTURE: RH16-LED1827-BK-CG ARM MOUNT: 2-SL23-BK 120V CANOPY	ROUND WALL MOUNTED LED SHADE FIXTURE, 16" IN DIAMETER. PROVIDE ACCESSORY ARM MOUNT AND CLEAR GLASS ENCLOSURE. UL LISTED FOR WET	EXTERIOR
}	LED 13W	1170 LUMENS	2700K	120 V	80 CRI	0-10V DIM	WE-EF RLS410LED-RAL9004-M-9004	RECTANGULAR SURFACE MOUNTED LED FIXTURE WITH MEDIUM SYMMETRIC BEAM DISTRIBUTION.	EXTERIOR
2	LED 27W	1615 LUMENS	3000K	120 V	80 CRI	0-10V DIM	ALCON LIGHTING ALVA 11122-2-BK	WALL MOUNTED 2' LED VANITY SCONCE WITH WHITE ACRYLIC DIFFUSER LENS.	RESTROOMS
)	LED 11W	1550 LUMENS	3000K	120 V	80 CRI	0-10V DIM	LITHONIA LIGHITNG WPX1-LED-P1-30K-MVOLT-DBLXD	RECTANGULAR LED WALL PACK WITH DIE- CAST ALUMINUM CONSTRUCTRION.	EXTERIOR
	LED 49W	6000 LUMENS	3000K	120 V	82 CRI	0-10V DIM	LITHONIA LIGHITNG BLWP4-60L-ADP-120-LP830	4' LED WRAPAROUND WITH DIE-CAST ALUMINUM CONSTRUCTION.	CONSESSIONS, STORAGE
	LED 22W	2100 LUMENS	CTS: 3000K 3500K 4000K	120 V	90 CRI	0-10V DIM	ALCON LIGTHING 11170-12-CTS-BK-010	DISK ARCHITECTURAL LED SURFACE MOUNT DOWN LIGHT WITH DIE-CAST ALUMINUM FRAME AND POLYCARBONATE LENS, 12" IN DIAMETER.	RESTROOMS

	PLUMBING EQUIPMENT CONNECTION SCHEDULE														
					_	•									
UNIT	LOCATION	VOLTAGE/PHASE	HP	KVA/KW	MCA	DISCONNECT/STARTER COMPONENT	CONDUIT AND WIRE SIZE	PANEL	CIRCUIT#						
PUMP SCHEDULE															
P-1	VAULT	240 / 1	5			WP DISCONNECT	1"-3#8 & 1#8 GND	L	5,7						
IRRIGATION PUMP	EXTERIOR	240 / 1	5			WP DISCONNECT	1"-3#8 & 1#8 GND	L	21,23						
WATER HEATER SCHEDULE															
IWH-1	CONCESSIONS	240 / 1		7.5		DISCONNECT	1"-2#8 & 1#8 GND	L	9,11						
IWH-2	PIPE CHASE	240 / 1		7.5		DISCONNECT	1"-2#8 & 1#8 GND	Ĺ	13,15						
IWH-3	PIPE CHASE	240 / 1		7.5		DISCONNECT	1"-2#8 & 1#8 GND	Ĺ	17,19						

PANEL LOCATION MOUNTING AIC FED FROM	L CONCES SURFAC 22,00 UTILII	CE 00		VOLTS AMPS MAIN BREA GROUND BU UL LISTED PROVIDE S		CE ENTR	I PHASE, 3 WIRE	:	
CCT NO.	CCT BRKR	DESCRIPTION		LOAD KVA	CCT NO.	CCT BRKR	DESCRIPTION		LOAD KVA
1 3 5 7 9 1 1 3 5 7 9 1 1 5 7 9 1 1 5 7 9 2 2 5 2 7 2 7 2 9 4 3 5 5 7 4 7 4 9 7 4 9 7 8 9 7 8 9 7 8 9 7 8 9 8 9 7 8 9 8 9	20/1 20/1 60/2 40/2 40/2 40/2 30/2 20/1 20/1 20/1 20/1 20/1	LIGHTS LIGHTS P-I IWH-I IWH-2 IWH-3 IRRIGATION PUMP SPARE SPARE SPARE SPARE SPARE SPARE SPACE ONLY		0.50 0.50 6.02 7.50 7.50 6.02 0.00 0.00 0.00 0.00	2468024680246802468024680555680	20/I 20/I 20/I 20/I 20/I 20/I 20/I 20/I	RECEPTS RECEPTS RECEPTS DOOR HARDWARE DOOR HARDWARE DOOR HARDWARE DOOR HARDWARE DOOR HARDWARE RECEPTS RECEPTS FACP SPARE SPARE SPACE ONLY		0.72 0.18 0.36 0.36 0.20 0.20 0.20 0.36 0.36 0.50 0.00
CONNECTED	LOAD	KVA		DEMANI	FACTOR		DE	MAND LOAD KVA	AMPS
LIGHTS RECEPTACL HEATING LARGEST M OTHER MOT MISCELLAN KITCH. AP	OTOR ORS EOUS	:S	1.00 2.34 22.50 6.02 6.02 1.50 0.00	-	125 100 100 125 100 100)%)%)%)%)%		1.25 2.34 22.50 7.53 6.02 1.50 0.00	5.21 9.75 93.75 31.35 25.08 6.25 0.00





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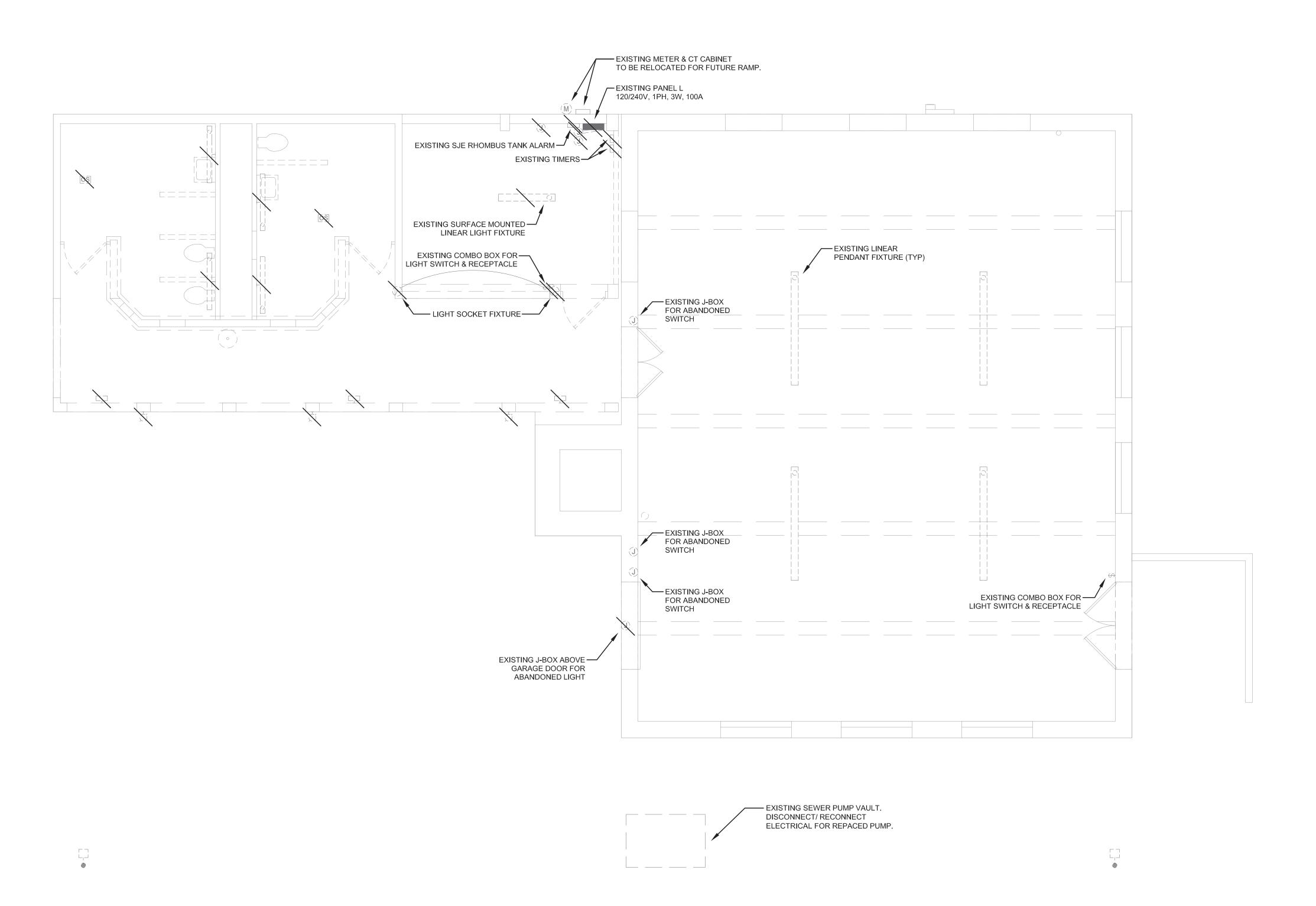
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SCHEDULES

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DEMO NOTES:

- REMOVE INDICATED PANELS, OUTLETS, FIXTURES, DEVICES AND SO FORTH.
- REMOVE ASSOCIATED CIRCUITRY FOR DEMOLISHED ITEMS.









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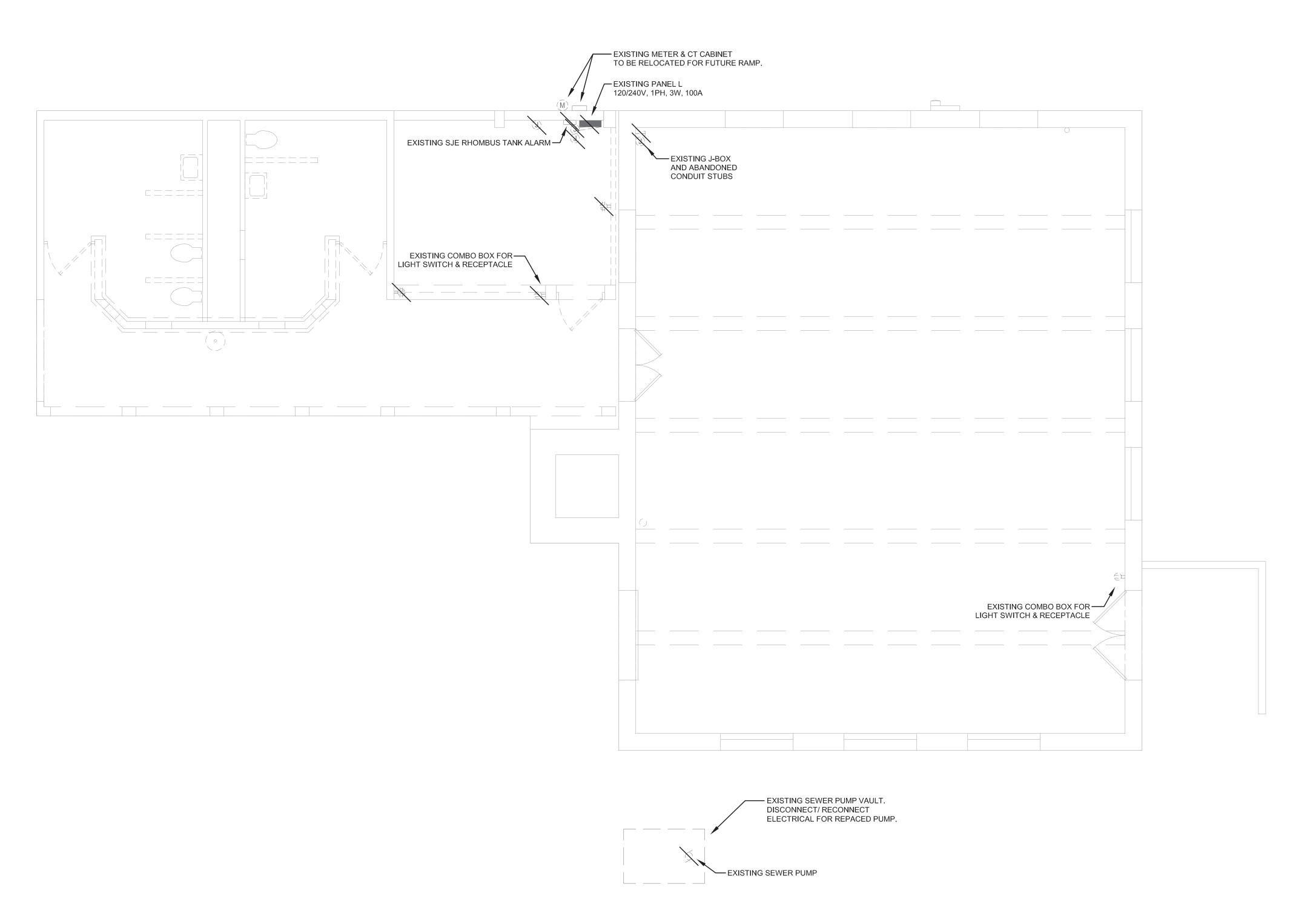
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> SELECTIVE DEMO FIRST FLOOR PLAN - LIGHTING

> > ED2.1

DEMO NOTES:

- REMOVE INDICATED PANELS, OUTLETS, FIXTURES, DEVICES AND SO FORTH.
- REMOVE ASSOCIATED CIRCUITRY FOR DEMOLISHED ITEMS.



SELECTIVE DEMO FIRST FLOOR PLAN - POWER







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> SELECTIVE DEMO FIRST FLOOR PLAN - POWER

ED3.1