### ADDENDUM NO. 1

### City of Mercer Island, Washington Public Works Facility Retrofit PROJECT NUMBER 24-41

DATE OF ADDENDUM ISSUE: December 12, 2024

DATE OF BID OPENING: December 16, 2024: 2:00PM PST

### **NOTE TO ALL PLANHOLDERS:**

This Addendum No. 1, containing the following revisions, additions, deletions, and/or clarifications, is hereby made a part of the Plans and Contract Specifications (Contract Documents) for the above-named project. Bidders shall take this Addendum into consideration when preparing and submitting their bids.

Bidders shall acknowledge receipt and acceptance of this Addendum No. 1 in the space provided on the Bid Summary or by signing in the space provided below and submitting the signed addendum with the bid package. Failure to provide this written acknowledge may result in disqualification of the Bidder's submittal.

### CONTRACT SPECIFICATIONS

- A. Clarifications and Questions
  - 1. Is there a substitution request form?

Yes, that form has been included with this Addendum.

2. In the specs, under section 075423-3, 2.1 it calls for Carlisle 45 mill TPO. We request that GAF 60 mill TPO be approved as a substitution. It would have a GAF 20-year labor, and material warranty.

No exception taken to 60 mil TPO. The mil specified was included as a cost saving measure.

- 3. In the specs and plans you have both torch down and TPO. Is it bidder's choice?
  - The main (lower) roof is TPO. The upper roofs are SBS with Alsan flashing.
- 4. Sheet D-102.00 shows the roofing is removed around the perimeter at the (2) wood roof structure areas; sheet S2.2, notes 4 and 5, seem to indicate that existing plywood sheathing for the entire roof structure at these (2) areas is to be re-nailed. Please confirm if this is correct and if so, wouldn't the roofing at these areas need to be removed and replaced?
  - Sheet D-102.00 indicated removals for access as needed for coordination with required structural work, however the question points to needed clarification. The structural drawings were prepared recognizing that the entire roof could be re-roofed (for nail pattern requirement context, with trusses @ 48" o.c., the maximum allowed nail spacing per current Code is 6" o.c., but the as-built drawings specified only 12" o.c. at intermediate supports). Please see the attached Addendum 1 drawings (S2.2 Alt1 and S4.0 Alt1) for the design parameters that allows for the noted middle portion of the roof to be left untouched.
- 5. Sheet S4.0, detail 12, shows a line of 2x4 blocking added at the top of the existing beam. Should this area be accessed by removing the roof and roof sheathing or from the bottom removing the GWB ceiling?

  There is no structural preference as to the means and methods but note that access from the ceiling-side would require provisions to ensure continuous operations within the vehicle maintenance bays in that area.
- 6. Sheet S4.0, details 8 and 12, show added straps. Can these straps be placed on top of the existing roofing and the roofing patched back over them or does the roofing need to be removed first and the straps placed on top of the existing plywood?

Roofing shall be removed before installing the straps directly over the sheathing.

### 7. Sheet S4.0, detail 4, shows a 3 ½" wide PSL. Please confirm the depth.

The depth of the PSL can vary based on the as-built condition, but needs to be 8" minimum below the top of the 8" CMU wall as noted in the detail.

8. BE-000 indicates 2" rigid insulation at the area to receive a new TPO roof; Sheet BE-100, detail 1 and 2 indicate 3" rigid insulation. Please confirm which is correct.

2" is acceptable.

9. Is it possible to perform the wood retrofit at the two wood roof structure areas from below to avoid opening the roof up during possible inclement weather?

This is a means and methods question, and no direction is provided in this response. Much of the work could possibly be done from below, however, the re-nailing of the diaphragm will require work from above. Note that access from the ceiling-side would require provisions to ensure continuous operations within the vehicle maintenance bays in that area

10. Is it acceptable to use a Toro Dingo TX525 (tracked mini skid steer) or similar machine to remove the soil at the green roof area, see attached specifications showing weight and ground pressure.

Possibly, however we do not have the information required for the 1,900 LB Dingo noted. The roof was only designed for a 25 psf snow load, so in concept to accommodate the Dingo, a path of soil would first need to be removed before the Dingo was placed on the roof to reduce the total load in any given area that the Dingo might be placed. (The Dingo would need to be placed directly on the bare concrete of the roof, not placed on soil on the roof). More detailed information and analysis would be required in order to prove-out structural feasibility.

11. Can the foundation work adjacent to the Mechanic's Shop be phased such that the entire east side is completed before moving to the west side (instead of phasing based on north vs. south bays)?

Yes, but it would be preferable for the phasing of this work to include completion of either the entire east or west side before moving to the opposite side of the shop.

12. Is there irrigation on the green roof? If so, can it be demolished during the overburden removal?

The roof includes no active irrigation lines. Existing documents (Sheet A2-2), issued with the Bid Documents reference 3" PVC Drain Tiles and 4" PVC Tight Line. All elements above the existing topping slab are to be removed.

13. On Sheet BE100, Detail 9, can you clarify what the vertical dotted line denotes?

The vertical dotted line indicates the position of the "Impermeable Geotextile Fabric" indicated on sheet C-07, detail B, swale detail.

14. Will substitutions be allowed for the roofing membrane?

Substitutions will be considered. Refer to question #1 for the required substitution request form.

15. Does the scope include replacing coping?

Yes.

16. How should drainage from dead spots in the green roof area be addressed?

Sheet BE-001 indicates a cricket at the SE 'dead spot' indicated by the question. The cricket should be constructed with tapered insulation.

17. Provide more information about accessibility for installation of high bay member replacements from the top of the building.

This is a means and methods question, and no direction is provided in this response. Refer also to the response for question number 9.

18. Sheet A-102.00 shows a freestanding metal guardrail at the two higher roofs and a freestanding rooftop warning line system at the lower roof TPO area. Specification section 118129 only calls for Guardian Fall Protection Building Rooftop Guardrail (G-rail) system. Should we assume this system should be used at all roofs or is there a separate warning line system that should be included in the specifications?

Insert the following into Section 118129 Facility Fall Prevention:

- 2.1.A.2: Warning Line System (Guardian components):
- a. Building Rooftop Warning Line System including counterweight guardrail bases to match fall protection bases, warning line support posts, warning cable line, and metal warning flags.
- 19. Does this project have any domestic requirements like "Buy America"? No.
- 20. Is there a new site survey report available for the site civil work, or will it be handled by the awarded contractor?

  A Site Survey, reflected within the backgrounds of previously issued Civil Documents, is included with Addendum #1.
- 21. For the green roof dirt removal, we are considering using a machine called Bobcat, which weighs 8,000 lbs. on its own. With movement and the added dirt weight, the total weight will be approximately 20,000 lbs. Will the existing structure be sufficient to support this load during the dirt removal process?

No, unless temporary shoring is installed below the roof deck to support the weight, transferring it to the slab-on-grade.

22. Is there a finalized asbestos report for the building completed?

There is no asbestos report for the entire building, as a full assessment has not been undertaken. However, in November 2024, the City had samples of the green roof assembly layers tested for asbestos, which came back negative.

23. Regarding the specifications sheet, Section 8: Insurance Requirements, Item D (Asbestos Abatement or Hazardous Materials): Is it mandatory for the general contractor to have this coverage, or will the abatement subcontractor's insurance suffice?

Section 8 in the City's Public Works Contract specifies that "if asbestos abatement or work is performed, Contractor shall review coverage with the City Attorney's office..." The scope of work for this project bid does not include this type of abatement. However, if such work becomes necessary, the contractor would work with the City to amend the scope and ensure that insurance coverage is adequate and secured.

24. Is the site work contractor permitted to clean out the catch basin in the driveway?

Assuming the catch basin being referred to is the one at the ramp where point of discharge will be, then yes, contractor is permitted to clean out the catch basin as necessary such that the catch basin is free of sediment, trash, and debris.

25. The driveway will require the removal and replacement of 200 square feet of concrete. What thickness should we assume for the new concrete? Should we plan for 6 inches?

Any concrete paving replacement required should be 6" minimum depth.

**26.** Could you please specify the type of ductile iron pipe required for the new drainage system? Ductile iron pipe to be Class 52 pipe.

### **B.** Available Project Information:

ADD the following documents to SECTION 003132, Part 1.2 Drawings (and Documents).

- a. Existing Site Survey sheets, 1 through 4 of 4.
- b. Asbestos Northwest, LLC: Sampling Report
- C. Proposal Pages

Sheets A2.2 Alt 1 and S4.0 Alt 1 are attached in response to question 4 and provide additional direction for the area of roofing removal and structural requirements that allow the noted middle portion of the roof to be left untouched. Bidders shall indicate which of the following options listed below are made part of the submitted bid. Bidders shall indicate selection on the Bid Form, in the space provided for acknowledgement of the Addendum Number by indicating Addendum No.1 and either Option A or Option B:

- Option A. A complete reroofing of the high-bay roof areas, excepting mechanical equipment curbs, adhering to the nailing pattern indicated on S2.2 and S4.0 <u>dated 10.21.2024</u>, or
- Option B. Retaining the middle portion of the roofing, adhering to drawings S2.2 and S4.0 <u>dated 12.12.2024</u> and made part of this addendum

### ALL OTHER REQUIREMENTS OF THE CONTRACT DOCUMENTS REMAIN IN EFFECT.

Bidders shall acknowledge receipt and acceptance of this Addendum No. 1 in the space provided on the Bid Summary Form or by signing in the space provided below and submitting the signed addendum with the bid package. Failure to provide this written acknowledge may result in disqualification of the Bidder's submittal.

Sincerely,		
Alaine Sommargren Deputy Director City of Mercer Island – Public Works		
Receipt acknowledged, and conditions agreed to	this, 2	2024
Bidder		
Signature		

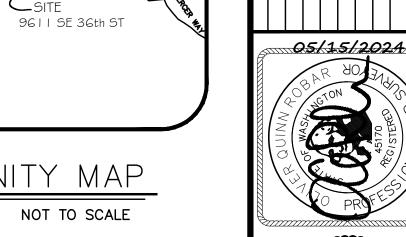
Contractor: SUBSTITUTION REQUEST FORM			Project:  Note: Limit this Request to one proposed substitution		
FROM:	□ Contractor	☐ Subcontractor	☐ Supplier	☐ Manufacturer	
Specified Item:					
Section:		Page:		Paragraph:	
Proposed Substit	ution:				
Manufacturer: Address: Trade Name: Installer: Address: History:		_ _ Address:		Model Number:Phone Number:	
Differences between	een proposed subst	titution and specified	product:		
■ Warranty info	ormation attached	ettached - <b>REQUIRE</b> l			
Similar Installatio	ns:				
Proje			Archite	ct:	
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Proposed substitu	ution affects other p	earts of Work:	□No □Yes; ex	xplain	
_	r for accepting subs ution changes Conti		☐ Yes; Add/Dedu	(\$ days.	
Supporting Data	Attached: ☐ Drawings	☐ Tests	☐ Reports	□ Samples □	

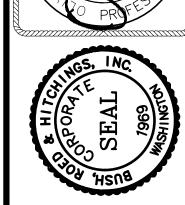
Undersigned certifies:

- Proposed substitution has been fully investigated and determined to be equal or superior in all respects to specified product.
- Same warranty will be furnished for proposed substitution as for specified product.
- Same maintenance service and source of replacement parts, as applicable is available.
- Proposed substitution will not affect or delay Construction Progress Schedule.
- Cost data as stated above is complete. Claims for additional costs related to accepted substitution which may subsequently become apparent are to be waived.
- Proposed substitution does not affect dimensions and functional clearances.
- Payment will be made for changes to building design, including architectural or engineering design, detailing, and construction costs caused by the requested substitution.
- Coordination, installation, and changes in the Work as necessary for accepted substitution will be complete in all respects.

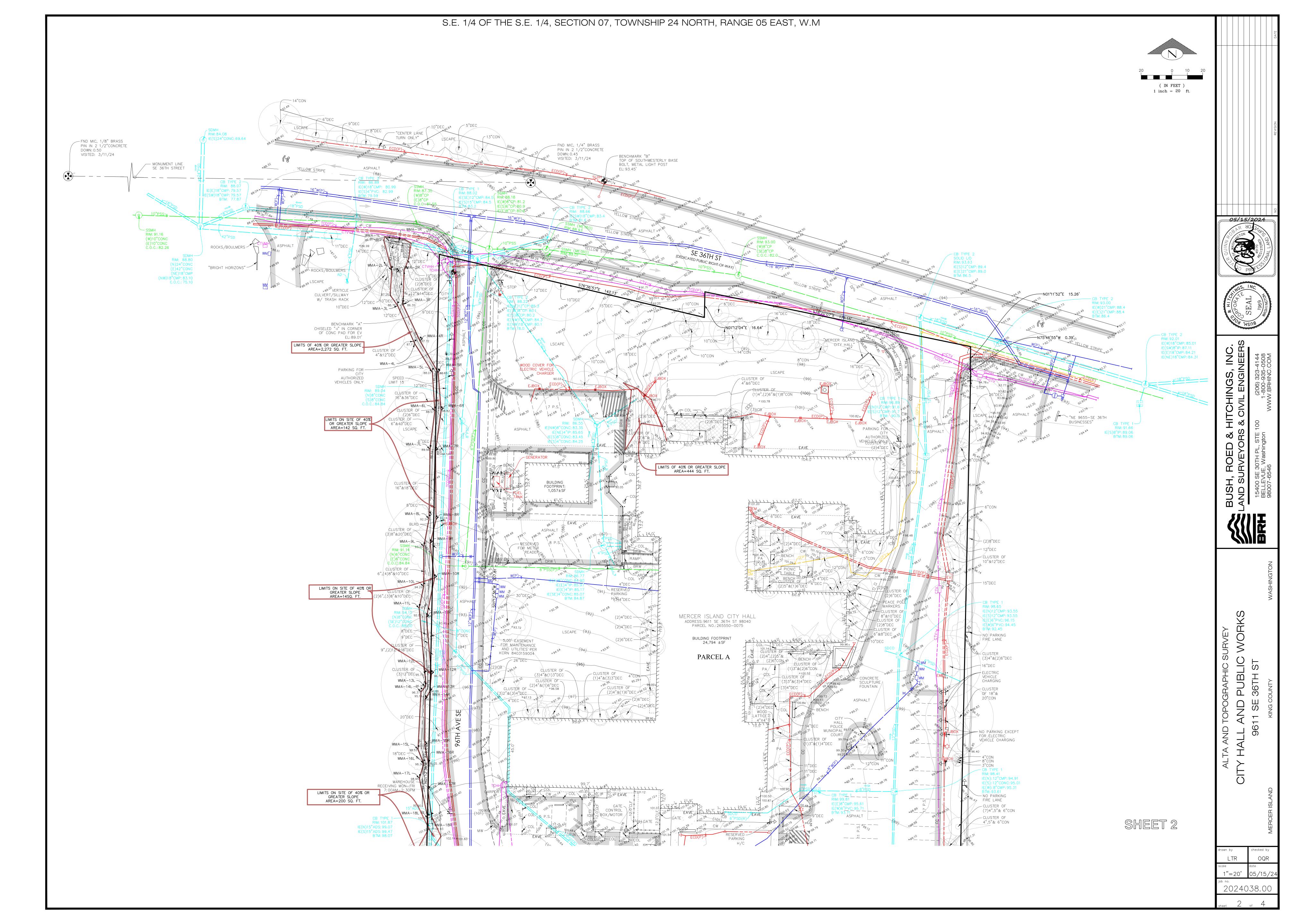
Submitted by:
Signature:
Firm:
Address:
Telephone:
Attachments:
ARCHITECT'S REVIEW AND ACTION  Accepted Substitution - Make submittals in accordance with Specification Section 013300. Accepted Substitution as noted – Make submittals in accordance with Specification Section 013300. Rejected Substitution - Use specified products. Architect shall not have responsibility for performance of substitution accepted by Owner and disapproved by Architect. Substitution Request received too late - Use specified products. Signed by:  Comments
OWNER'S REVIEW AND ACTION (Approval of Substitution not valid without Owner's signature)  Substitution accepted - Make submittals in accordance with Specification Section 013300.  Substitution accepted as noted - Make submittals in accordance with Specification Section 013300.  Substitution rejected - Use specified products.  Signed by:
Comments

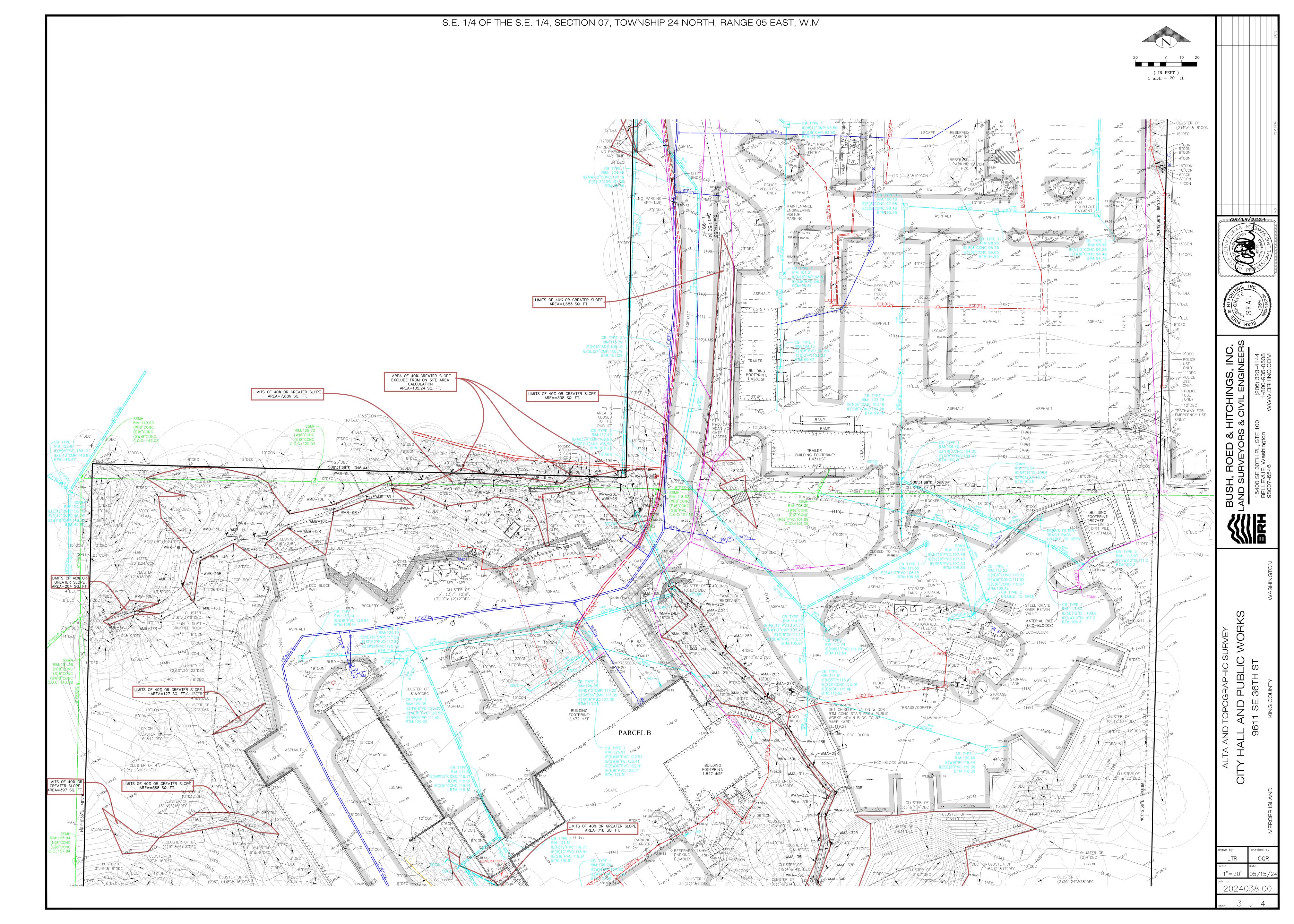
**END OF FORM** 

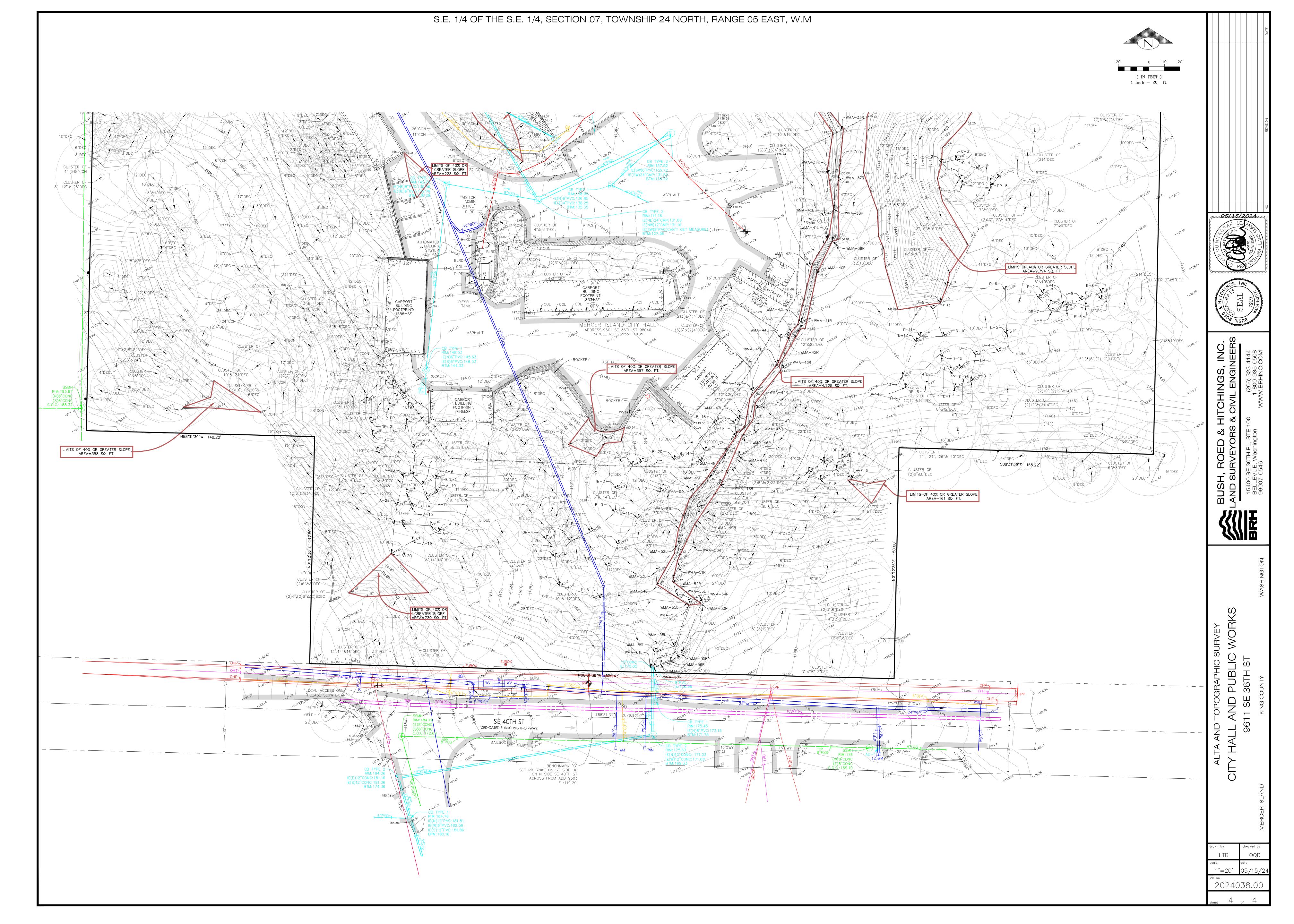




2024038.00







### Asbestos Northwest, LLC - Sampling Report

### Background Information and Scope of Work

On November 15<sup>th</sup>, 2024, Asbestos Northwest LLC conducted a targeting sampling of building materials City of Mercer Island Public Works facility located at 9601 SE 36<sup>th</sup> St in Mercer Island WA. Asbestos Northwest was represented by AHERA certified inspector Sean Butler. The sampling of suspect material was carried out at the request of the client prior to the removal and replacement of a green roofing system. As-built drawings by the client had an unclear notation indicating the possible presence of a 1/4in concrete panel material within the layering of the green roof. This material was shown as being directly above 2in foam insulation, and below the gravel fill. During excavation no obvious cement board material was found, but a layer of a brittle, asphaltic material was present. Samples of this material were taken from each of the two excavations near the south edge of the roof, photos are attached below.

**None of the materials sampled contained asbestos.** Only the above described materials were sampled, no other samples were taken from any other building materials at this time. No cement paneling was seen, under analysis the black brittle material was found to be asphaltic in composition.

Materials were located and sampled following AHERA protocol in 40 CFR 763.86, then analyzed in-house at Asbestos Northwest under PLM, EPA Method 600/R-93/116. Inspector AHERA certification and laboratory NVLAP accreditation are attached.

21905 64th Ave W, #100 Mountlake Terrace, WA 98043 (206) 285-3373 ierracon Explore with us

This certifies that Sean Butler

has satisfactorily completed 4 hours of online refresher training as an AHERA Building Inspector

to comply with the training requirements of TSCA Title II, 40 CFR 763 (AHERA)

EPA Provider # 1085

Instructor: David Welch

Date(s):Mar 26, 2024

Expires in 1 year.

30620 Pacific Hwy S Suite 103 Federal Way, WA 98003 Tel: 253 941 4343 Fax: 253 941 4175





# Certificate of Accreditation to ISO/IEC 17025:2017

**NVLAP LAB CODE: 200993-0** 

## Asbestos Northwest, LLC

Federal Way, WA

is accredited by the National Voluntary Laboratory Accreditation Program for specific services, listed on the Scope of Accreditation, for:

### **Asbestos Fiber Analysis**

This accreditation demonstrates technical competence for a defined scope and the operation of a laboratory quality This laboratory is accredited in accordance with the recognized International Standard ISO/IEC 17025:2017. management system (refer to joint ISO-ILAC-IAF Communique dated January 2009).

2024-04-01 through 2025-03-31

Effective Dates



For the National Voluntary Laboratory Accreditation Program

(253) 941-4343



30620 Pacific Hwy S Suite 103 Federal Way, WA 98003 Tel: 253 941 4343 Fax: 253 941 4175

Asbestos NW Batch#

202414533

NORTHWEST 30620 Pacific Hwy S. #103, Federal Way, WA 98003

Project Manager: Alaine Sommargren

NVLAP Lab Code: 200993-0 Bulk Samples Chain of Custody (EPA 600/R-93/116)

Name/Company: City of Mercer Island	Date:	11/15/2024
Address: 9601 SE 36th St Mercer Island WA	Phone:	
	E-mail:	alaine.sommargren@mercerisland.gov

Project # Green Roof Project Location: 9601 SE 36th St Mercer Island WA Number of Samples 2

			Turn around time: 1		
#	Sample ID	Description	Location/Comments		
1	1	Thin Black Asphaltic Material	Green Roof Over 2in Foam Back Edge		
2	2	Thin Black Asphaltic Material	Green Roof Over 2in Foam Open Hole		
3					
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	Print	Sign	Company	Date	Time
Sampled by:	Sean Butler	Sols	Asbestos NW	11/15/24	10:00AM
Relinquished by:					
Delivered by:	Sean Butler	my	Asbestos NW	11/15/24	3:00PM
Accepted by:	lan Smith	ash H	_ Asbestos NW	11/15/24	3:00PM
Analyzed by:	Donlottal	1 1	ASSESTOS IVV	11/15/24	4:00

30620 Pacific Hwy S Suite 103 Federal Way, WA 98003

Tel: 253 941 4343 Fax: 253 941 4175



Asbestos Northwest, LLC 30620 Pacific Hwy S, #103, Federal Way, WA 98003 Ph: (253) 941-4343



**Batch Number: 202414533** 

### PLM Analysis by EPA Method 600/M4-82-020 and 600/R-93/116

This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST, or any agency of the U.S. Government.

Attn: Alaine Sommargren

City of Mercer Island

9601 SE 36th St Mercer Island WA

Date Received: 11/15/2024 Date Analyzed: 11/15/2024

Samples Received: 2 Samples Analyzed: 2

Project: Green Roof

Location: 9601 SE 36th St Mercer Island WA

Client Sample ID	Lab Sample ID	Layer	Description	Matrix	% Non-Asbestos Fibers	% Asbestos Fibers and Type
		1	Black asphaltic material	Asphalt/binder	2% Cellulose	None Detected
		2	Black asphaltic fibrous material	Asphalt/binder	20% Cellulose, Synthetic fibers	None Detected
		3	Black asphaltic material	Asphalt/binder	3% Cellulose, Glass Fibers	None Detected
		1	Black asphaltic material	Asphalt/binder	2% Cellulose	None Detected
		2	Black asphaltic fibrous material	Asphalt/binder	20% Cellulose, Synthetic fibers	None Detected
		3	Black asphaltic material	Asphalt/binder	3% Cellulose, Glass Fibers	None Detected

Analyzed by: Dan Lafley

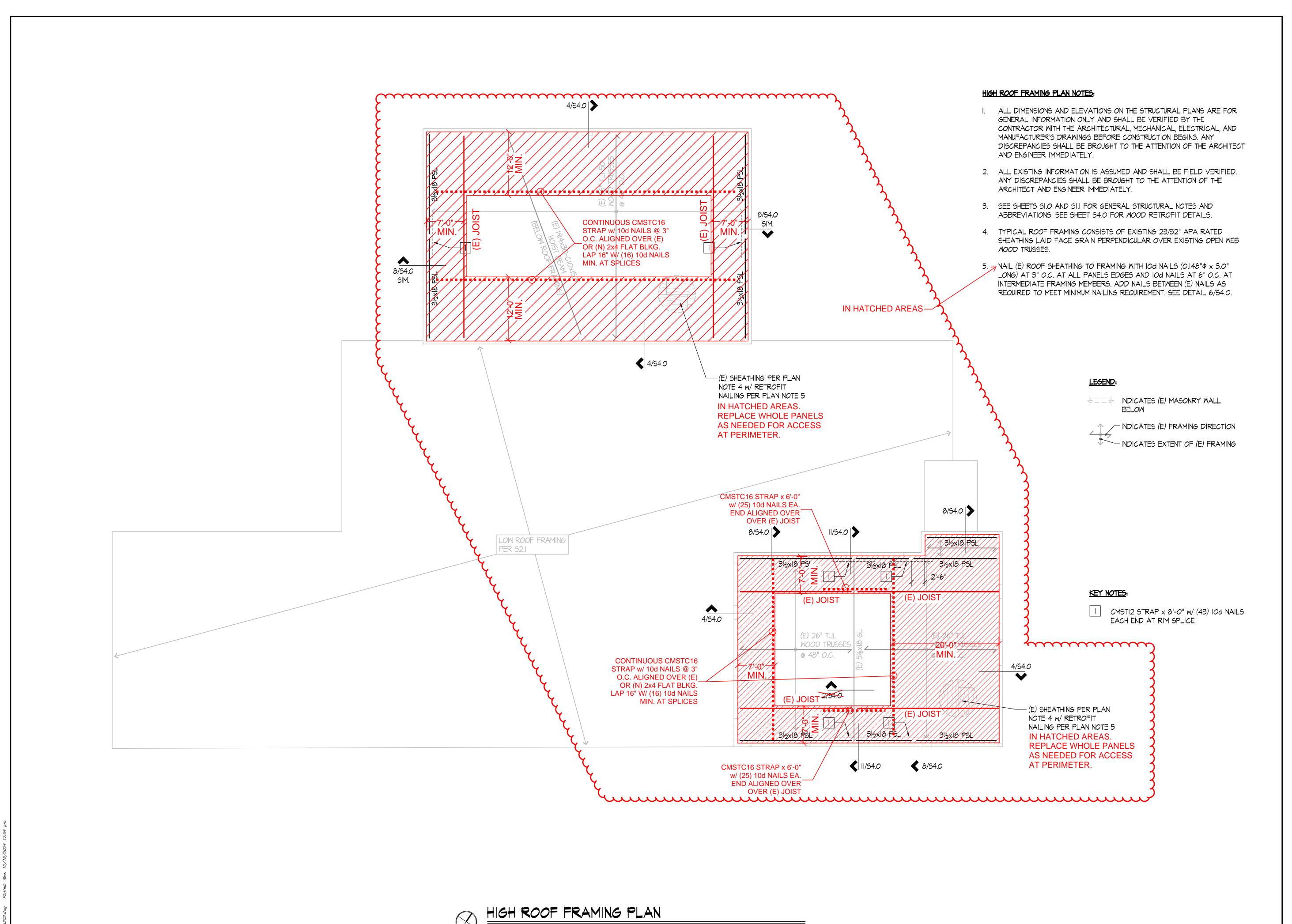
Report Page 1



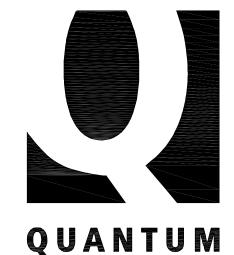
Suspect Material on Foam Board, Edge of Roof



Exposed Asphaltic Material on Foam Under Gravel



SCALE: 1/8" = 1'-0"



1511 THIRD AVENUE
SUITE 323
SEATTLE, WA 98101

TEL 206.957.3900

FAX 206.957.3901 www.quantumce.com



PUBLIC WORKS RETROFIT
TAX PARCEL: 2655500185

OWNED BY THE **CITY OF MERCER ISLAND**9611 SE 36TH STREET, MERCER ISLAND, WA 98040 425.414.2257

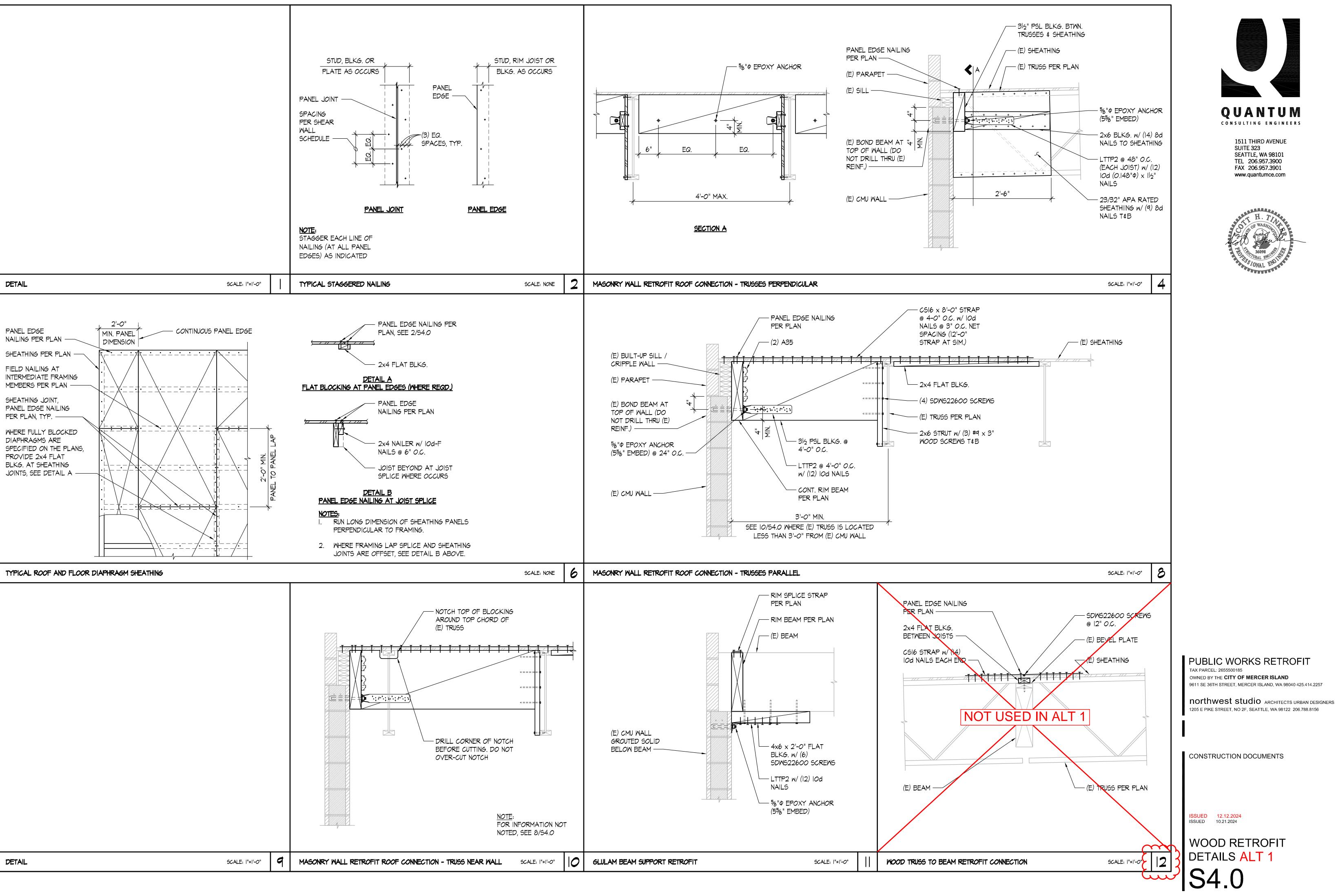
**northwest studio** Architects urban designers 1205 e pike Street, NO 2F, SEATTLE, WA 98122 206.788.8156

CONSTRUCTION DOCUMENTS

ISSUED 12.12.2024 ISSUED 10.21.2024

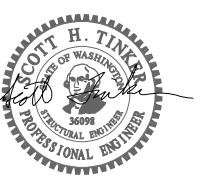
HIGH ROOF FRAMING PLAN ALT 1

S2.2





1511 THIRD AVENUE



PUBLIC WORKS RETROFIT

9611 SE 36TH STREET, MERCER ISLAND, WA 98040 425.414.2257

1205 E PIKE STREET, NO 2F, SEATTLE, WA 98122 206.788.8156